

Authority: North York Community Council Report 1, Clause 33,
as adopted by City of Toronto Council on January 31, February 1 and 2, 2006
Enacted by Council: March 30, 2006

CITY OF TORONTO

BY-LAW No. 210-2006

To amend former City of North York Zoning By-law No. 7625 with respect to the lands municipally known as 140 Finch Avenue West.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules “B” and “C” of By-law No. 7625 of the former City of North York are amended in accordance with Schedule “1” of this By-law.
2. Section 64.19 of By-law No. 7625, as amended, is amended by adding the following subsection:

“64.19(81) R4(81)

PERMITTED USES

- (a) In addition to the uses permitted in the R4 zone, business office uses are also permitted within the building existing on or before the date of enactment of this exception.

EXCEPTION REGULATIONS

- (b) For business office use, the maximum gross floor area shall be 40.9 m².
- (c) The location of the business office use shall be limited to the ground floor.
- (d) There shall be 1 parking space for the business office use and 2 parking spaces for the residential use.
- (e) The minimum depth of the parking turnaround area shall be 2.4 m.
- (f) The minimum width of the two-way parking/drive aisle shall be 6.3 m.
- (g) A 1.5 m wide landscape strip and 1.8 m high opaque fence shall be provided along the north property line.
- (h) The minimum yard setbacks shall be maintained as shown on Schedule “R4(81)”.

3. Section 64.19 of By-law No. 7625 is amended by adding Schedule “R4(81)” attached to this By-law.”

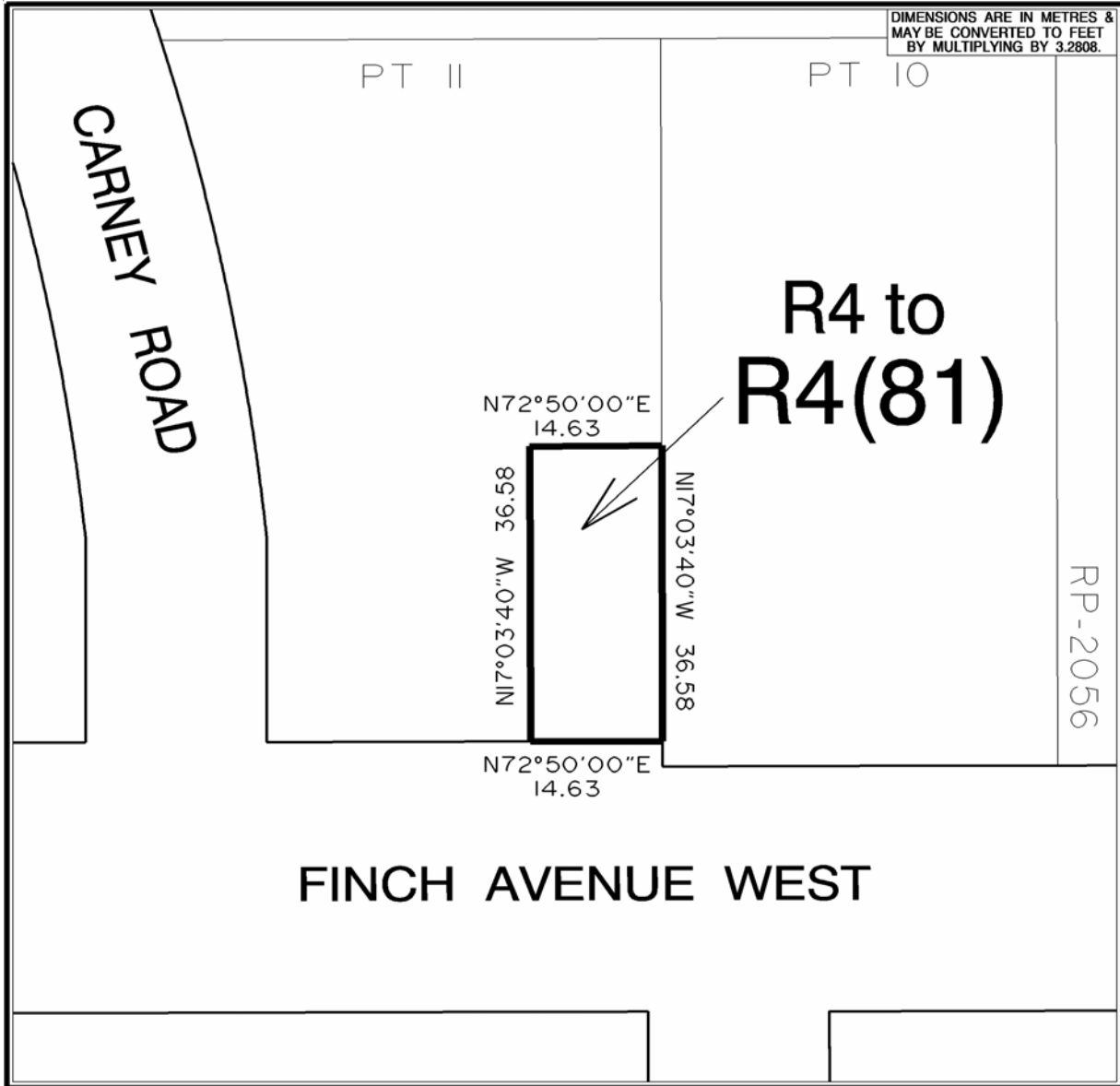
ENACTED AND PASSED this 30th day of March, A.D. 2006.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS
City Clerk

(Corporate Seal)

SCHEDULE "1"



DIMENSIONS ARE IN METRES & MAY BE CONVERTED TO FEET BY MULTIPLYING BY 3.2808.

