

Authority: Etobicoke York Community Council Report 7, Clause 3, as adopted by City of Toronto Council on April 12, 13 and 14, 2005, and Notice of Motion J(12), moved by Councillor Hall, seconded by Councillor Lindsay Luby, as adopted by City of Toronto Council on January 31, February 1 and 2, 2006
Enacted by Council: February 2, 2006

CITY OF TORONTO

BY-LAW No. 163-2006

To amend Chapters 320 and 324 of the Etobicoke Zoning Code, with respect to certain lands located at the north-east corner of Finch Avenue West and Albion Road.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. The Zoning Map referred to in Section 320-5, Article II of the Etobicoke Zoning Code, and originally attached to Township of Etobicoke By-law No. 11,737, be and the same is hereby amended by changing the classification of the lands located in the former Township of Etobicoke as described in Schedule 'A' attached hereto, from Agricultural (A) to Planned Commercial Regional (CPR) provided that the following provisions shall apply to the development of the CPR lands identified in Schedule 'A' attached hereto.
2. Notwithstanding Section 320-103 of the Etobicoke Zoning Code, the following development standards shall now be applicable to the lands described in Schedule 'A' attached hereto:
 - (A) A maximum of 3 separate buildings with a total Gross Floor Area not exceeding 2930m², shall be permitted on the lands shown on Schedule 'A' and Schedule 'B', attached hereto.
 - (B) The minimum building setbacks shall be not less than the measurements shown on Schedule 'B', attached hereto.
 - (C) Landscaping. The minimum parking setbacks shall be not less than the measurements shown on Schedule 'B', attached hereto. These setback areas shall be used only for landscaping.
 - (D) Lighting. Lighting facilities and/or illuminated signs must be arranged so that the light is directed away from residences on the north side of Stevenson Road.
3. Notwithstanding Section 320-18 of the Etobicoke Zoning Code, a parking area shall be provided for not less than four and five tenths (4.5) automobile parking spaces per ninety-three (93) square metres of the total commercial floor space of the buildings.

4. Chapter 324, Site Specifics, of the Etobicoke Zoning Code, is hereby amended to include reference to this by-law by adding the following to Section 321-1, Table of Site Specific By-laws:

BY-LAW NUMBER AND ADOPTION DATE	DESCRIPTION OF PROPERTY	PURPOSE OF BY-LAW
163-2006 February 2, 2006	Lands located on the north-east corner of Finch Avenue West and Albion Road	To rezone the lands from Agricultural (A) to Planned Commercial Regional (CPR) to permit maximum of 3 retail commercial buildings.

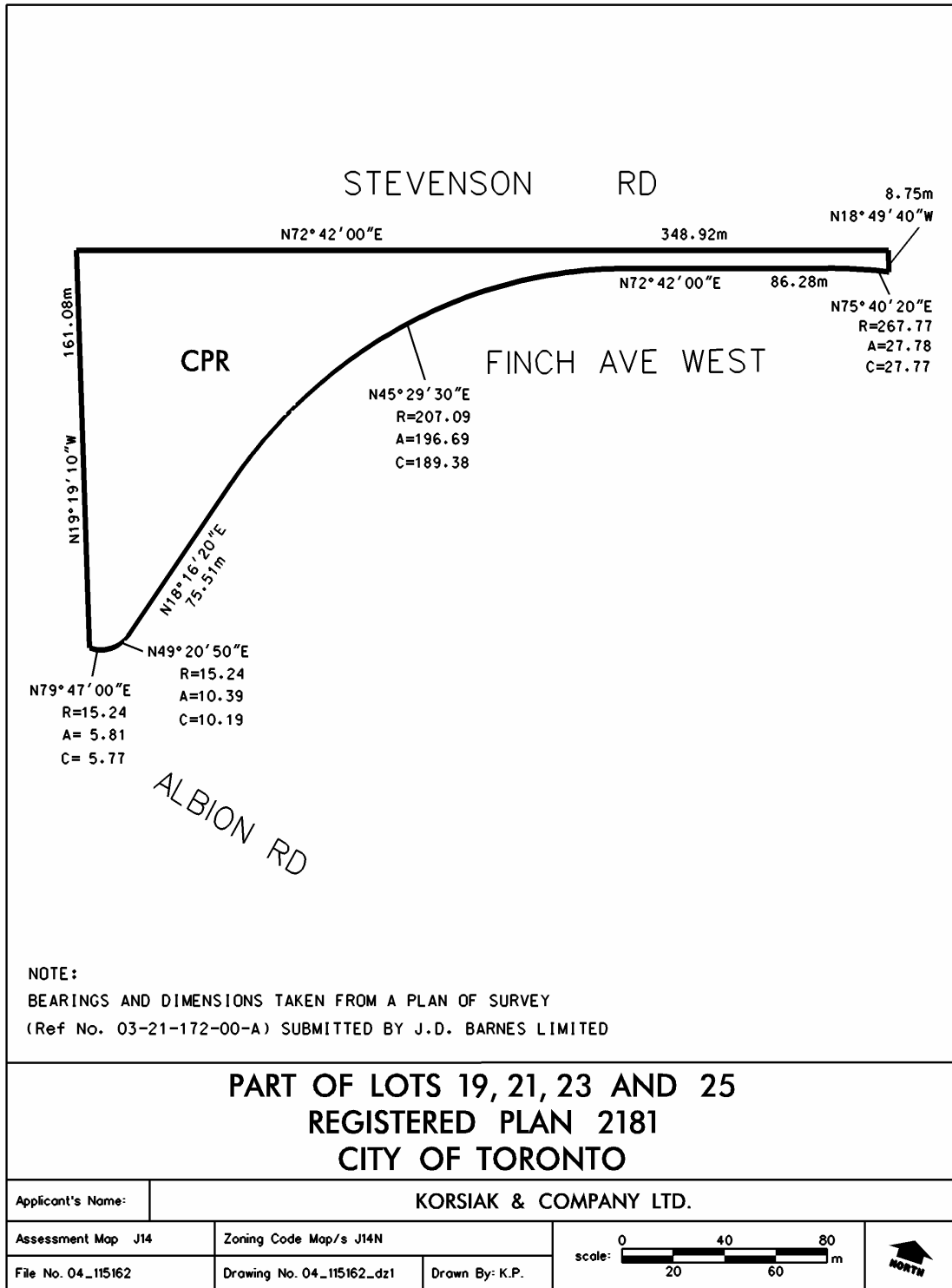
ENACTED AND PASSED this 2nd day of February, A.D. 2006.

