

CITY OF TORONTO

BY-LAW No. 108-2001(OMB)

To amend former City of North York By-law No. 7625, as amended, in respect of lands municipally known as 5365 Leslie Street.

WHEREAS the Ontario Municipal Board has heard an appeal pursuant to Section 34(11) of the Planning Act, R.S.O. 1990, c.P.13, as amended, in respect of an application to amend the Zoning By-law of the City of Toronto (former City of North York) No. 7625; and

WHEREAS the Ontario Municipal Board by Order Nos. 1119 and 1752, dated August 1, 2000 and November 29, 2000, has determined to amend the Zoning By-law of the City of Toronto;

By-law No. 7625 is amended as follows:

1. Schedules "B" and "C" of By-law No. 7625 are amended in accordance with Schedule "1" of this By-law.
2. Section 64.14-A of By-law No. 7625 is amended by adding the following subsection:

64.14-A(11) R6(11)

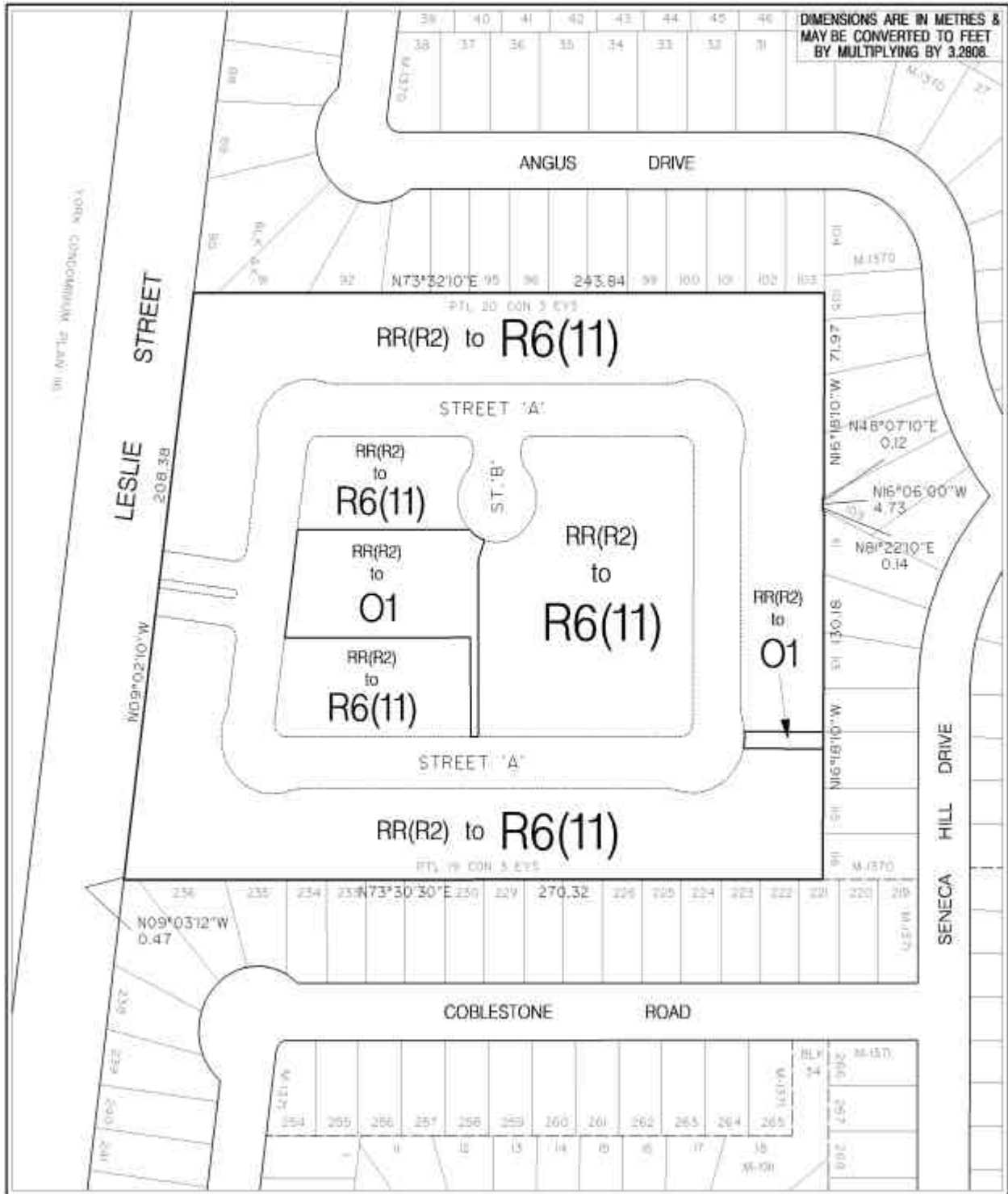
EXCEPTION REGULATIONS

- (a) The minimum front yard setback shall be 4.0 metres and no porch may project into such minimum front yard.
- (b) Notwithstanding clause (a), the minimum front yard setback to any garage shall be 5.5 metres.
- (c) For those lots shown as Lots 6, 19, 30 and 45 both of the lots lines generally opposite the front lot line shall be rear lot lines.
- (d) For those lots shown as Lots 1 to 5 and 45 to 49, all inclusive, on Schedule R6(11) the minimum rear yard setback shall be 8.5 metres.
- (e) For those lands shown as Lots 50 to 69 and 71 to 74, all inclusive, on Schedule R6(11) the minimum rear yard setback shall be 8.0 metres.
- (f) For those lots with a lot frontage less than 15.0 metres the minimum side yard setback shall be 1.2 metres.
- (g) For those lots with a lot frontage of 15.0 metres or greater the minimum side yard setback shall be 1.5 metres.
- (h) Notwithstanding clauses (f) and (g), for that portion of a wall which is the exterior wall of a garage the minimum side yard setback shall be 0.9 metres, but any wall or portion of a wall beyond the limit of such garage and, where there is a storey above such garage, the wall of such storey shall comply with clauses (f) and (g).

