

CITY OF TORONTO

BY-LAW No. 1098-2006(OMB)

To amend the former City of North York Zoning By-law No. 7625, as amended, with respect to lands municipally known as 108 Stayner Avenue.

WHEREAS authority is given the Ontario Municipal Board by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to approve this by-law; and whereas this application to amend By-law No. 7625, as amended is properly before the Ontario Municipal Board on appeal, pursuant to the *Planning Act*; and whereas the Ontario Municipal Board has heard sufficient evidence to consider this appeal;

NOW THEREFORE pursuant to Order No. 1652 of the Ontario Municipal Board issued on June 8, 2006, in Board Files No. PL040170 and No. PL051222, By-law No. 7625, as amended, of the former City of North York is amended as follows:

1. Schedules “B” and “C” of By-law No. 7625, as amended, are hereby amended in accordance with Schedule “1” of this By-law.
2. Section 64.14-A of By-law No. 7625, as amended, is hereby amended by adding the following subsections:

64.14-A(14) R6(14)

EXCEPTION REGULATIONS

- (a) For those lands shown as Parcel “A” on Schedule “R6(14)” of this by-law the following provisions shall apply:
 - (i) Minimum lot frontage of 11.3m.
 - (ii) Minimum lot area shall be 444m².
 - (iii) Minimum front yard setback shall be 5.7m.
 - (iv) Minimum rear yard setback shall be 15m.
 - (v) Minimum side yard setback shall be 1.2m on one side and 0.6m on the other side.
 - (vi) Maximum length of dwelling of 18.9m.
 - (vii) Dwelling length shall be measured from the front wall of the dwelling.
 - (viii) Maximum building height 9.5m.
 - (ix) The finished first floor elevation shall be a maximum of 2.4m above established grade.
 - (x) Maximum lot coverage shall be 39%.

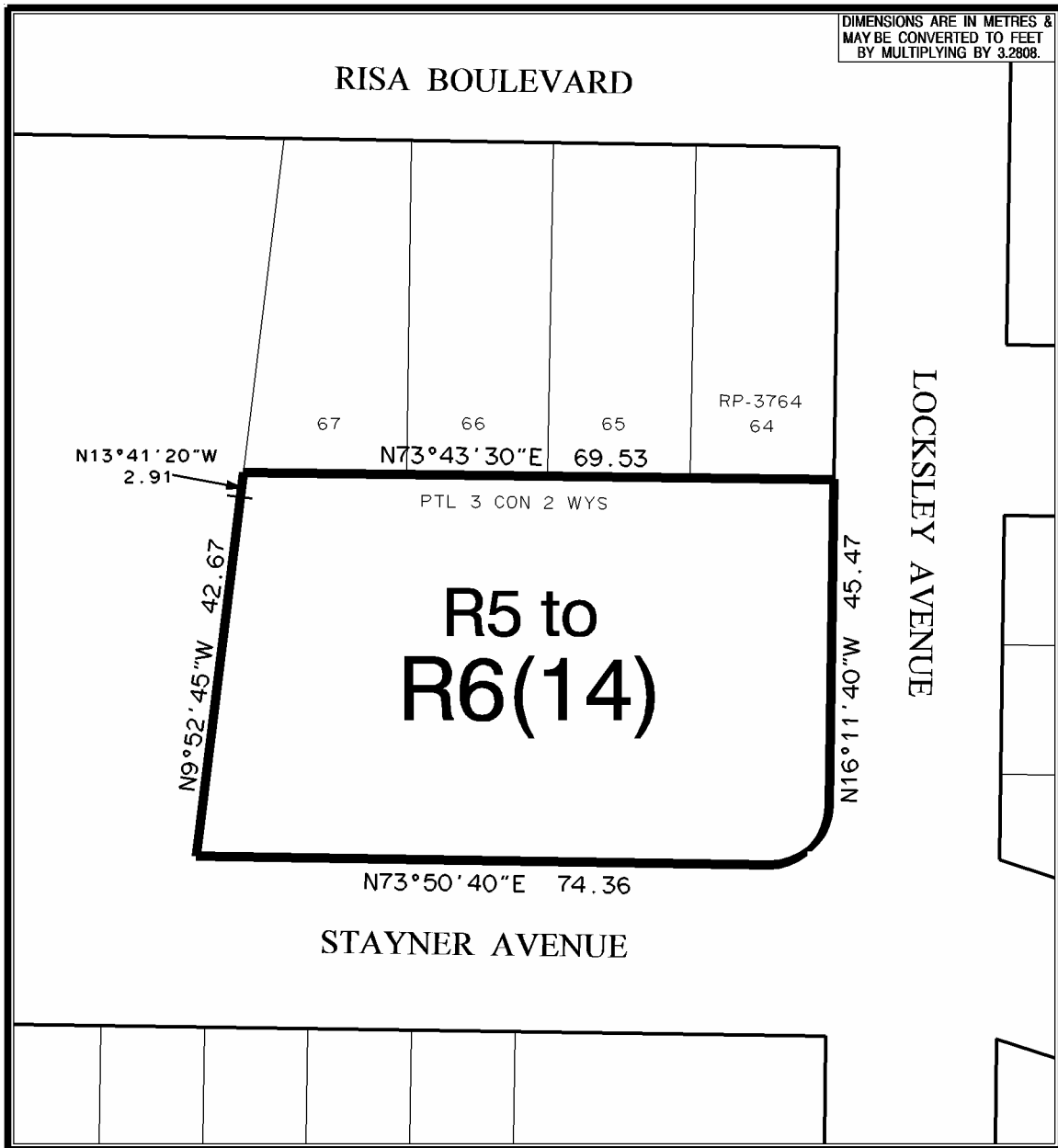
- (b) For those lands shown as Parcel “B” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Minimum lot frontage of 11.3m.
 - (ii) Minimum lot area shall be 317m².
 - (iii) Minimum front yard setback shall be 5.7m.
 - (iv) Minimum rear yard setback shall be 8m.
 - (v) Minimum side yard setback shall be 1.2m on one side and 0.6m on the other side.
 - (vi) Maximum lot coverage shall be 42%.
 - (vii) Maximum building height 9.5m.
 - (viii) The finished first floor elevation shall be a maximum of 2.4m above established grade.
- (c) For those lands shown as Parcel “C” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Maximum lot frontage of 11.3m.
 - (ii) Minimum lot area of 305m².
 - (iii) Minimum front yard setback shall be 5.7m.
 - (iv) Minimum rear yard setback 8m.
 - (v) Minimum side yard setback shall be 1.2m on one side and 0.6m on the other side.
 - (vi) Maximum lot coverage of 43.8%.
 - (vii) Maximum building height 9.5m.
 - (viii) The finished first floor elevation shall be a maximum of 2.4m above established grade.
 - (ix) Maximum front yard hard surface of 75%.

