

Authority: North York Community Council Report No. 6, Clause No. 29,
as adopted by City of Toronto Council on July 20, 21 and 22, 2004
Enacted by Council: September 30, 2004

CITY OF TORONTO

BY-LAW No. 798-2004

**To amend By-law No. 7625 of the former City of North York with respect to lands
municipally known as 89 Finch Avenue West.**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990,
c.P. 13, as amended, to pass this by-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public
and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules “B” and “C” of By-law No. 7625 are amended in accordance with
Schedule “1” of this By-law.
2. Section 64.16 of By-law No. 7625 is amended by adding the following subsection:

“64.23(118) C1(118)

PERMITTED USES

- (a) The only permitted uses shall be 1 dwelling unit on the third floor; business and
professional office uses on the second floor and retail uses and service shops on
the first floor.

EXCEPTION REGULATIONS

- (b) Gross Floor Area

The maximum gross floor area shall not exceed 664m² of which no more than
494 m² shall be used for commercial purposes including basement storage space
with retail limited to no more than 194m².

- (c) Building Height

The maximum height of the buildings and structures shall be as shown on
Schedule “C1(118)” in storeys and metres above established grade, whichever is
less.

- (d) Dwelling Units

The maximum number of dwelling units shall be 1.

(e) Yard Setbacks

The minimum yard setbacks shall be as shown on Schedule "C1(118)".

(f) Lot Coverage

The maximum lot coverage of all buildings shall be 35%.

(g) Parking

Eleven parking spaces shall be provided.

(h) The provisions of Section 6A(6), 6A(16), 23.2.1 (Lot Coverage), 23.2.2 (Yard Setbacks), 23.2.4 (Requirements for Dwellings in Commercial Buildings) shall not apply.

(i) Notwithstanding any severance or division of the lands subject to this application, the regulations of this exception shall continue to apply to the whole of the lands."

3. Section 64.25 of By-law No. 7625 is amended by adding Schedule "C1(118)" attached hereto.

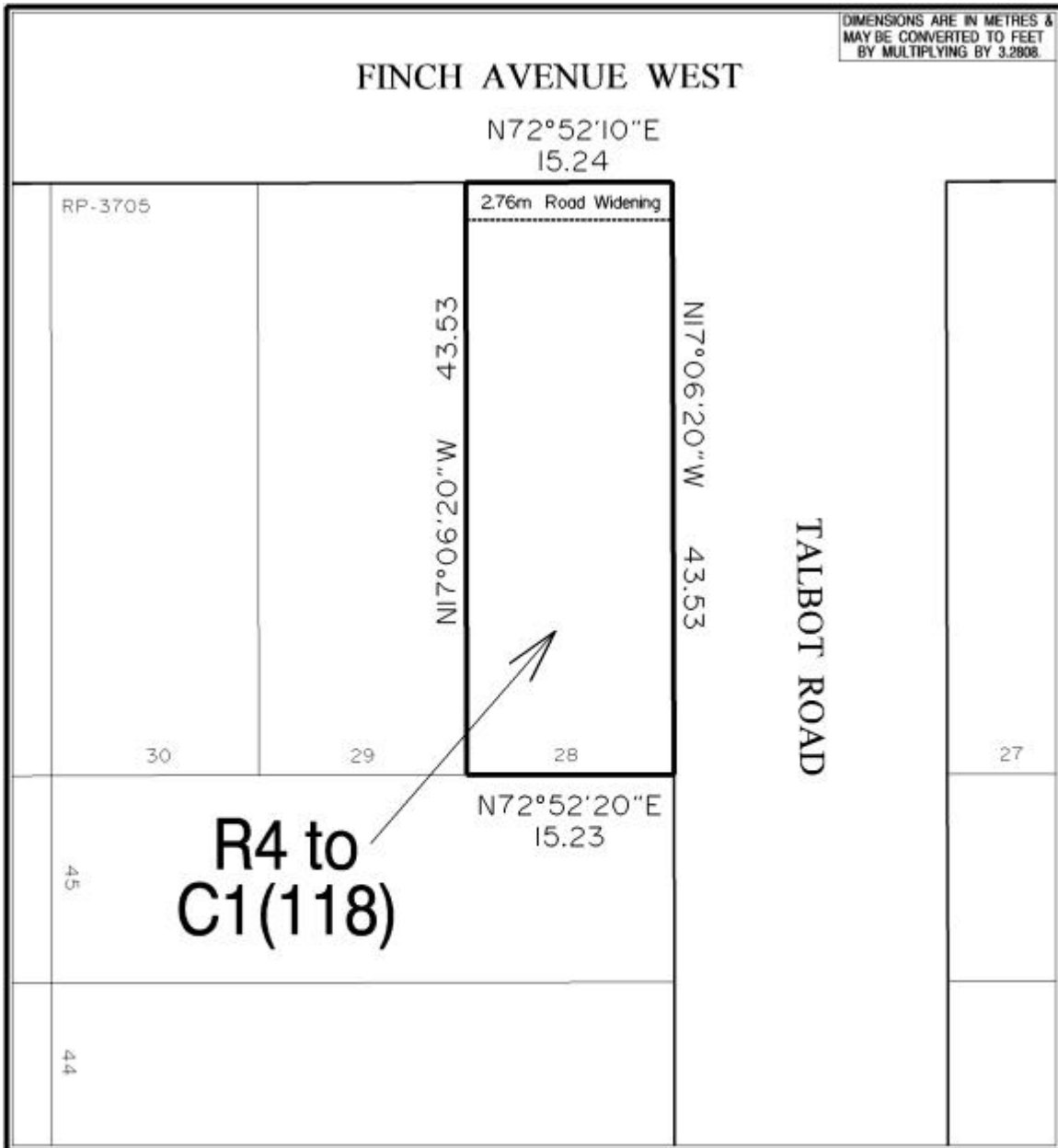
ENACTED AND PASSED this 30th day of September, A.D. 2004.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS
City Clerk

