

CITY OF TORONTO

BY-LAW No. 736-2004(OMB)

To amend the Rouge Community Zoning By-law No. 15907, as amended, of the former City of Scarborough.

WHEREAS the Ontario Municipal Board pursuant to its Order No. 1108 issued on June 23, 2004, upon hearing the appeal of Mattamy (Rouge) Limited, under Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, directed the amendment to former City of Scarborough Zoning By-law No. 15907, as amended.

1. **SCHEDULE “A”**, is amended by deleting the existing Zone Provisions and Performance Standards from the subject lands as shown outlined on the attached Schedule ‘1’ and adding thereto the following Zone Provisions and Performance Standards as shown on the attached Schedule ‘1’.

SD-64-129-226-228-252-315A-460-467-469

ST-66-130-132-227-229-315B-460-469-470

ST-67-131-132-227-229-315C-460-469-470

S(H)-63-129-225-228-315A-460-467-469

SD(H)-64-129-226-228-252-315A-460-467-469

ST(H)-66-130-132-227-229-315B-460-469-470

ST(H)-67-131-132-227-229-315C-460-469-470

2. **SCHEDULE “B”, PERFORMANCE STANDARD CHART**, is amended by adding the following Performance Standards:

INTENSITY OF USE

66. A maximum of two **dwelling units** per **lot**, as shown on a Registered Plan, each **lot** having a minimum lot frontage of 7 m on a **public street** and a minimum lot area of 175 m².
67. One **dwelling unit** per **lot**, as shown on a Registered Plan, having a minimum lot frontage of 4.3 m on a **public street** and a minimum lot area of 90 m².

MAIN WALL SETBACKS FROM STREETS

130. Minimum building **setback** shall be 3 m from Sheppard Avenue, East Metro Avenue and Rouge River Drive.

131. Minimum building **setback** shall be 3 m from the north **lot line**.

132. Minimum **flankage yard** shall be 3.0 m.

MAIN WALL SETBACKS FROM SIDE AND/OR REAR LOT LINES

229. Minimum **rear yard** building **setback** shall be 0 metres, except the garage **main wall** containing the vehicular access shall be **setback** a minimum of 6.0 metres.

FLOOR AREAS, GROUND FLOOR AREAS, DWELLING UNIT COMPOSITION

315B. Ground floor area coverage shall not exceed sixty-five percent (65%) of the lot area.

315C. Ground floor area coverage shall not exceed seventy-five percent (75%) of the lot area.

MISCELLANEOUS

470. **Height** of **dwellings** shall not exceed 14.5 m and 4 **storeys**, excluding **basements**.

3. The existing **EXCEPTIONS 14, 31, 33 and 34** are deleted from the subject lands as shown outlined on the attached Schedule '2'.
4. **SCHEDULE "C", EXCEPTIONS LIST**, is amended by adding the following **EXCEPTIONS 36 and 37** on the lands as shown outlined on the attached Schedule '2':

36. On those lands identified as Exception No. 36, on the attached Schedule '2', the following provisions shall apply:

(a) Permitted Uses

- **Street Townhouse Dwellings**
- Residential/Employment Uses
- **Group Homes**

(b) Ancillary Uses Permitted

- **Private Home Day Care**

(c) Supplementary Regulations

(i) The operation of a **rooming and/or boarding house** is strictly prohibited.

(d) **Street Townhouse Dwellings** means a row of three or more **dwellings**, vertically separated, each **dwelling** having separate frontage on a **public street** and

permitted to contain a maximum of two **dwelling units**.

(e) Residential/Employment Uses shall mean a **dwelling unit** which may be combined with one of the following non-residential uses:

- **day nursery**
- offices, excluding medical or dental offices
- personal service shops
- retail stores
- service shops and agencies
- studios
- tutorial facilities

Residential/Employment uses shall only be conducted by a member or members of a household that reside in the **dwelling unit**; shall not exceed 30 percent of the total residential gross floor area of the dwelling unit; and shall be restricted to the first or second **storey** of the building.

(f) **Front lot line** shall mean the **lot line** which divides a lot from Sheppard Avenue, East Metro Avenue or Rouge River Drive.