- (d) For those lands shown as Parcel “D” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Minimum lot frontage of 11.3m.
 - (ii) Minimum lot area of 384m².
 - (iii) Minimum side yard setback shall be 1.2m on one side and 0.6m on the other side.
 - (iv) Minimum rear yard setback 8.8m.
 - (v) Maximum lot coverage 44.5%.
 - (vi) Maximum building height 9.5m.
 - (vii) The finished first floor elevation shall be a maximum of 2.4m above established grade.
 - (viii) Dwelling length shall be measured from the front wall of the dwelling.
 - (ix) Maximum length of dwelling of 18.9m.
- (e) For those lands shown on Parcel “E” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Minimum lot frontage shall be 23m.
 - (ii) Minimum lot area shall be 964m².
 - (iii) Minimum front yard setback of 0m for the dwelling existing on the date of this by-law.
 - (iv) Minimum east side yard setback of 0.6m.
 - (v) Maximum length of dwelling of 18.9m.
- (f) For those lands shown as Parcel “F” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Minimum lot frontage of 11.3m.
 - (ii) Minimum lot area shall be 511m².
 - (iii) Minimum side yard setback shall be 1.2m on one side and 0.6m on the other side.
 - (iv) Minimum rear yard setback 16m.

- (v) Maximum building height 9.5m.
 - (vi) The finished floor elevation shall be a maximum 2.4m above established grade.
 - (vii) Dwelling length shall be measured from the front wall of the dwelling.
 - (viii) Maximum length of dwelling of 18.9m.
- 4.** Section 64.14-A(14) of By-law No. 7625 is amended by adding the attached Schedule “R6(14)”.
- 5.** By-law No. 733-2005(OMB) is repealed.

PURSUANT TO ORDER/DECISION NO. 1652 OF THE ONTARIO MUNICIPAL BOARD ISSUED ON JUNE 8, 2006 IN BOARD FILES NO. PL040170 and NO. PL051222.

SCHEDULE "1"





DIMENSIONS ARE IN METRES & MAY BE CONVERTED TO FEET BY MULTIPLYING BY 3.2808.

