

Authority: Planning and Transportation Committee Report 5, Clause 1,
as adopted by City of Toronto Council on July 25, 26 and 27, 2006
Enacted by Council: July 27, 2006

CITY OF TORONTO

BY-LAW No. 686-2006

To amend former City of North York Zoning By-law No. 7625, as amended, with respect to permission for temporary rental offices and temporary sales offices incidental to construction.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Clause 6(2)(a) entitled “Uses Incidental to Construction” of the former City of North York Zoning By-law No. 7625, as amended, is hereby deleted and replaced with the following:

“(a) Uses Incidental to Construction

- (i) The following uses that are incidental to construction shall be permitted on a lot within all zones provided that the use is necessary for work in progress which has neither been finished nor abandoned:

temporary construction facility or other such temporary work facility;

scaffold;

tool shed or other building or structure incidental to construction on the premises;
- (ii) No other regulations of this By-law shall apply to the uses permitted in (i) above.
- (iii) A temporary rental office and temporary sales office shall be permitted on lots within all zones other than a Rural Residential Zone (R-R), Suburban Residential Zone (R-A) and any One Family Detached Dwelling Zone (R1 to R7 inclusive).
- (iv) Notwithstanding paragraph (iii) above, a temporary rental office and temporary sales office shall only be permitted on a lot within in a Multiple Family Dwelling Zone (RM) where the lot abuts a street having a total width of 27 metres or greater.

- (v) Notwithstanding paragraph (iii) above, a temporary rental office and temporary sales office shall be permitted on a lot within any zone that is in the area identified as the North York Centre Area on Schedule “1” attached to this Bylaw provided that the lot also abuts a street having a total width of 27 metres or greater.”

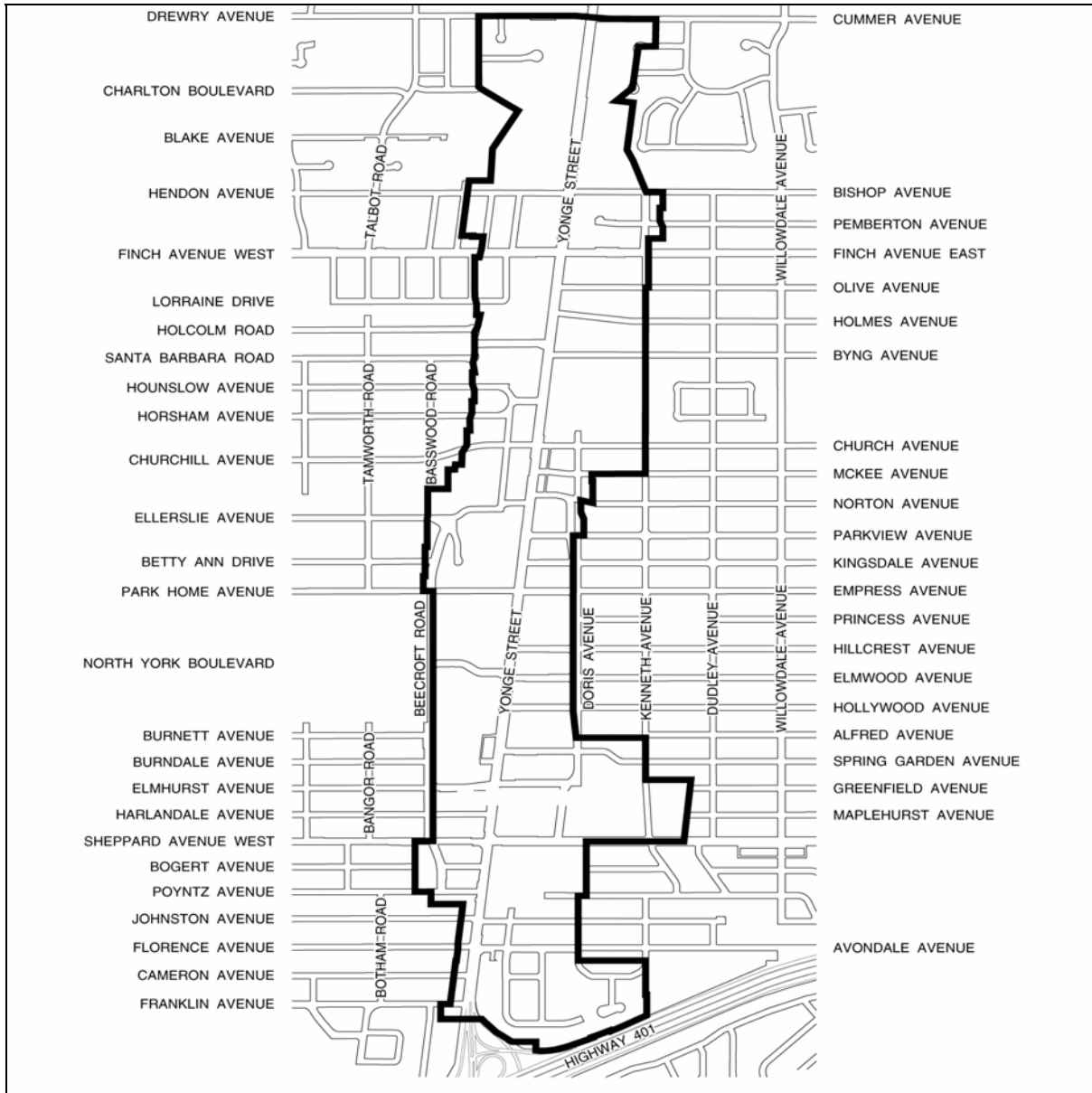
ENACTED AND PASSED this 27th day of July, A.D. 2006.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS
City Clerk

(Corporate Seal)

Schedule "1": North York Centre Area



North York Centre Area

— North York Centre Area Boundary