37. On those lands identified as Exception No. 37, on the attached Schedule '2', the following provisions shall apply:

(a) Only Permitted Uses

- **Street Townhouse Dwellings**
- **Group Homes**

(b) Ancillary Uses Permitted

- **Private Home Day Care**

(c) Supplementary Regulations

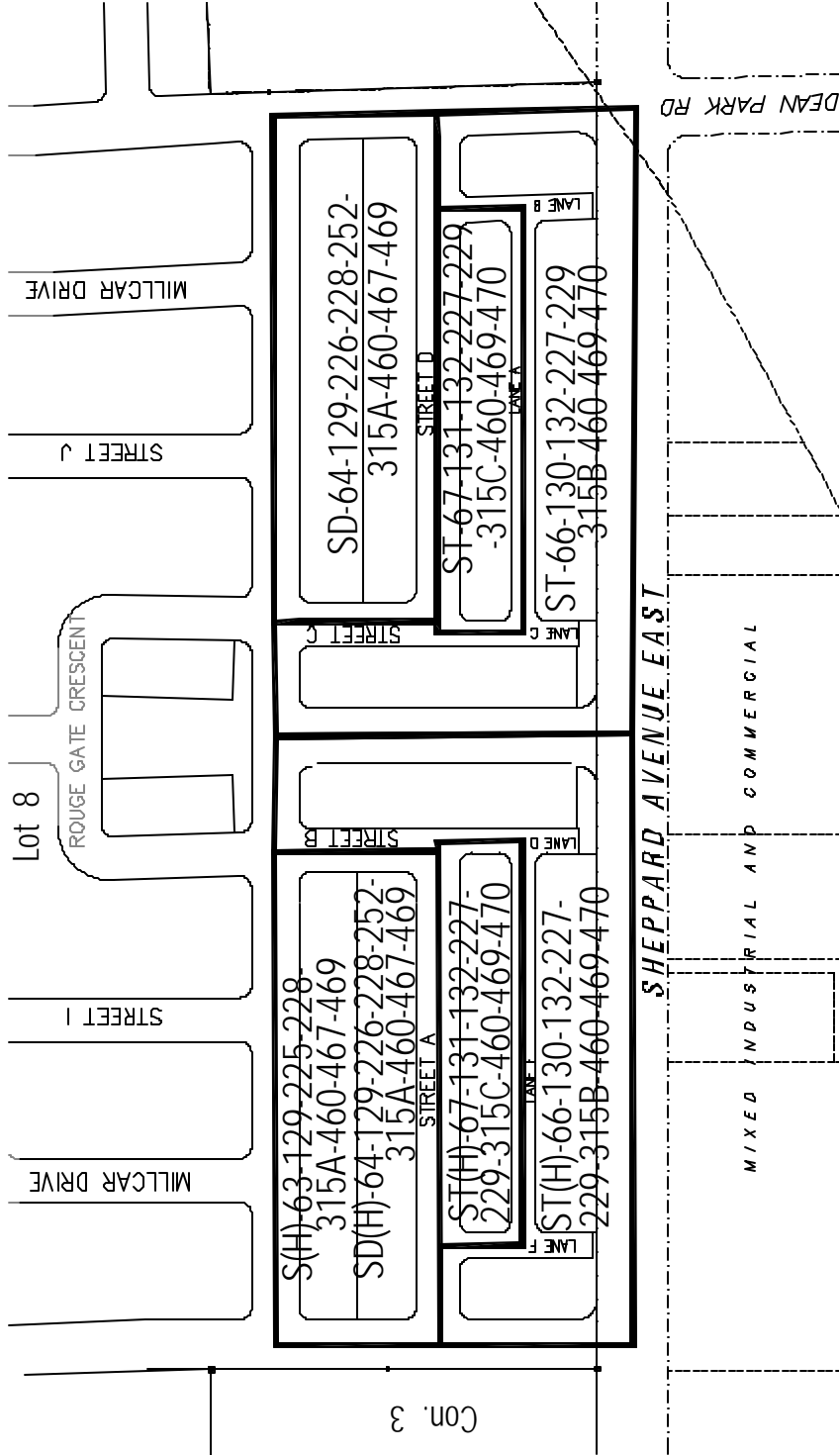
- (i) The operation of a **rooming and/or boarding house** is strictly prohibited.

(d) **Front lot line** shall mean the north **lot line**.

5. **EXCEPTIONS 25 and 34** shall apply to those lands shown outlined on the attached Schedule '2'.

PURSUANT TO THE ORDER OF THE ONTARIO MUNICIPAL BOARD ISSUED ON JUNE 23, 2004 IN BOARD FILE NO. PL991210.

