

Authority: Midtown Community Council Report No. 2, Clause No. 20,  
as adopted by City of Toronto Council on March 6, 7 and 8, 2001  
Enacted by Council: March 8, 2001

## **CITY OF TORONTO**

### **BY-LAW No. 128-2001**

#### **To amend the former City of North York By-law No. 7625 in respect of lands municipally known as 101-123 Bartley Drive.**

WHEREAS authority is given to Council by Section 34 of the Planning Act, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules “B” and “C” of By-law No. 7625 of the former City of North York are amended in accordance with Schedule “1” of this by-law.
2. Section 64.16 of By-law No. 7625 of the former City of North York is amended by adding the following:

**“64.16(40) RM1(40)**

#### **EXCEPTION REGULATIONS FOR MULTIPLE ATTACHED DWELLINGS**

- (a) The maximum number of dwelling units shall be 47.
- (b) The provisions for minimum lot area, minimum street frontage, minimum distance between buildings and minimum landscaped area shall not apply.
- (c) The maximum lot coverage shall be 42%.
- (d) The minimum yard setbacks shall be as shown on Schedule “RM1(40)”.
- (e) Exterior stairways, porches and canopies shall be permitted to project into the minimum side yard setback for the end units facing Bartley Drive, but shall be a minimum of 0.6 metres from any side lot line.
- (f) The maximum gross floor area shall be 10,005 square metres.
- (g) The maximum building height shall be as shown on Schedule “RM1(40)”.
- (h) The minimum driveway width shall be 3.0 metres.
- (i) Required parking may be provided within the area shown as “parking encroachment”

as shown on Schedule “RM1(40)”.

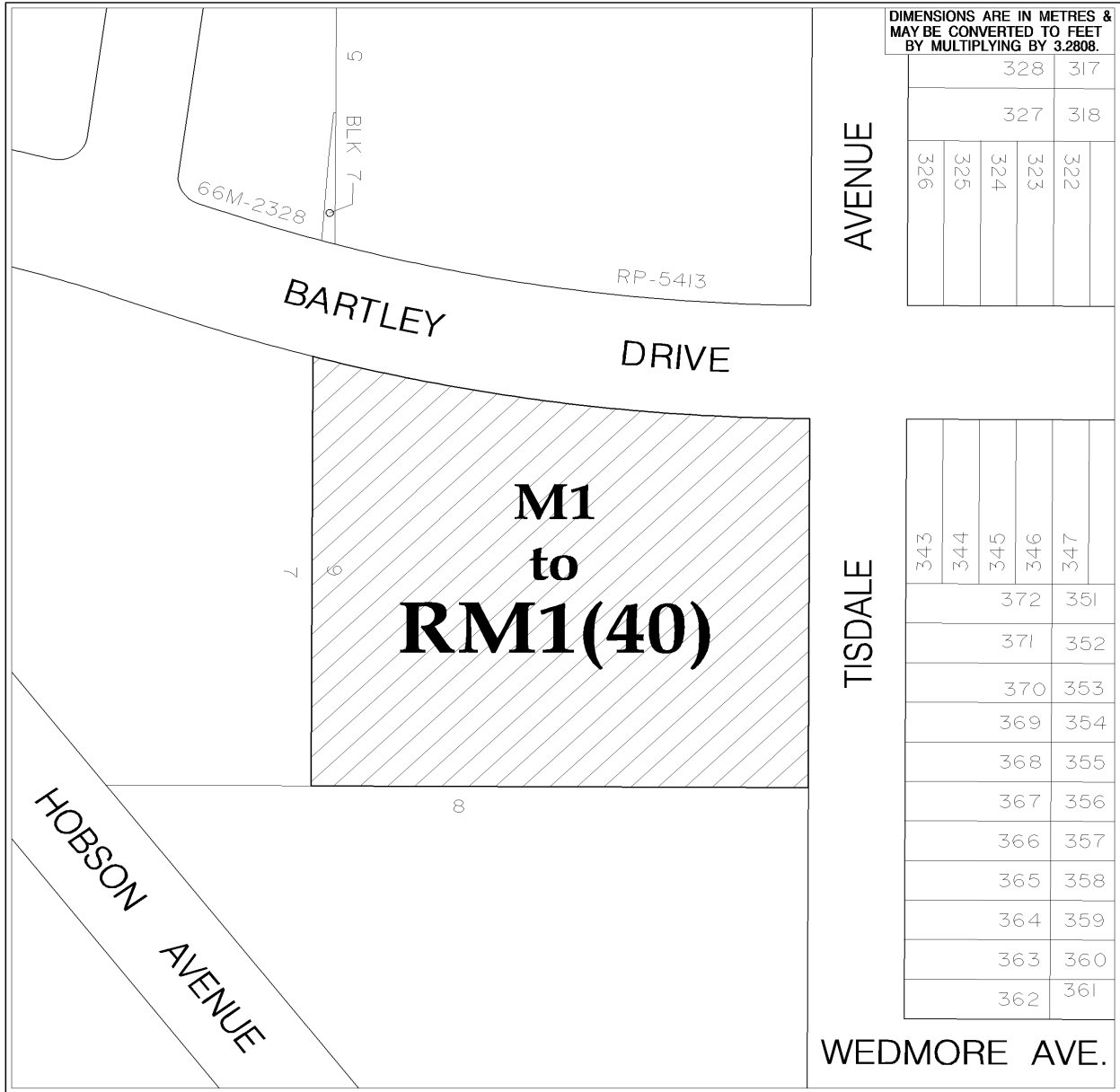
- (j) The provisions of this exception shall apply collectively to the lands zoned RM1(40) notwithstanding their future severance, partition or division for any purpose”.
- 3.** Section 64.16(40) of By-law No. 7625 of the former City of North York is amended by adding Schedule “RM1(40)” attached to this by-law.

