

Authority: North York Community Council Report 6, Clause 24,
as adopted by City of Toronto Council on July 25, 26 and 27, 2006
Enacted by Council: September 27, 2006

CITY OF TORONTO

BY-LAW No. 925-2006

To amend former City of North York Zoning By-law No. 7625, as amended with respect to the property municipally known as 16, 18, 20 and 22 Clairtrell Road.

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules “B” and “C” of former City of North York By-law No. 7625, as amended, are further amended in accordance with Schedule “1” attached to this By-law.
2. Section 64.16 of former City of North York By-law No. 7625, as amended, is further amended by adding the following subsection:

“64.16(68) RM1(68)

PERMITTED USES

- (a) The only permitted uses shall be multiple attached dwellings and uses accessory thereto.

EXCEPTION REGULATIONS

MAXIMUM NUMBER OF DWELLING UNITS

- (b) The maximum number of dwelling units shall be 19.

MAXIMUM GROSS FLOOR AREA

- (c) The maximum gross floor area shall be 4,500 m².

LOT COVERAGE

- (d) The maximum lot coverage shall be 55%.

BUILDING HEIGHT

- (e) The building heights shall not exceed the height limits, in metres, following the word “Height” and the number of storeys as specified on Schedule “RM1(68)”.
- (f) For purpose of calculating building heights in metres and the number of storeys as set out in subsection (e), established grade shall be the geodetic elevation of 181.0 metres (centre line of Clairtrell Road) and a basement shall be deemed not to be a storey, provided that it contains only parking areas and mechanical equipment, including access thereto, and provided that not more than 65% of the height between the floor and the ceiling is above the established grade.

BUILDING ENVELOPE

- (g) No portion of any building or structure shall be erected or used above established grade other than wholly within the building envelopes identified on Schedule “RM1(68)”.

PARKING

- (h) Not less than and not more than, two parking spaces per dwelling unit shall be provided on the lot.
- (i) A parking space shall have a minimum width of 2.7 metres, a minimum length of 5.5 metres, and a minimum vertical clearance of 2.0 metres.
- (j) The driveway shall have a minimum width of 6.0 metres.

LANDSCAPING

- (k) A minimum of 727 m² landscaping shall be provided on the lot.

YARD SETBACKS AND DISTANCES BETWEEN BUILDINGS

- (l) The minimum yard setbacks and distances between buildings shall be as shown on Schedule “RM1(68)”.

PERMITTED PROJECTIONS

- (m) For the purpose of establishing permitted projections into required setbacks for any building, the front yard shall be the yard adjacent to the east side of the building and the rear yard shall be the yard adjacent to the west side of the building.
- (n) Exterior stairways and wheelchair ramps shall be permitted to project into the minimum front yard setback not more than 2.50 metres.
- (o) Any bay, bow or other window may project up to 0.60 metres from the front or rear wall of a building.
- (p) Each dwelling unit is permitted a maximum of 1 deck which is located on the west side of the building and which is no higher than the finished floor elevation of the first storey. Such decks shall not project more than 2.44 metres beyond the rear wall of the first storey of the building.
- (q) Each dwelling unit is permitted a maximum of 1 balcony which is located on the west side of the building and which is no higher than the finished floor elevation of the third storey. Such balconies shall not project more than 0.61 metres beyond the rear wall of the third storey of the building and shall not exceed a maximum width of 1.83 metres.

OTHER REGULATIONS

- (r) Sections 6(9)(c), 16.2.1, 16.2.2, 16.2.3, 16.2.4, 16.2.6, 16.3.1 and 16.3.2 of Zoning By-law No. 7625, as amended, shall not apply.
 - (s) Notwithstanding any severance, partition or division of the lot shown on Schedule “RM1(68)”, the provisions of this By-law shall apply to the whole of the lot as if no severance, partition or division occurred.”
- 3.** Section 64.16 of former City of North York Bylaw No. 7625, as amended, is further amended by adding Schedule “RM1(68)” attached to this By-law.

