

CITY OF TORONTO

BY-LAW No. 149-2004(OMB)

To further amend the former City of Scarborough Zoning By-law No. 10010, with respect to the Scarborough Village Community Zoning By-law, as amended.

WHEREAS the Ontario Municipal Board pursuant to its Order No. 1262 dated September 22, 2003, upon hearing the appeal of Thora Auto Sales (Toronto) Ltd., under Section 34(11) of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, deems it advisable to amend the former City of Scarborough Zoning By-law No. 10010, the Scarborough Village Community Zoning By-law;

THEREFORE By-law No. 10010, the Scarborough Village Community Zoning By-law as amended, of the former City of Scarborough, is further amended by the Ontario Municipal Board as follows:

1. **SCHEDULE “A”** of the Scarborough Village Community Zoning By-law is amended by deleting the existing Highway Commercial (HC) Uses and associated Performance Standards, so that the amended zoning shall read as follows on Schedule “1”:

S – 40J – 40K – 57C – 57D – 60J – 80S – 126 – 262 – 264

S – 40J – 40K – 57C – 80T – 126 – 177 – 262 – 265

2. **SCHEDULE “B”, PERFORMANCE STANDARDS CHART**, is amended by adding Performance Standards 40J – 40K – 57C – 57D – 60J – 80S – 80T – 177 – 264 – 265 as follows:

BUILDING SETBACKS FROM STREET

40J. Minimum front yard building setback of 2.1 m from the street line of Kingston (service) Road and 3 m from all other street lines.

40K. Garage main wall containing the vehicular access shall be set back a minimum of 5.7 m from the **front lot line**.

SIDE YARD

57C. Minimum **side yard** building setback of 0.3 m from one side and 0.9 m on the other side.

57D. Minimum building setback of 1.2 m from side wall to the street line for buildings erected on corner lots.

BUILDING SETBACKS FROM LOT LINES (OTHER THAN STREET LINES)

60J. Minimum **rear yard** building setback of 6.9 m.

FLOOR AREA

80S. Maximum **floor area** per **dwelling unit** shall be 0.8 times the lot area.

80T. Maximum **floor area** per **dwelling unit** shall be 0.7 times the lot area.

MISCELLANEOUS

177. **Single-Family Dwelling** located within 7.3 m of the southerly most lot line shall be setback a minimum of 6.0 m from the street line of Duncombe Boulevard.

INTENSITY OF USE

264. One **Single-Family Dwelling** per parcel of land with a minimum of 7.3 m frontage on a public street and a minimum 180 m² of lot area.

265. One **Single-Family Dwelling** per parcel of land with a minimum of 7.3 m frontage on a public street and a minimum 210 m² of lot area.

3. **SCHEDULE “C”, EXCEPTIONS LIST**, is amended by adding the following Exception No. 40:

40. On those lands identified as Exception No. 40 on the accompanying Schedule “C”, the following provisions shall apply:

(a) **CLAUSE VI – PROVISIONS FOR ALL ZONES, Section 15 - Regulations for Single-Family and Two-Family Dwellings**, Sub-Section 15.3 shall not apply.

(b) Notwithstanding the definition of **Main Wall** within the Zoning By-law, no projections shall extend into a yard, which is required to separate a building from a street.

SCHEDULE “C”, EXCEPTIONS LIST, is amended by adding the following Exception No. 41:

41. On those lands identified as Exception No. 41 on the accompanying Schedule “C”, the following provisions shall apply:

(a) **CLAUSE VI – PROVISIONS FOR ALL ZONES, Section 15 - Regulations for Single-Family and Two-Family Dwellings**, Sub-Sections 15.3 and 15.4 shall not apply.

- (b) Notwithstanding the definition of **Main Wall** within the Zoning By-law, no projections shall extend into a yard, which is required to separate a building from a street.