Schedule '1'



Zoning Bylaw Amendment

8800 Sheppard Avenue East
 File # TF ZBL20020024, TF SUB 20020009

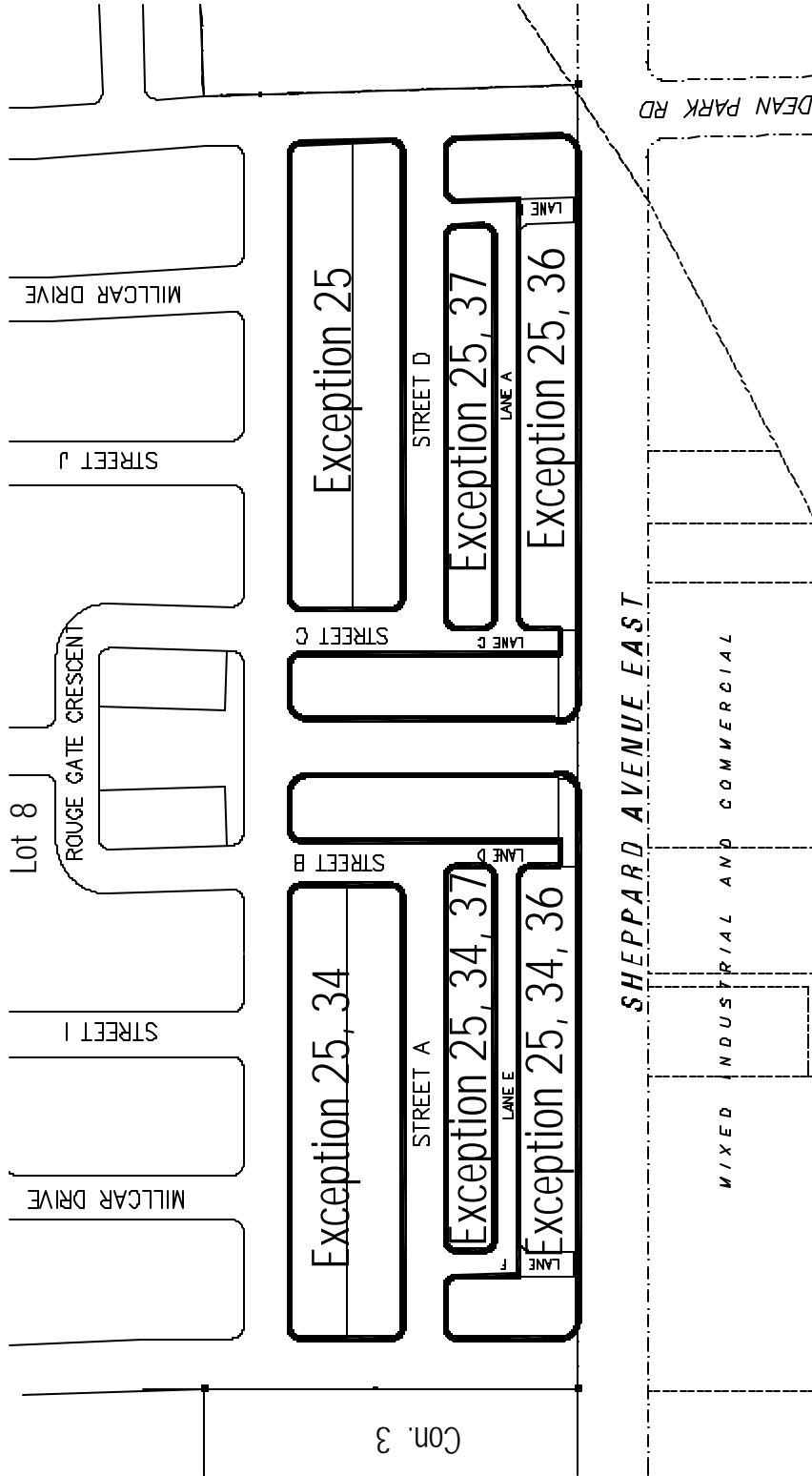


Area Affected By This By-Law



Not to Scale
 Rouge Community By-law
 Extracted 5/26/04 - BP
 Job No. ZBL20020024-SCH2

Schedule '2'



Con. 3



Zoning Bylaw Amendment

8800 Sheppard Avenue East
File # TF ZBL20020024, TF SUB 20020009

Area Affected By This By-Law

Not to Scale
Rouge Community By-law
Extracted 4/23/03 - BP
Job No. ZBL20020024.SCH2