CARNEY ROAD

PT II

PT IO

R4 to R4(81)

N72°50'00"E
14.63

N17°03'40"W
36.58

N17°03'40"W
36.58

N72°50'00"E
14.63

RP-2056

FINCH AVENUE WEST

This is Schedule " 1 " to By-Law _____
 passed the _____ day of _____, 20 ____

(Sgd.) _____ (Sgd.) _____
 CLERK MAYOR

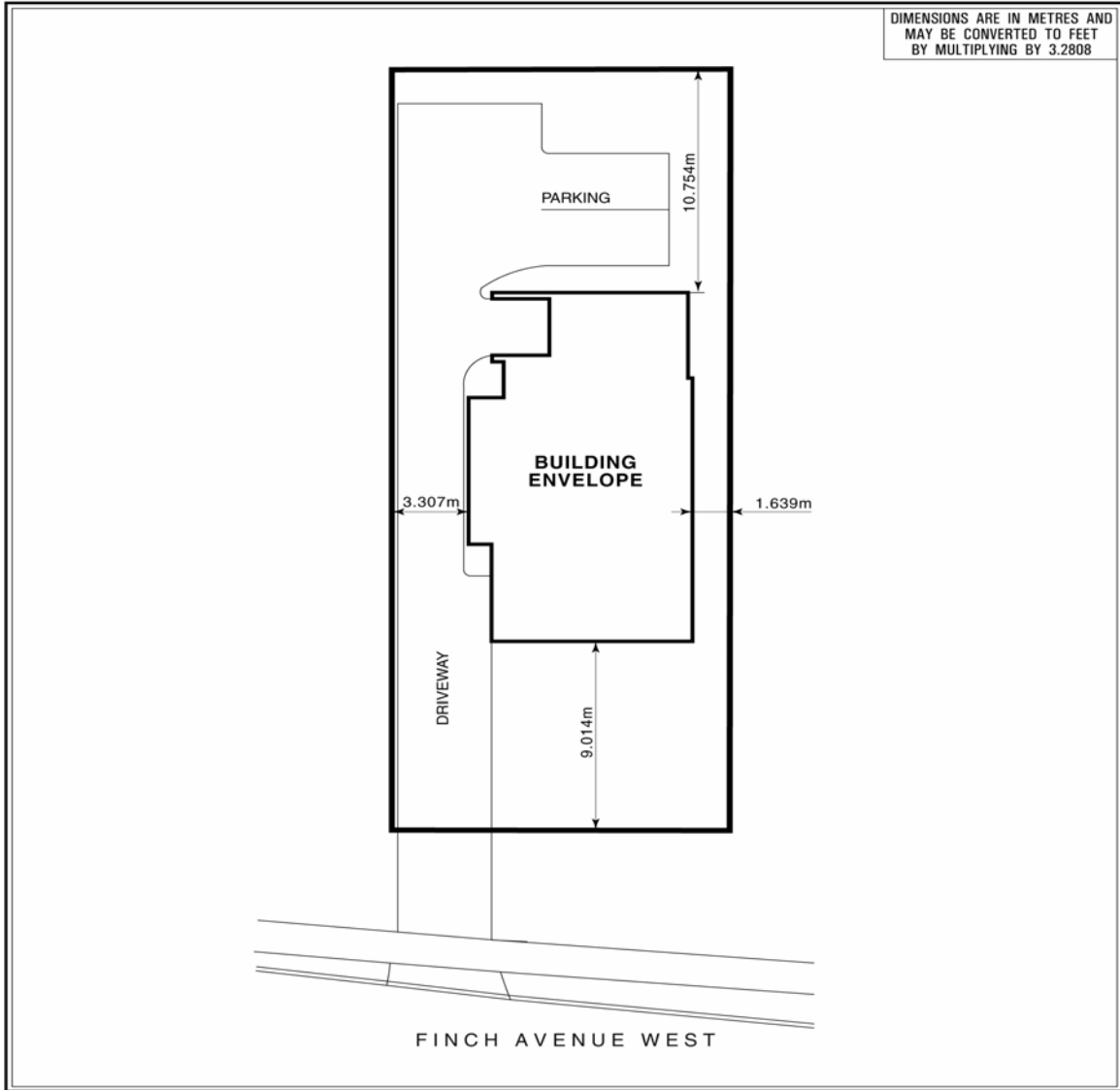
Location: Part of Lot 11, Registered Plan 2056, City of Toronto

File: 04_192756 Prepared by: A.K. Approved by: C.C. Date: Jan. 4, 2006 Filename: R4(81)_1

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
 Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.



SCHEDULE "R4(81)"



**This is Schedule " R4(81) " to By-Law _____
passed the _____ day of _____, 20 ____**

(Sgd.) _____ (Sgd.) _____
CLERK MAYOR



Location: Part of Lot 11, Registered Plan 2056, City of Toronto

File No. 04_192756 Prepared by: A.K. Approved by: C.C. Date: January 4, 2006 Filename: R4(81).ai

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