

# CITY OF TORONTO

## BY-LAW No. 863-2008(OMB)

### To amend former City of Scarborough By-law No. 8978, the Clairlea Community Zoning By-law, as amended, with respect to lands municipally known as 25 Herron Avenue.

WHEREAS the Ontario Municipal Board, pursuant to its Order issued on June 23, 2008, upon hearing the appeal of the owner under Section 34(7) of the *Planning Act*, determined to amend By-law No. 8978 with respect to the Clairlea Community:

1. Schedule "A" of the Clairlea Community Zoning By-law No. 8978 is amended by deleting the current zoning for the lands at 25 Herron Avenue, and substituting new zoning on the subject lands as shown on Schedule '1' attached hereto and forming part of this By-law, together with the following letters and numerals:

(S) – 21 – 38 – 59 – 89 – 121 – 123 – 124 – 129 – 135 – 208

(S) – 22 – 38 – 57 – 89 – 121 – 123 – 125 – 126 – 127 – 129 – 135 – 208

(S) – 21 – 38 – 58 – 89 – 121 – 123 – 124 – 126 – 128 – 129 – 135 – 208

(S) – 21 – 38 – 59 – 89 – 121 – 123 – 124 – 129 – 138 – 208

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2. Schedule "B" of the Clairlea Community Zoning By-law No. 8978, **Performance Standards Chart**, is amended by adding the following Performance Standards:

#### **SIDE YARD**

57. Minimum 4.5 m from the side **main wall** to the street line for buildings erected on corner lots, and minimum 1.2 m on the other side.
58. Minimum 3 m from the side **main wall** to the street line for buildings erected on corner lots, and minimum 0.6 m on the other side.
59. Minimum 1.2 m one side and 0.6 m on the other.

#### **MISCELLANEOUS**

123. Maximum building **height** 10.5 m.
124. A minimum of 35% of the front yard shall be maintained as landscaping.
125. A minimum of 100% of the front yard shall be maintained as landscaping.
126. A minimum of 50% of the **side yard** abutting a street shall be maintained as landscaping.
127. A minimum of 100% of the **rear yard** within 4.5 m of a street line shall be maintained as landscaping.

128. A minimum of 100% of the **rear yard** within 3 m of a street line shall be maintained as landscaping.
129. No person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
  - (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

### **MINIMUM BUILDING SETBACKS**

138. Minimum building setback 4.75 m from the **rear lot line**, as measured to the mid-point of the rear **main wall**. No portion of the rear **main wall** shall be setback less than 3.25 m from the **rear lot line**.

