

Authority: Scarborough Community Council Report No. 7, Clause No. 30,  
as adopted by City of Toronto Council on September 28, 29, 30 and  
October 1, 2004  
Enacted by Council: September 30, 2004

## CITY OF TORONTO

### BY-LAW No. 852-2004

#### To amend Scarborough Zoning By-law No. 9676, as amended, with respect to the Guildwood Community.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990,  
c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and  
has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedule 'A' of the Guildwood Community Zoning By-law is amended by deleting the  
existing Highway Commercial (HC) uses and associated Performance Standards, so that  
the amended zoning shall read as follows on Schedule '1':

M-20D-101-105-121-122-123-124-125-213-214-302-303

2. Schedule 'B', **PERFORMANCE STANDARDS CHART**, is amended by adding  
Performance Standards 20D-121-122-123-124-125-213-214-302-303

#### **INTENSITY OF USE**

20D. Maximum 8 dwelling units, with a maximum 5 street townhouse dwellings  
fronting Kingston Road, and maximum 3 single-family detached dwellings  
fronting Crestwood Drive.

#### **MISCELLANEOUS**

121. Maximum building **coverage** 44% of the lot or parcel area.
122. Minimum building **setback** from the north property line for single family  
detached **dwellings** fronting Crestwood Drive : 1.2 m
123. Minimum building **setback** from the north property line for **street townhouse**  
**dwellings** fronting Kingston Road : 0.6 m
124. Minimum 2 **parking spaces** per **dwelling unit**.
125. Maximum unenclosed porch projection of 1.8 m into the easterly building setback  
for the single family detached **dwellings** facing Crestwood Drive.

**BUILDING HEIGHT**

213. Maximum building **height** for the **street townhouse dwellings** measured from minimum **street yard setback** from Kingston Road: 3 **storeys** excluding **basements** and 12.5 metres.
214. Maximum building **height** for the single family detached **dwellings** measured from minimum **street yard setback** from Crestwood Drive: 2**storeys** excluding **basements** and 9 metres

**BUILDING SETBACK FROM STREETS**

302. Minimum building **setback** 3 m from the west property line of Kingston Road.
303. Minimum building **setback** 4.7 m from the east property line at Crestwood Drive.
3. Schedule “C”, EXCEPTIONS LIST, is amended by deleting Exception No. 10.
4. Schedule “C” EXCEPTIONS LIST, is amended by deleting Exception 8 and 4 (iv) as it pertains to the subject lands and by adding Exception No. 24 to the lands as shown on Schedule ‘II’ as follows:
24. On the lands identified as Exception 24, on the accompanying Schedule C map the following shall apply:
1. **Street Townhouse Dwelling** shall mean a row of three or more attached **dwelling units** divided vertically above ground by party walls.
  2. Only Single Family Detached **Dwellings** and **Street Townhouse Dwellings** shall be permitted.
  3. The Provisions of Clause VI, Section 15, Regulations for **Single-Family Dwellings** and **Two Family Dwellings** shall not apply.
  4. The Provisions of Clause VI, Section 5, Landscaping Requirements, shall not apply.