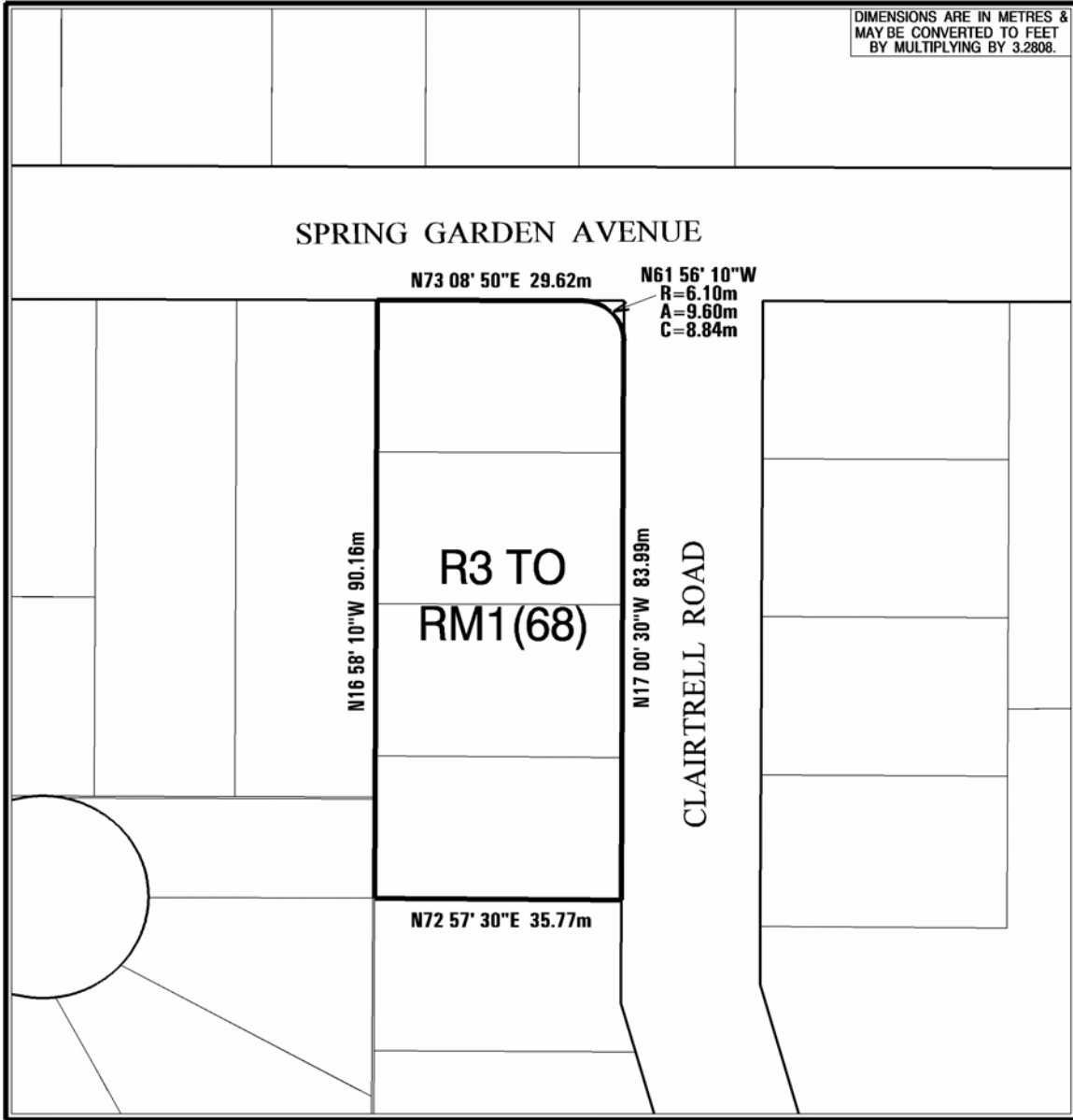
ENACTED AND PASSED this 27th day of September, A.D. 2006.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS
City Clerk