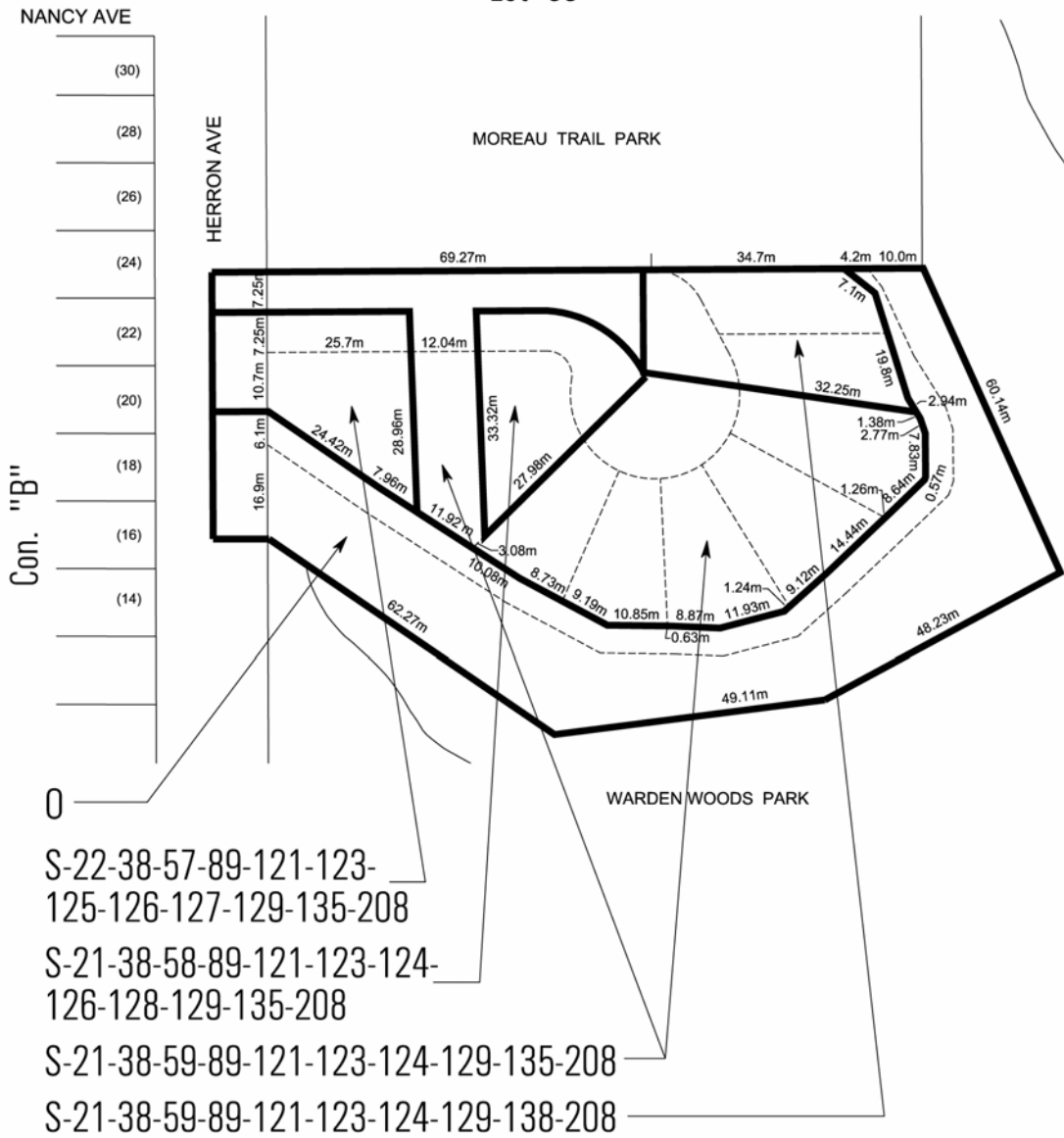
### **INTENSITY OF USE**

208. One **Single-family dwelling** per parcel having a minimum area of 345 m<sup>2</sup> and a minimum lot width of 10 m measured along a straight line perpendicular to a line representing the **lot depth** at a point equivalent to the minimum required front building setback.
3. Schedule "C" of the Clairlea Community Zoning By-law No. 8978, **Exceptions Chart**, is amended by adding the following Exception No. 16 to the subject lands as shown on Schedule '2':
16. On those lands identified as Exception Number 16 on the accompanying Schedule "C" map, the following provisions shall apply:
- (a) The subject lot shall be deemed to be a corner lot, for which the longest of the lines which divide a lot from a street shall be deemed to be the front lot line.

PURSUANT TO DECISION/ORDER OF THE ONTARIO MUNICIPAL BOARD ISSUED ON JUNE 23, 2008 IN BOARD CASE NO. PL060477.