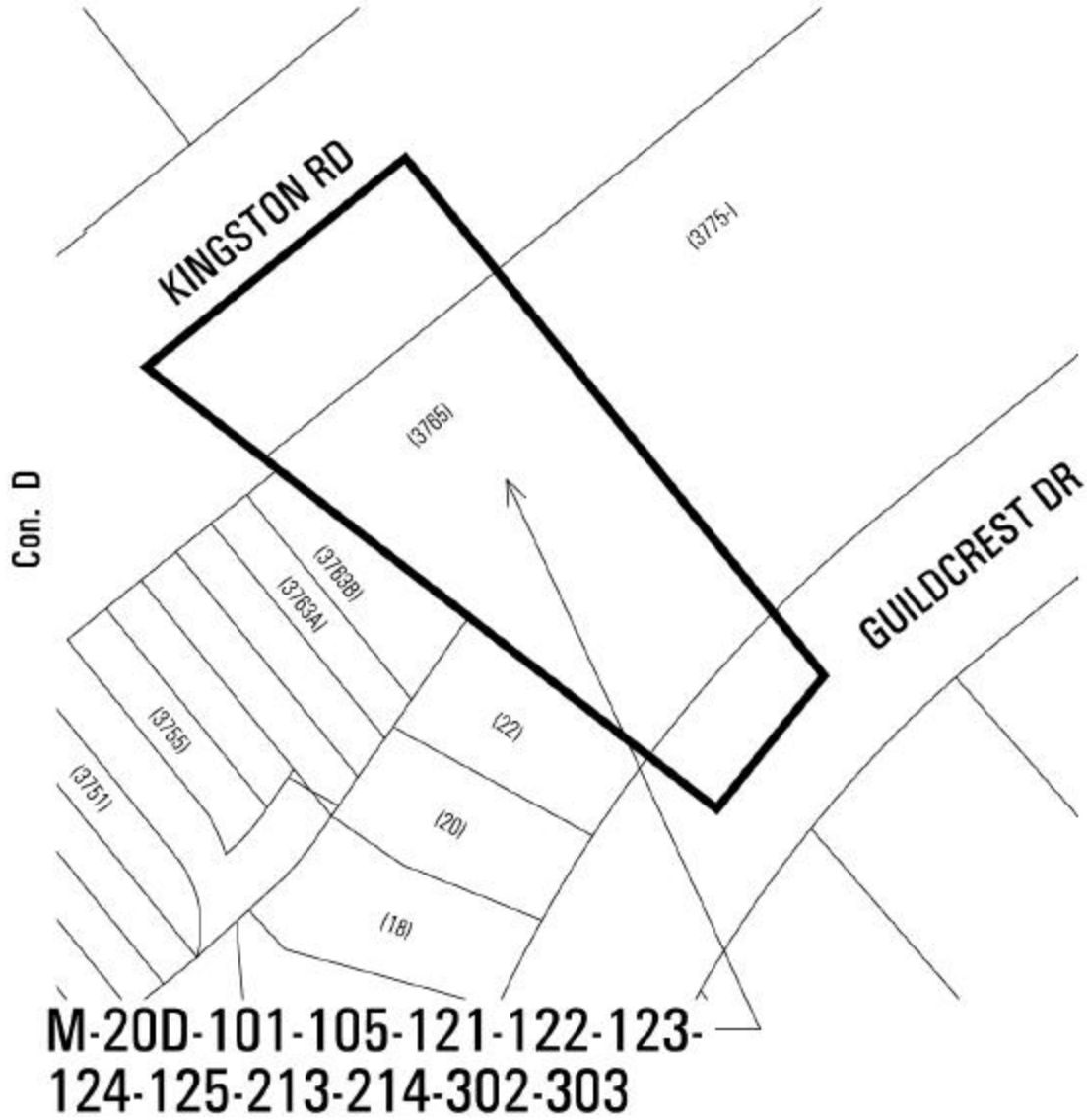
ENACTED AND PASSED this 30th day of September, A.D. 2004.

DAVID R. MILLER,  
Mayor

ULLI S. WATKISS  
City Clerk

(Corporate Seal)

Schedule '1'  
Lot 16



**Toronto** Urban Development Services  
**Zoning By-Law Amendment**

**3765 Kingston Road**  
 File # 03-166328 OZ

 Area Affected By This By-Law

Guidwood Community Bylaw  
 Not to Scale  
 08/27/04  


Schedule 'II'  
Lot 16



Exception No.24

**Toronto** Urban Development Services  
**Zoning By-Law Amendment**

**3765 Kingston Road**  
 File # 03-166328 0Z

 Area Affected By This By-Law

Guidwood Community Bylaw  
 Not to Scale  
 08/31/04