- (i) For those lands shown as Lots 6, 7, 9 to 27, 30, 31 and 33 to 44, all inclusive, on Schedule R6(11) the maximum lot coverage shall be 40%.
- (j) For those lands shown as Lots 1 to 5, 8, 28, 29, 32, 45 to 69, and 71 to 74, all inclusive, on Schedule R6(11) the maximum lot coverage shall be 43.5%.
- (k) For those lands shown as Lots 1 to 5, 45 to 68 and 71 to 74, all inclusive, on Schedule R6(11) the maximum building height shall be 9.5 metres and 2 storeys for a dwelling with any type of roof other than a flat roof, and 8.0 metres and 2 storeys for a dwelling with a flat roof.
- (l) For those lands shown as Lot 69 on Schedule R6(11) the maximum building height shall be 9.0 metres and 2 storeys and shall be measured to the highest point of the roof surface.
- (m) The maximum length of dwelling for each lot shall be the length of the lot minus both the 4.0 metre minimum front yard setback and the minimum rear yard setback, and shall be measured at right angles from the 4.0 metre minimum front yard setback to the exterior of the rear-most wall of the building. No increase to the maximum length of dwelling by any extension as referred to in subsection 14-A(9)(b) is permitted. The length of each lot shall be measured as the shortest distance between the front lot line and the rear lot line.
- (n) For the lands shown as Lot 70 on Schedule R6(11):
 - (i) The minimum front yard setback shall be 1.2 metres and the maximum front yard setback shall be 5.0 metres.
 - (ii) The minimum rear yard setback shall be 3.9 metres.
 - (iii) The maximum length of dwelling provisions in Section 14(A)(9) shall not apply.
 - (iv) The maximum building height shall be the height of the dwelling existing on the lands on January 1, 2000.

PURSUANT TO THE ORDER OF THE ONTARIO MUNICIPAL BOARD ISSUED ON NOVEMBER 29, 2000 IN BOARD FILE NO. PL000185.

SCHEDULE "1"



SCHEDULE "R6(11)"