### Schedule '1'

Lot 33



**TORONTO** City Planning Division  
**Zoning By-Law Amendment**

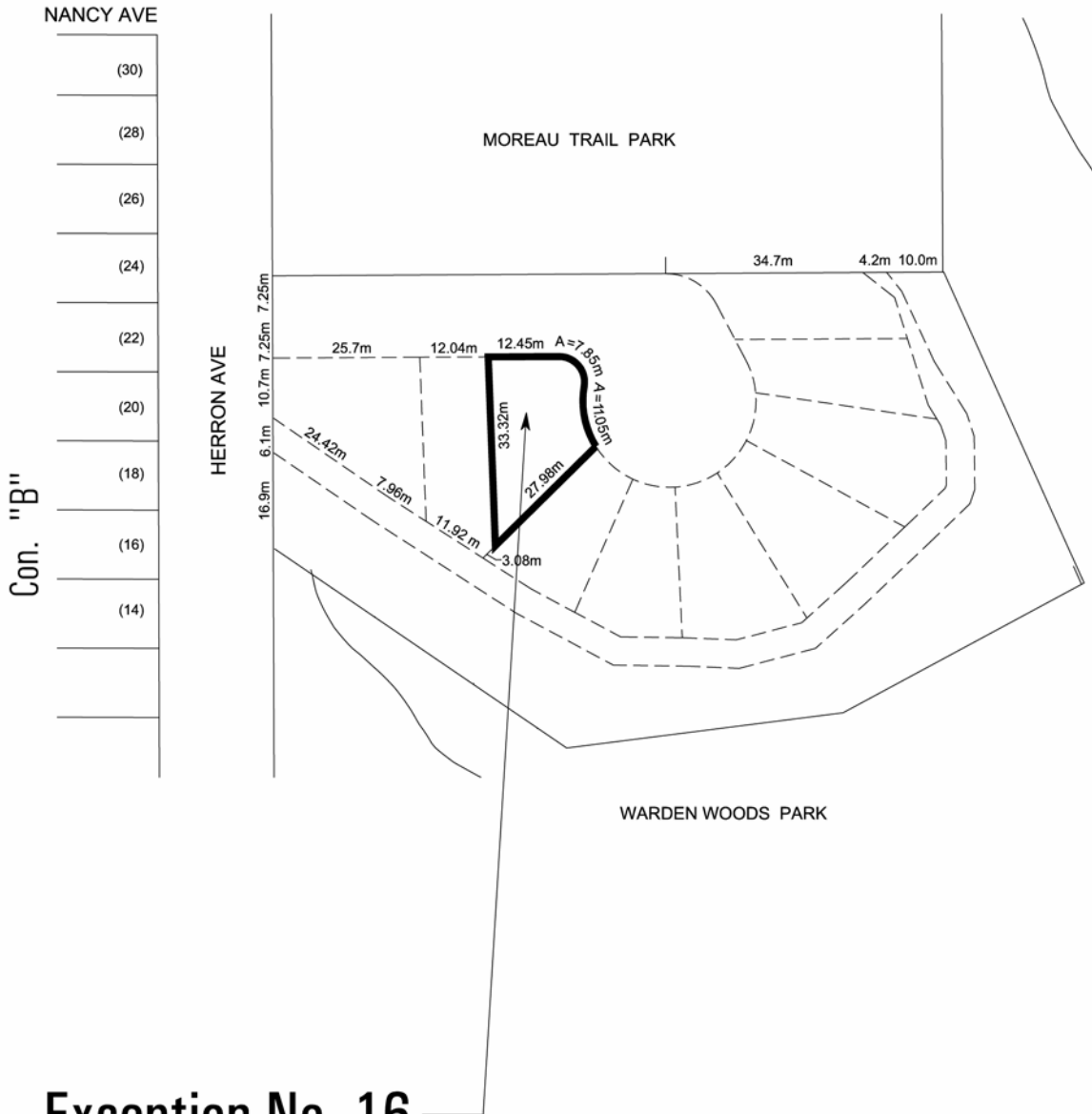
25 Herron Avenue  
 File # 07-145186 SB & 04-126266 OZ

 Area Affected By This By-Law

Clairlea Community By-law  
 Not to Scale  
 6/1/07

# Schedule '2'

## Lot 33



### Exception No. 16

**TORONTO** City Planning Division  
**Zoning By-Law Amendment**

25 Herron Avenue  
 File # 07-145186 SB & 04-126266 OZ

 Area Affected By This By-Law

Clairlea Community By-law  
 Not to Scale  
 6/1/07