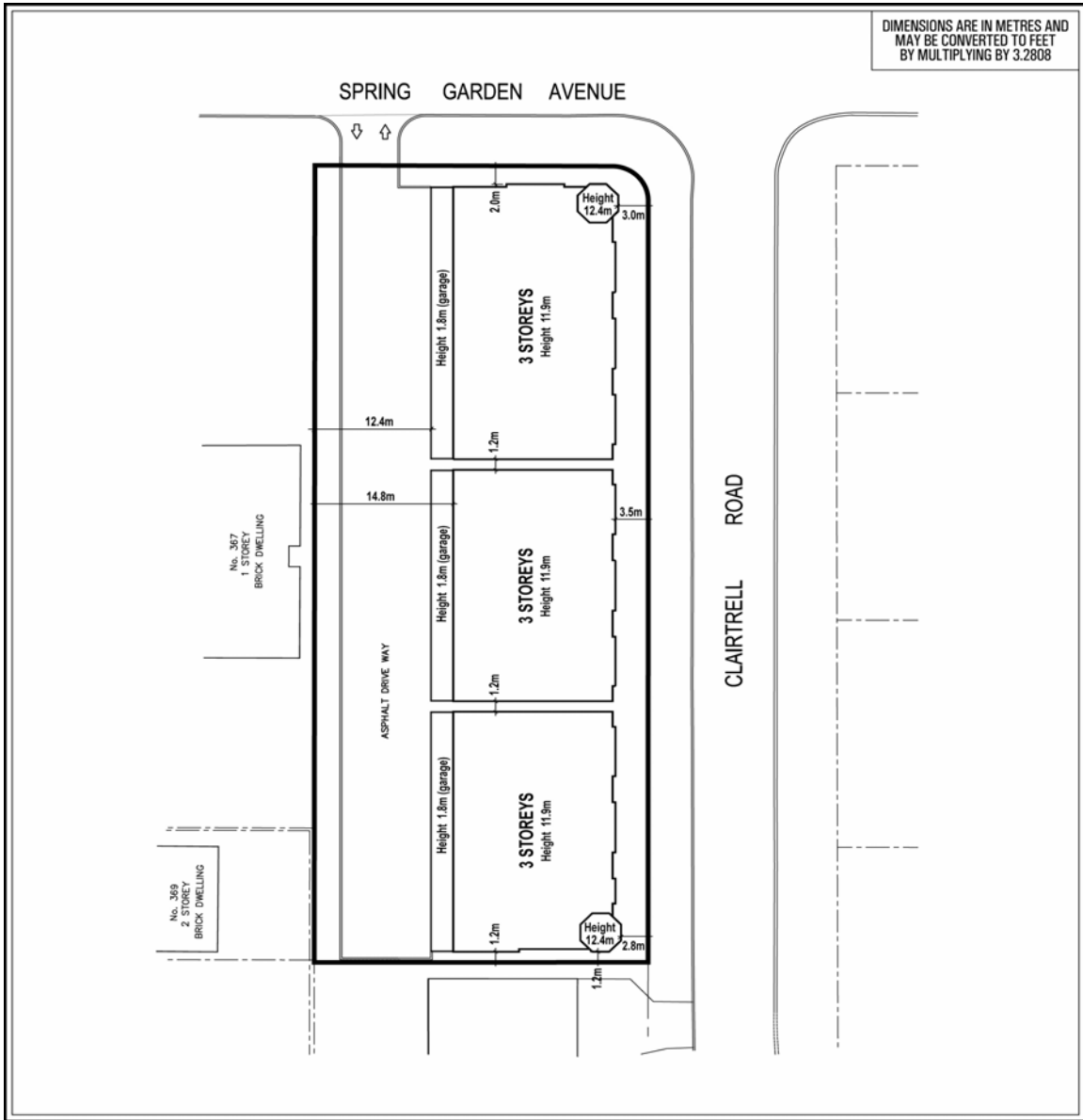
(Corporate Seal)

SCHEDULE "1"



<p>This is Schedule " 1 " to By-Law _____ passed the _____ day of _____, 20 ____</p>		 City Planning Division North District
(Sgd.) _____ CLERK	(Sgd.) _____ MAYOR	
Location: Lots 1,2,3 and Part of Lot 4 Registered Plan 4385, City of Toronto		
File No. 05_112591	Prepared by: F.L.	Approved by: C.C.
Date: September 25, 2006	Filename: RM1(68).dgn	
Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - North York Planning Department. Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.		

SCHEDULE "RM1(68)"



This is Schedule "RM1(68)" to Bylaw _____
 passed the _____ day of _____, 20__

(Sgd.) _____ (Sgd.) _____
 CLERK MAYOR



Location: Lots 1,2, 3 and Part of Lot 4 Registered Plan 4385 City of Toronto

File No: 05_112591 | Drawn by: F.L. | Approved by: C.C. | Date: September 25, 2006 | Filename: RM1(68).ai