

Authority: North York Community Council Report No. 7, Clause No. 28, as adopted by City of Toronto Council on September 22, 23, 24 and 25, 2003 and Notice of Motion J(54), moved by Councillor Filion, seconded by Councillor Jenkins, as adopted by City of Toronto Council on July 20, 21 and 22, 2004
Enacted by Council: July 22, 2004

CITY OF TORONTO

BY-LAW No. 733-2004

To amend former City of North York By-law No. 7625, as amended, with respect to lands known municipally as 134, 136 and 138 Finch Avenue West, the rear portions of 16, 18 and 18A Altamont Road and part of Lot 23, Registered Plan 2056.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules "B" and "C" of By-law No. 7625 of the former City of North York are amended in accordance with Schedule "1" of this By-law.
2. Section 64.16 of By-law No. 7625, as amended, is amended by adding the following subsection:

"64.16 RM1(55)

PERMITTED USES

- (a) The only permitted uses shall be multiple attached dwellings and accessory uses thereto.

EXCEPTION REGULATIONS

MAXIMUM NUMBER OF DWELLING UNITS

- (b) The maximum number of dwelling units is 73.

MAXIMUM GROSS FLOOR AREA

- (c) The maximum gross floor area permitted on the net site is 13,700 m².

BUILDING HEIGHT

- (d) The building height shall not exceed 10.0 m and shall not exceed 3.5 storeys, with the basement level being considered ½ storey in height. For the purpose of this exception, "Established Grade" shall be considered to be the geodetic elevation of 183.54 m.

BUILDING ENVELOPE

- (e) No portion of any building or structure erected and used above established grade shall be located otherwise than wholly within the building envelope identified on Schedule “RM1(55)”.

PARKING

- (f) A minimum of 2 parking spaces per dwelling unit shall be provided on the net site, plus a maximum of 10 parking spaces designated solely for visitors’ parking.

LOT COVERAGE

- (g) The maximum permitted lot coverage is 38 per cent of the net site.

LANDSCAPING

- (h) A minimum of 3,400 m² landscaping shall be provided on the net site. Walkways, but not decks or porches, are included in landscaping.

YARD SETBACKS AND DISTANCES BETWEEN BUILDINGS

- (i) The minimum yard setbacks and distances between buildings shall be as shown on Schedule “RM1(55)”.

PERMITTED PROJECTIONS, DECKS AND OVERVIEW

- (j) Unexcavated porches and decks are permitted to a maximum vertical distance of 1.8 m measured from the finished level of the ground adjacent to the porch or deck to the highest point of the floor surface of the porch or deck. Canopies, unexcavated porches, and decks may project a maximum of 1.5 m into any required yards or required distances between buildings.
- (k) Only porches and decks that are unexcavated are permitted.
- (l) Each dwelling unit is permitted a maximum of 1 balcony.
- (m) Cantilevered bay windows are permitted to project to a maximum of 0.45 m into the west side yard of Block 1.
- (n) Notwithstanding (l), balconies are not permitted at the second storey level or at any level above the second storey level in the following locations:
 - (i) east side of Block 2;
 - (ii) west side of Block 3;
 - (iii) east side of Block 4; and
 - (iv) north side of Block 5.

OTHER REGULATIONS

- (o) The provisions of Section 6(7) (Frontage on a Street) shall not apply.
 - (p) The provisions of Section 16.2.1 (Lot Area) shall not apply.
 - (q) The provisions of Section 16.2.3 (Street Frontage) shall not apply.
 - (r) Notwithstanding any severance, partition or division of the site shown on Schedule "RM1(55)", the provisions of this By-law shall apply to the whole of the site as if no severance, partition or division occurred."
3. Section 64.16 of By-law No. 7625 is amended by adding Schedule "RM1(55)" attached to this By-law.