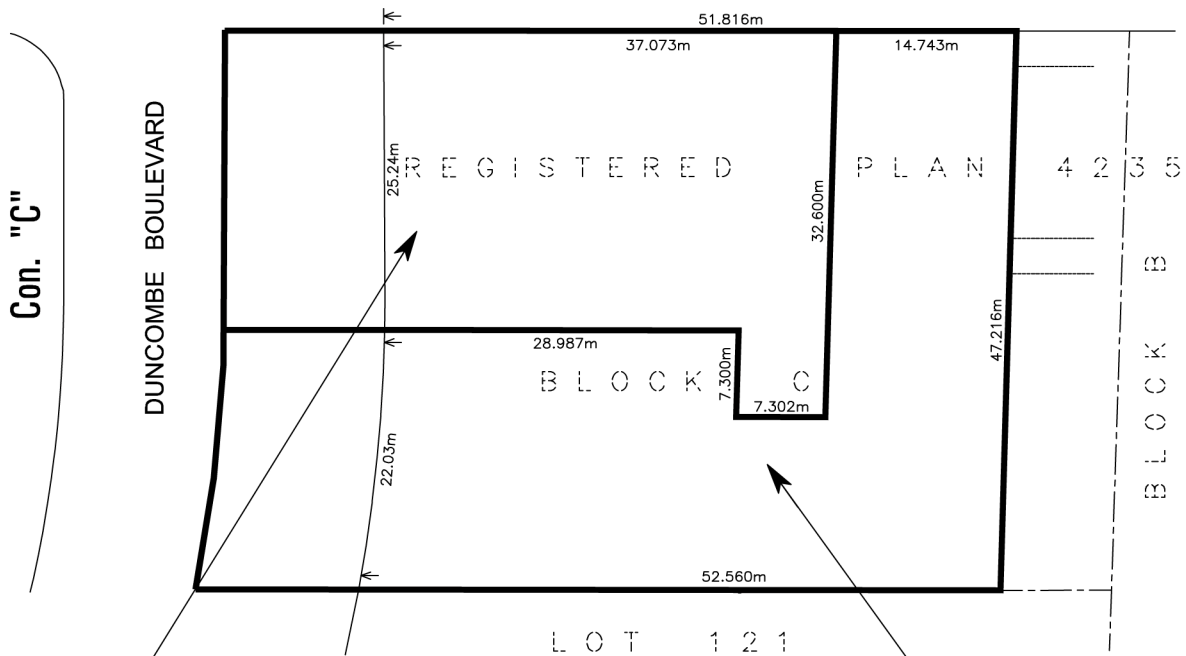
PURSUANT TO ORDER NO. 1262 OF THE ONTARIO MUNICIPAL BOARD ISSUED ON SEPTEMBER 22, 2003 IN BOARD FILE NO. PL030390.

Schedule "1"

Lot 18

KINGSTON ROAD

SERVICE ROAD



S-40J-40K-57C-80T-126-177-262-265


S-40J-40K-57C-57D-60J-80S-126-262-264

TORONTO Urban Development Services
Zoning By-Law Amendment

3587 Kingston Road

File # TF ZBL 2002 0019

 Area Affected By This By-Law

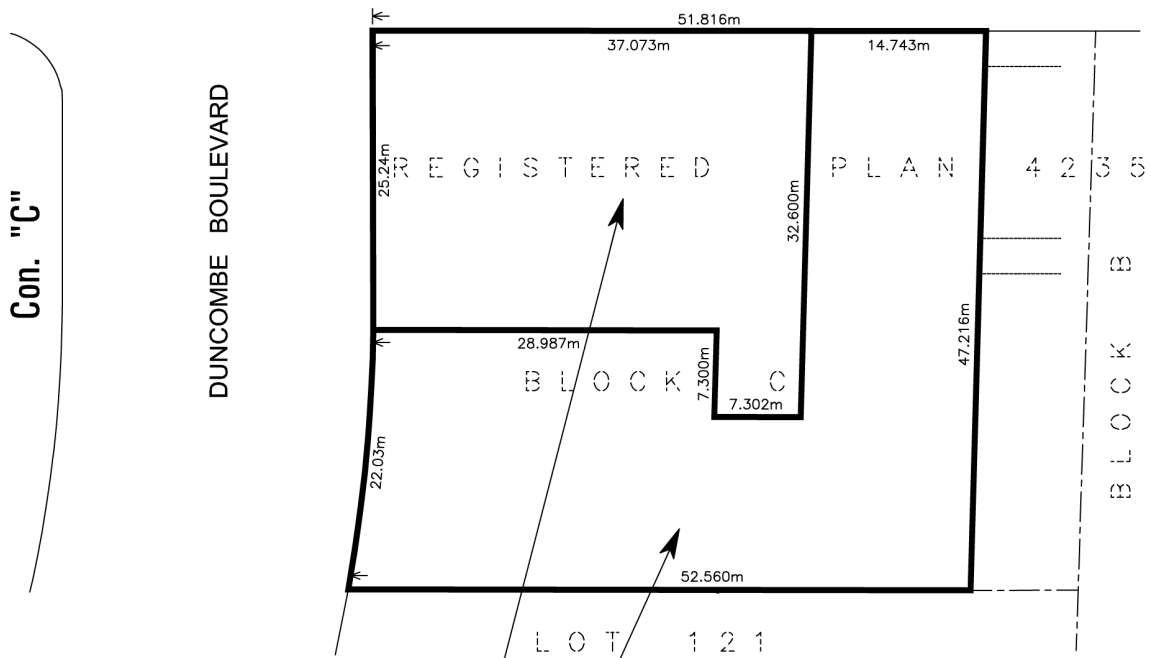

 Not to Scale
 Scarborough Village Community By-law
 Extracted 8/28/03 - KP
 Job No. ZBL20020019-Z

Schedule "C"

Lot 18

KINGSTON ROAD

SERVICE ROAD




Exception No. 41
 Exception No. 40

TORONTO Urban Development Services
 Zoning By-Law Amendment

3587 Kingston Road
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 Scarborough Village Community By-law
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