ENACTED AND PASSED this 8th day of March, A.D. 2001.

CASE OOTES,  
Deputy Mayor

NOVINA WONG,  
City Clerk

(Corporate Seal)



**This is Schedule " 1 " to By-Law \_\_\_\_\_**  
**passed the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_**

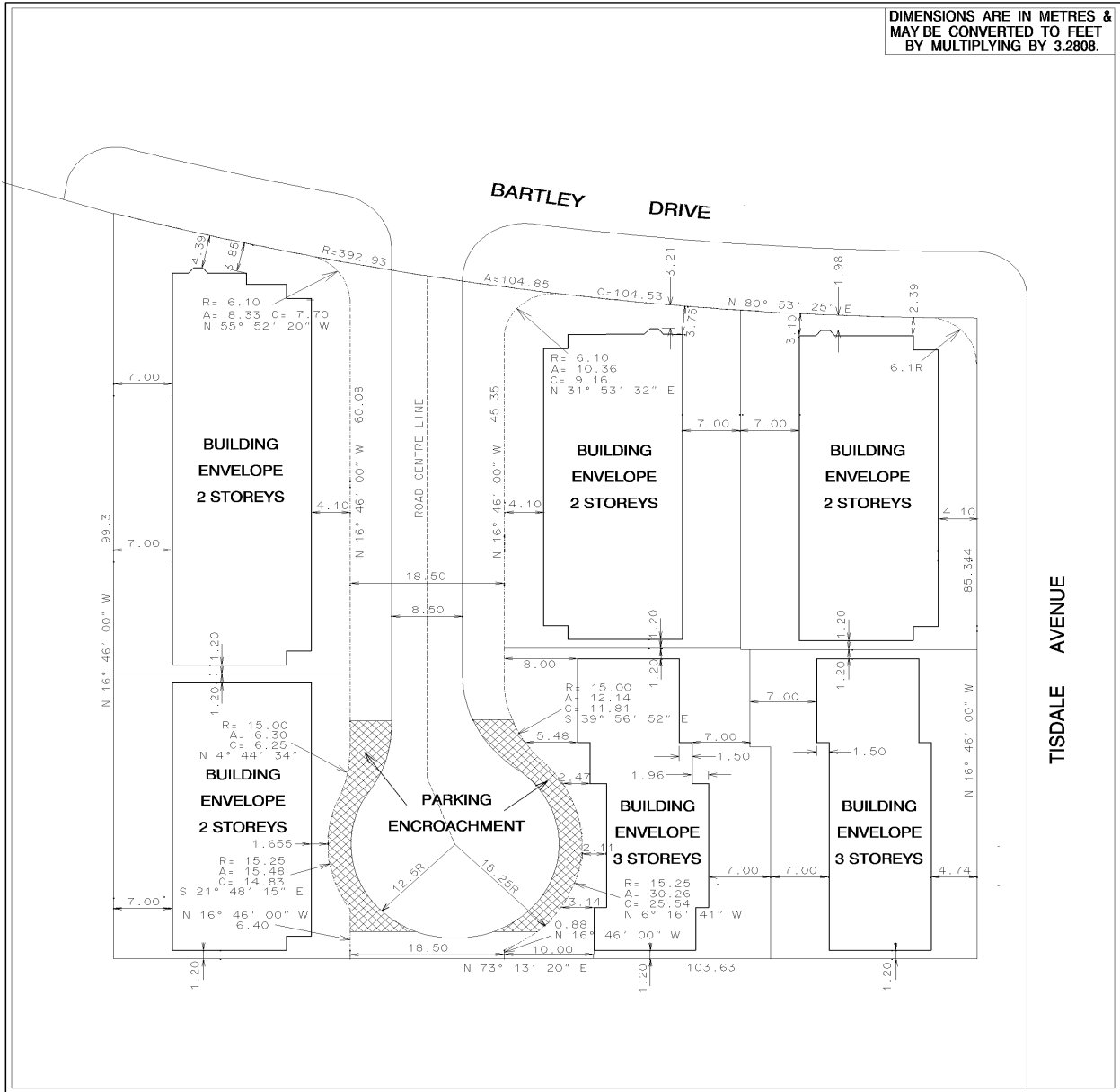
(Sgd.) \_\_\_\_\_ (Sgd.) \_\_\_\_\_  
 CLERK MAYOR

**Location: Lot 6, Registered Plan 5413**

<b>File No.</b> UDZ-97-50 & UDSB-1246	<b>Prepared by:</b> T. A.	<b>Approved by:</b> N. S.	<b>Date:</b> MAY 09 / 00	<b>Filename:</b> SBL2992
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Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.  
 Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.





**This is Schedule " RM1(40) " to By-Law \_\_\_\_\_  
passed the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_**

(Sgd.) \_\_\_\_\_

CLERK

(Sgd.) \_\_\_\_\_

MAYOR

**Location: 101-123 Bartley Drive**

**File No. UDZ-97-50 &  
UDSB-1246**

**Prepared by: F.L.**

**Approved by: N.S.**

**Date: JAN. 10, 2001**

**Filename: SBL2992**

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