

CITY OF TORONTO

BY-LAW No. 103-2001(OMB)

To adopt an amendment to the Official Plan of the former City of Toronto respecting lands known as 1560 Yonge Street, 10-22 Delisle Avenue and Parts of 22 and 26 Delisle Avenue.

WHEREAS the Ontario Municipal Board pursuant to its Order No. 1786 issued December 5, 2000, upon hearing the appeal of Delisle Court Redevelopment Corporation under Section 22(7) of the Planning Act R.S.O. 1990, c. P.13, as amended, deems it advisable to amend the Official Plan of the former City of Toronto;

THEREFORE the Official Plan of the former City of Toronto is amended by the Ontario Municipal Board as follows:

1. The text and map annexed hereto as Schedule "A" are hereby adopted as an amendment to the Official Plan for the former City of Toronto.
2. This is Official Plan Amendment No. 149.

PURSUANT TO THE ORDER OF THE ONTARIO MUNICIPAL BOARD ISSUED ON DECEMBER 5, 2000 IN BOARD FILE NO. PL980871.

SCHEDULE “A”

1. Section 18 of the Official Plan is amended by adding Section 18.496 and Map 18.496, as follows:

18.496 Lands known as 1560 Yonge Street, 10-22 Delisle Avenue and Parts of 22 and 26 Delisle Avenue

Despite any of the provisions of this Plan, Council may pass by-laws with respect to the lands shown on Map 18.496 to permit an increase in the height and density of development otherwise permitted for the erection and use of a *mixed-use building* and parking garage, provided:

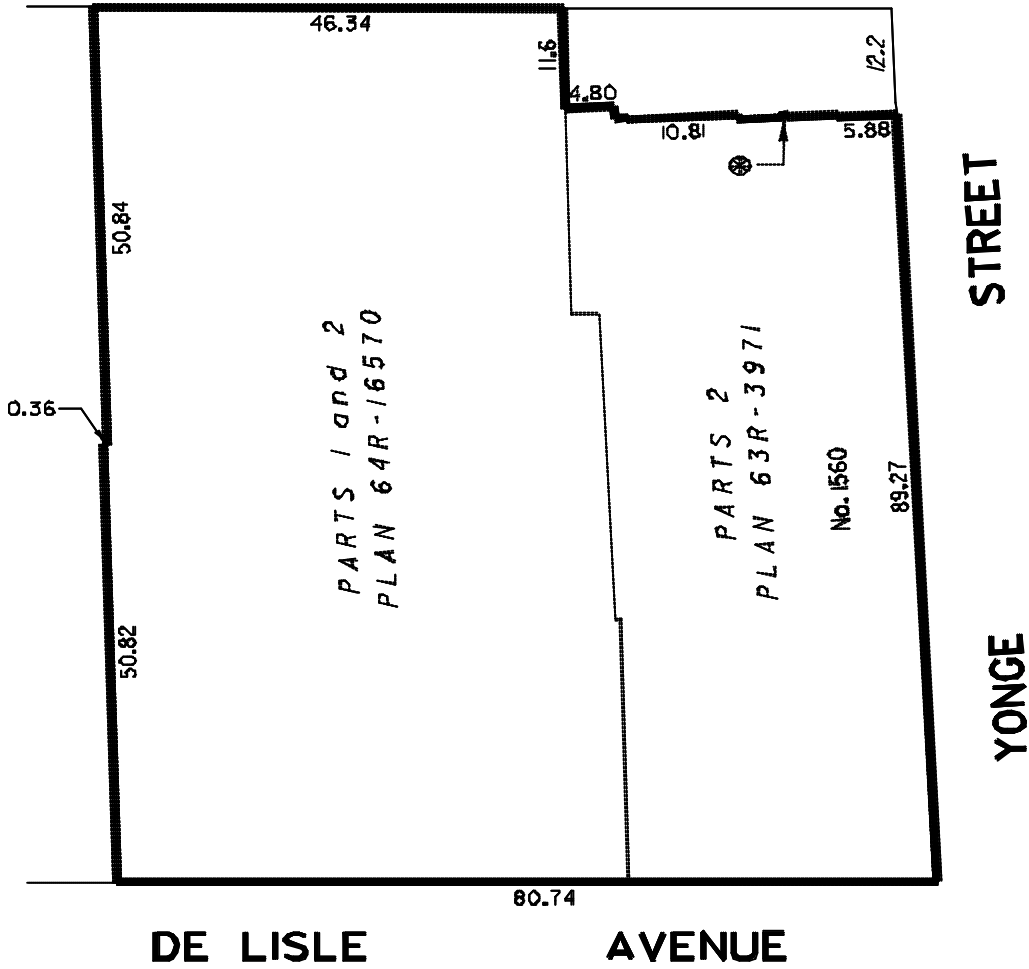
- (a) not more than 24 330 square metres of *residential gross floor* area and 6 920 square metres of *non-residential gross floor* area is contained on the Site;
- (b) a minimum of 25 percent of the dwelling units erected or used in the *mixed-use building* shall be *low-end-of-market housing*;
- (c) the owners of the *Site* enters into one or more agreements pursuant to Section 37 of the *Planning Act*, to secure the following facilities, services and matters:
 - (i) a contribution of one hundred thousand dollars (\$100 000.00) to the City to undertake a neighbourhood traffic study and implement any required improvements; such contributions to be provided prior to the issuance of any building permit; and
 - (ii) a minimum of 50 parking spaces on or within 300 metres of the *Site* for the exclusive use of the City, during the period between the commencement of demolition of the existing public parking facility on the *Site* and the commencement of operation of a new public parking facility on the *Site*.

For the purpose of this Official Plan amendment;

- (a) “*low-end-of market housing*” means dwelling units which are subject to the following size restrictions:
 - (i) the floor area of a bachelor or one-bedroom dwelling unit does not exceed 70 square metres;
 - (ii) the floor area of a two-bedroom dwelling unit does not exceed 90 square metres; and
 - (iii) the floor area of a three bedroom dwelling unit does not exceed 98 square metres; and
- (b) “*Site*” means those lands shown outlined by heavy lines on Map 18.496.

MAP 18.496

HEATH STREET WEST

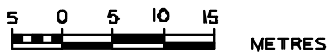


DE LISLE AVENUE



LANDS REFERRED TO AS THE "SITE"

⊗ FOR ADDITIONAL DIMENSIONS SEE PLAN 63R-3971



WORKS AND EMERGENCY SERVICES
 SURVEY AND MAPPING SERVICES
 TORONTO NOVEMBER, 2000
 OPA00/18496.DGN
 FILE: D12-MPI
 MAP No. 50K-313 DRAWN: W.L.: D.R.