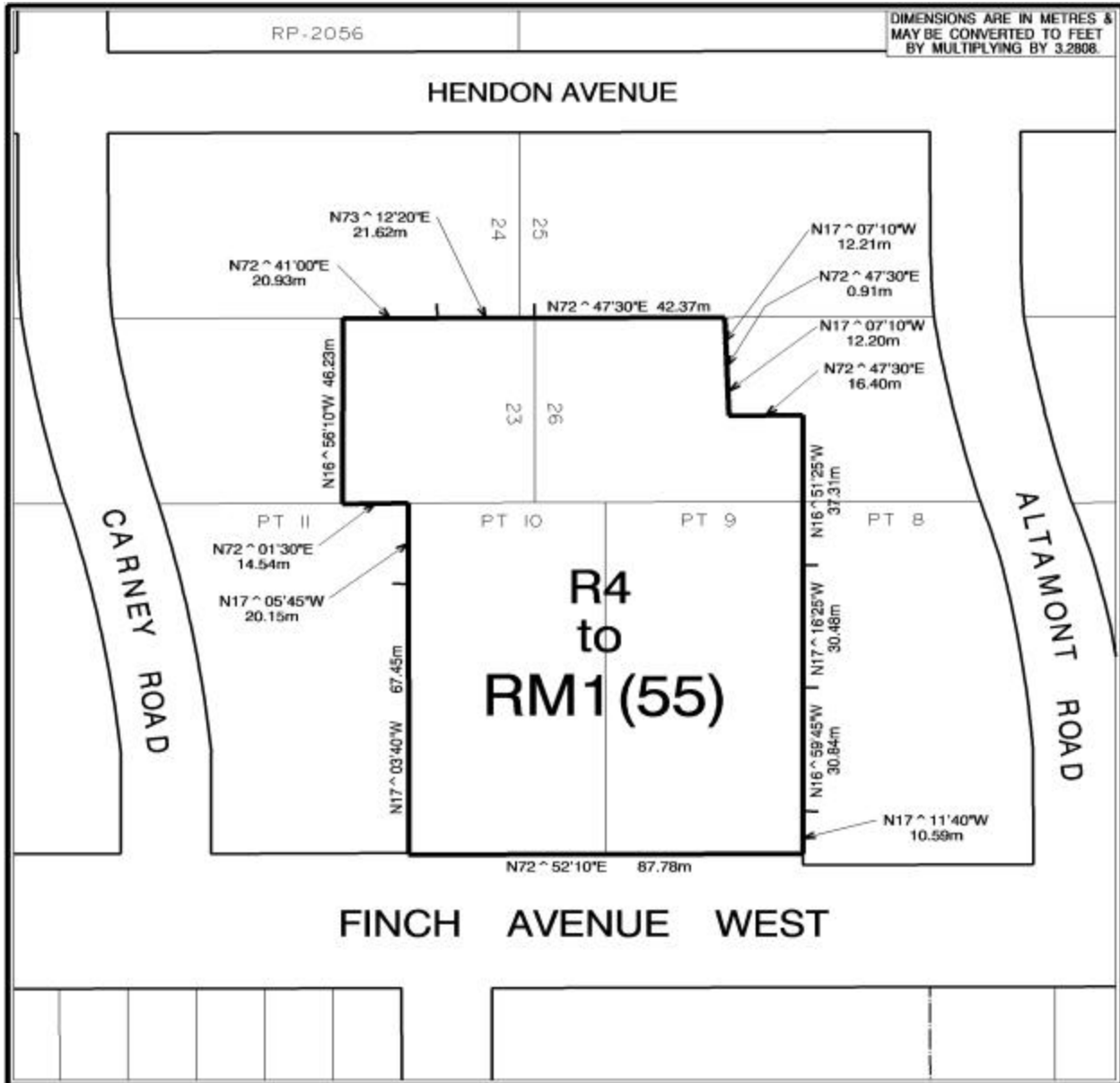
ENACTED AND PASSED this 22nd day of July, A.D. 2004.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS
City Clerk