This is Schedule " 1 " to By-Law _____
 passed the _____ day of _____, 20 ____

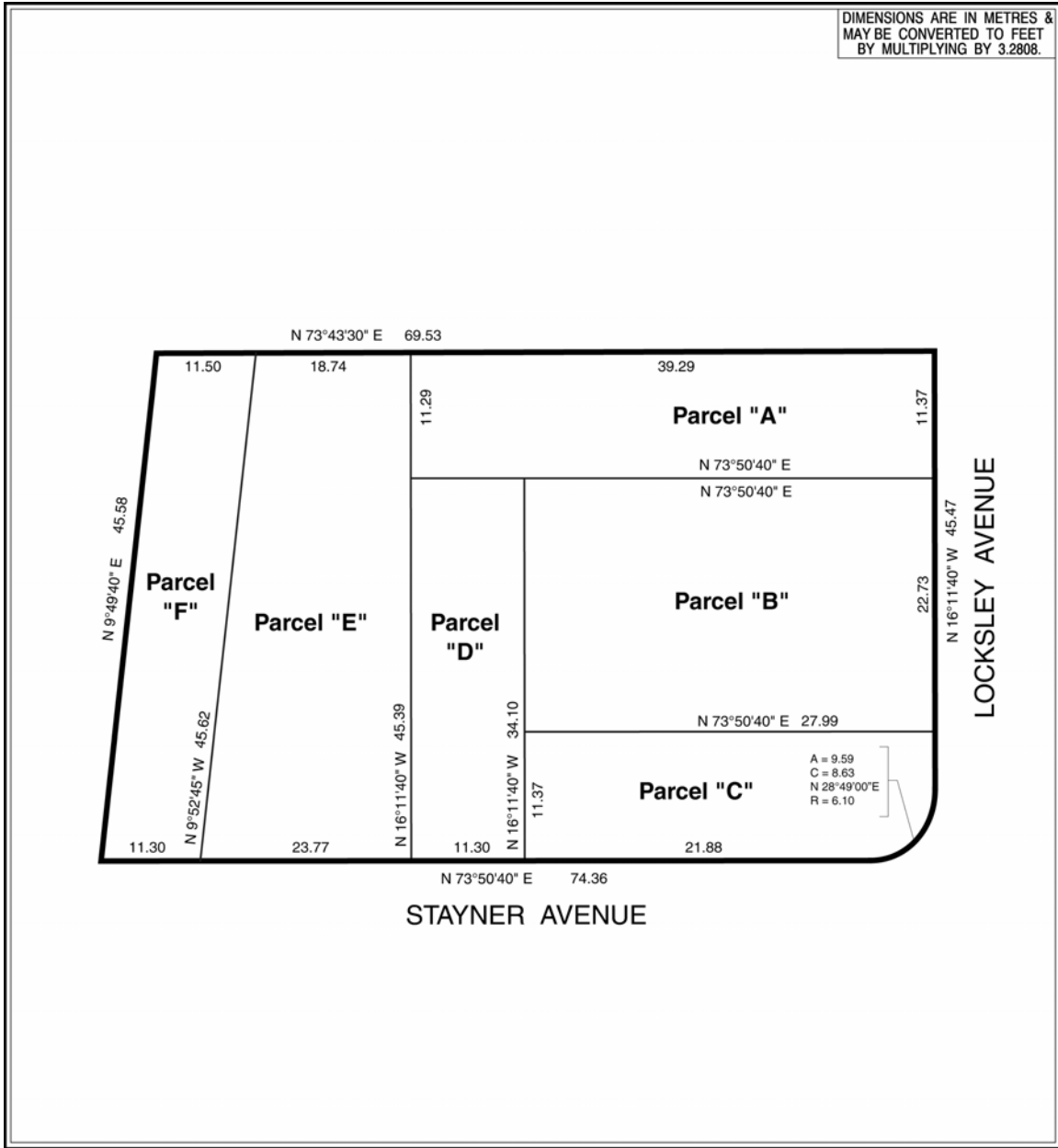
(Sgd.) _____ (Sgd.) _____
 CLERK MAYOR

Location: Part of Lot 3, Concession 2, West of Yonge Street, City of Toronto

File: 04_120027	Prepared by: A.K.	Approved by: C.R.	Date: April 27, 2005
Filename: R6(14)_1			 City Planning Division North District  SUBJECT PROPERTY

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
 Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.

SCHEDULE "R6(14)"



This is Schedule "R6(14)" to By-Law _____
 passed the _____ day of _____, 20 ____

(Sgd.) _____ (Sgd.) _____
 CLERK MAYOR

Location: Part of Lot 3, Concession 2, West of Yonge Street, City of Toronto

File No. 04_120027 Prepared by: A.K. Approved by: C.R. Date: Sept. 22, 2006 Filename: R6(14).ai

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
 Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.