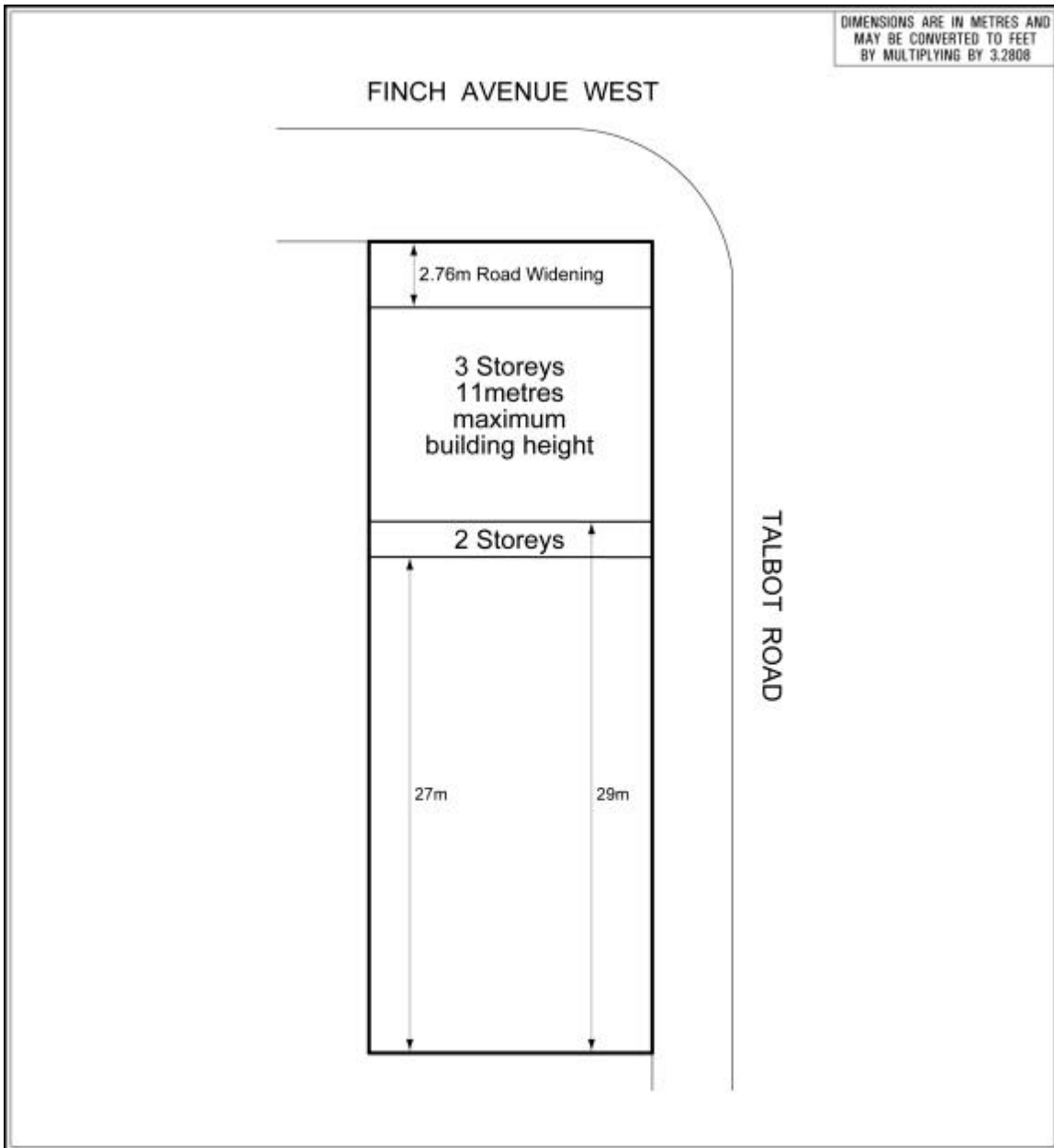
(Corporate Seal)

SCHEDULE "1"



<p>This is Schedule " 1 " to By-Law _____</p> <p>passed the _____ day of _____, 20 _____</p>		 TORONTO <small>City Planning Division North District</small>
<p>(Sgd.) _____</p> <p>CLERK</p>	<p>(Sgd.) _____</p> <p>MAYOR</p>	
<p>Location: Lot 28, Registered Plan 3705, City of Toronto</p>		
<p>File: 03_190843</p>	<p>Prepared by: A.K.</p>	<p>Approved by: K.J.</p>
<p>Date: June 2, 2004</p>	<p>Filename: C1(118)_1</p>	
<p>Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District. Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.</p>		

SCHEDULE "C1(118)"



<p>This is Schedule " C1(118)" to By-Law _____ passed the _____ day of _____, 20__</p>		 City Planning North <div style="border: 1px solid black; width: 40px; height: 20px; margin: 5px auto;"></div> SUBJECT PROPERTY
(Sgd.) _____ CLERK	(Sgd.) _____ MAYOR	
Location: Lot 28, Registered Plan 3705, City of Toronto		
File No. 03_190843	Prepared by: A.K.	Approved by: K.J.
	Date: June 8, 2004	Filename: C1(118).ai
Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District. Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.		