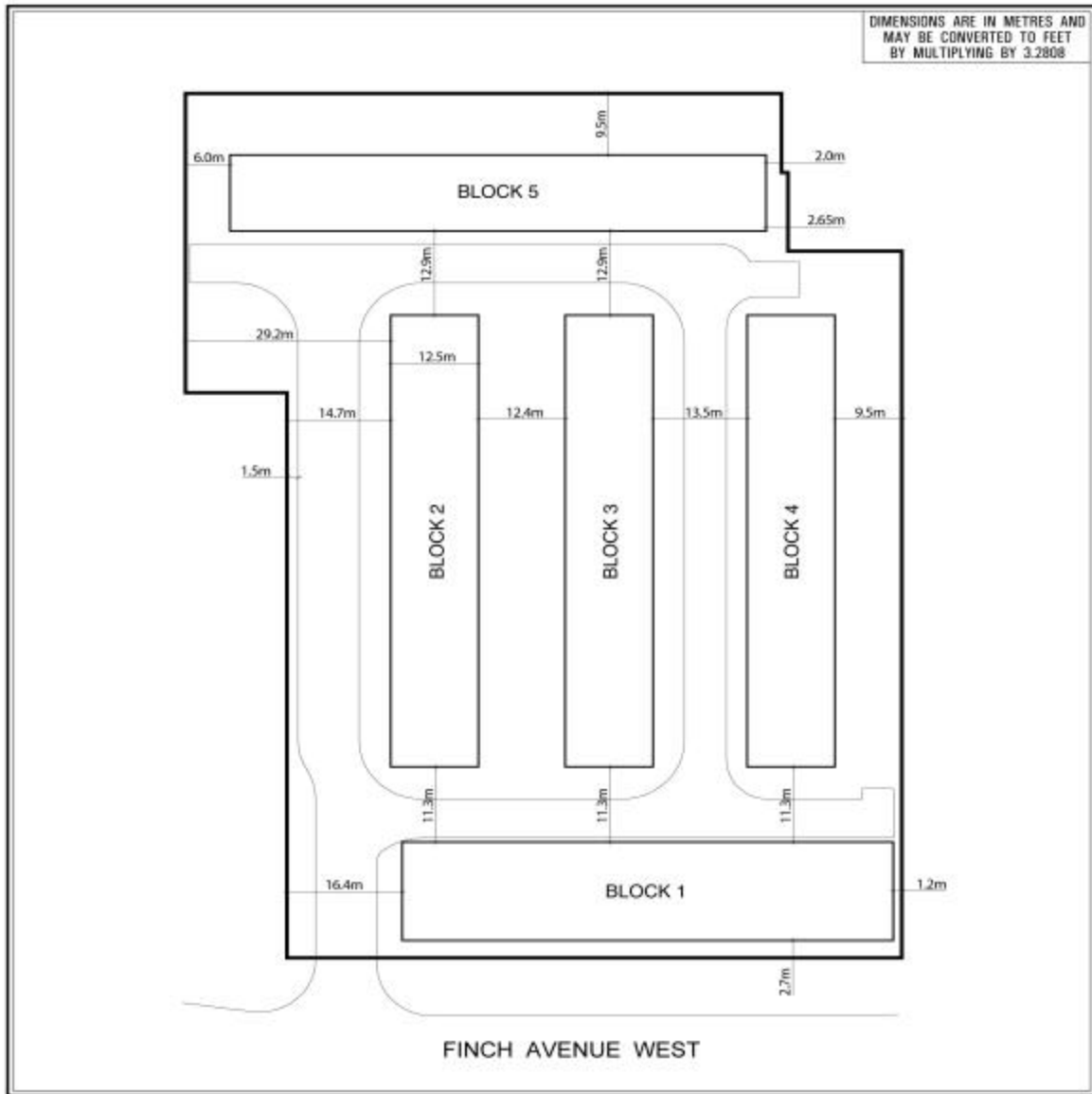
(Corporate Seal)

SCHEDULE "1"



<p>This is Schedule " 1 " to By-Law _____ passed the _____ day of _____, 20 ____</p>				 City Planning Division <small>North District</small>
(Sgd.) _____ CLERK	(Sgd.) _____ MAYOR	 SUBJECT PROPERTY		
<p>Location: All of Lots 9 & 10 & Part of Lots 23 & 26, R.P. 2056, City of Toronto</p>				
File: TB ZBL 2002 0011 & TB SPC 2002 0093	Prepared by: A.A.	Approved by: C.C.	Date: MAY 19, 2004	Filename: RM1(55)
Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District. Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.				

SCHEDULE "RM1(55)"



<p>This is Schedule " RM1(55) " to By-Law _____ passed the _____ day of _____, 20 ____</p>				 TORONTO City Planning North
(Sgd.) _____ CLERK	(Sgd.) _____ MAYOR			
Location: All of Lots 9 & 10 & Part of Lots 23 & 26, R.P. 2056, City of Toronto				
File No. TB ZBL 2002 0011 & TB SPC 2002 0093	Prepared by: A.K.	Approved by: C.C.	Date: May 18, 2004	Filename: RM1(55).ai
<small>Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District. Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.</small>				