DAVID R. MILLER,
Mayor

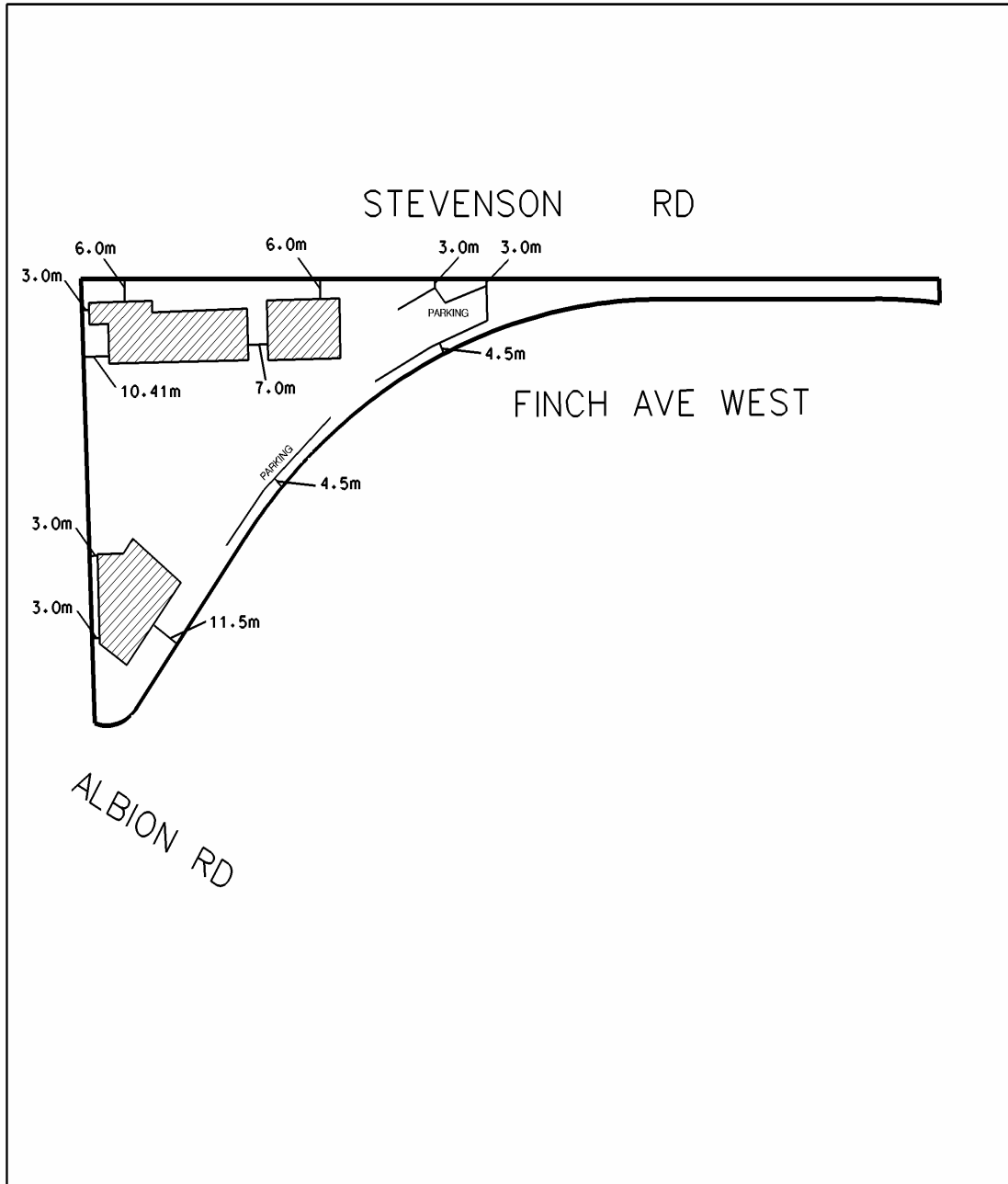
ULLI S. WATKISS
City Clerk

(Corporate Seal)

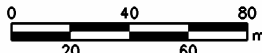
TORONTO Schedule 'A' BY-LAW



Toronto Schedule 'B' BY-LAW



**PART OF LOTS 19, 21, 23 AND 25
REGISTERED PLAN 2181
CITY OF TORONTO**

Applicant's Name:	KORSIAK & COMPANY LTD.		
Assessment Map J14	Zoning Code Map/s J14N		scale: 
File No. 04_115162	Drawing No. 04_115162_dz2	Drawn By: K.P.	