

Authority: Etobicoke York Community Council Item 15.40,
as adopted by City of Toronto Council on April 28 and 29, 2008
Enacted by Council: May 27, 2008

CITY OF TORONTO

BY-LAW No. 500-2008

To amend the former City of Etobicoke Zoning Code Chapters 320 and 324, with respect to lands municipally known as 1 West Deane Park Drive.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. The Etobicoke Zoning Code, as amended, Division B, Township of Etobicoke is further amended as follows:
 1. That the zoning map referred to in Section 320-5, Article II of the Zoning Code, be and the same is hereby amended by changing the classification of the lands described in Schedule "A" annexed hereto from Planned Commercial Local (CPL) to Third Density Residential (R3).
 2. Notwithstanding the provisions of Section 320-40 of the Zoning Code, the minimum front yard setback shall be 3.0 metres measured from the front porch to the Rabbit Lane property line, provided that the front wall of the required attached garage shall be set back a minimum of 6.0 metres from the Rabbit Lane property line.
 3. Notwithstanding the provisions of Sections 320-41 A and 320-42.1 C of the Zoning Code, the minimum side yard setback shall be 0.6 metres.
 4. Notwithstanding the provisions of Sections 320-41 B and 320-42.1 C of the Zoning Code, the minimum side lot line on the street side shall be 1.2 metres.
 5. Notwithstanding the provisions of Section 320-42.1A (1) of the Zoning Code, the maximum floor space index shall be 0.75.
 6. Notwithstanding the provisions of Sections 320-42.1B of the Zoning Code, the maximum building height shall be 3 storeys, and 11.0 metres.
 7. Notwithstanding the provisions of Section 320-63A (1) of the Zoning Code, the minimum lot frontage shall be 7.5 metres.
 8. Notwithstanding the provisions of Section 320-63A (2) of the Zoning Code, the minimum lot area shall be 250 square metres.

9. Notwithstanding the provisions of Section 320-41F (2) of the Zoning Code, no portion of any driveway shall be located within 4.7 metres of the intersection of any two street lines.
10. The width of each driveway leading to the attached single car garages shall be a minimum of 2.6 metres and must not be wider than the width of the attached single car garage.
11. Notwithstanding the provisions of Section 320-42 E of the Zoning Code, the maximum allowable projection from the rear main wall of the building for a deck shall be 3.5 metres in length.
12. Notwithstanding any provision contained with Section 320 of the Zoning Code, stairs and retaining walls are permitted to encroach into the required front yard setback. Roof overhangs and bay windows are permitted to encroach seventy five-hundredths (0.75) metres into the required front yard setback.
13. Notwithstanding the provisions of Section 320 – 41D, no chimney-breast, eaves or other projection from the main side wall of a building shall be less than 0.15 metre from the side lot line of the lot on which the building is located.
14. Notwithstanding the provisions of Section 320-18A of the Zoning Code, one interior parking space for each dwelling, having a minimum interior dimension of 3.0 metres in width, and 6.0 metres in length and one parking space in the driveway leading up to the garage shall be provided.
15. Exclusive of each driveway, the remaining front yard shall consist of landscaping, seventy-five per cent of which shall consist of soft landscaping.
16. For the purpose of this by-law, soft landscaping means trees, shrubs, grass, flowers, vegetables, and other vegetation, but does not include hard surfaced areas such as but not limited to driveways, parking areas, decorative stonework, walkways, patios, screening, or other landscape-architectural elements.
17. Notwithstanding the conveyance or dedication of any portion of the lands shown on Schedule “A” annexed hereto for municipal purposes, the lands shall be deemed to include such conveyances or dedications for the purpose of compliance with the provisions of this by-law.
18. Where the provisions of this by-law conflict with the Zoning Code, the provisions of this by-law shall take precedence, otherwise the Zoning Code shall continue to apply.

19. Chapter 324, Site Specifics, of the Etobicoke Zoning Code, is hereby amended to include reference to this By-law by addition the following to Section 324-1, Table of Site Specific By-laws:

BY-LAW NUMBER AND ADOPTION DATE	DESCRIPTION OF PROPERTY	PURPOSE OF BY-LAW
500-2008 May 27, 2008	Land located at the south-east corner of The East Mall and West Deane Park Drive, municipally known as 1 West Deane Park Drive.	To rezone the lands from Planned Commercial Local (CPL) to Third Density Residential (R3) in order to permit the development of 6 detached dwellings on site.

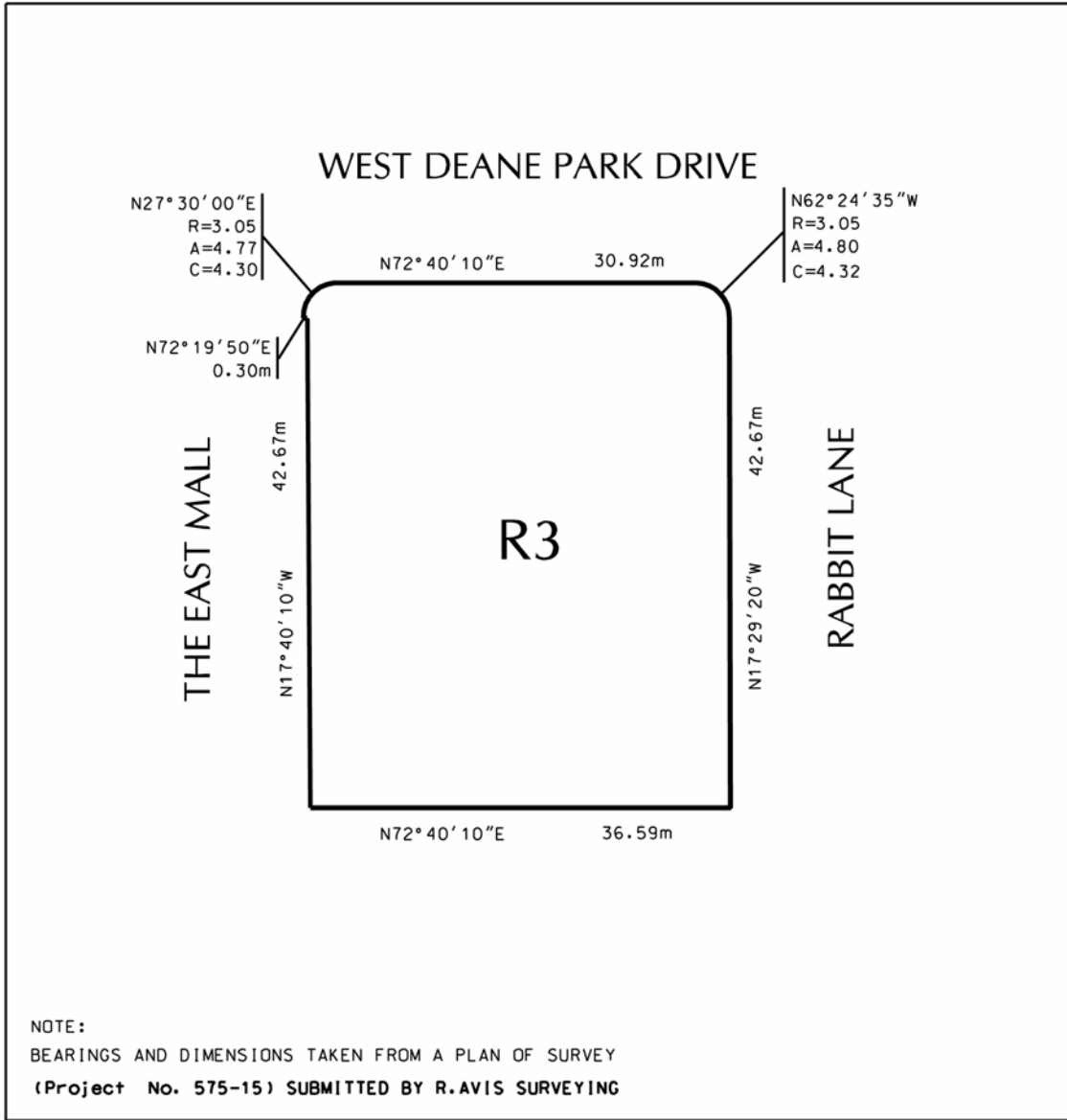
ENACTED AND PASSED this 27th day of May, A.D. 2008.

GLORIA LINDSAY LUBY,
Deputy Speaker

ULLI S. WATKISS
City Clerk

(Corporate Seal)

TORONTO Schedule 'A' BY-LAW



**BLOCK C, REGISTERED PLAN 5197 YORK
CITY OF TORONTO**

Applicant's Name:	RANDAL DICKIE, PMG PLANNING CONSULTANTS		
Assessment Map E14	Zoning Code Map/s E14S		scale:
File No. 07_238388	Drawing No. 07_238388_dz1	Drawn By: K.P.	

