#### **CITY OF TORONTO**

#### BY-LAW No. 665-2010(OMB)

To amend the former City of North York Zoning By-law No. 7625, as amended, with respect to the lands municipally known as 2952 to 2958 Bayview Avenue.

WHEREAS the Ontario Municipal Board pursuant to its Decision/Order issued on June 3, 2010, determined to amend the former City of North York Zoning By-law No. 7625 with respect to lands municipally known as 2952 to 2958 Bayview Avenue;

THEREFORE Zoning By-law No. 7625 of the former City of North York is amended by the Ontario Municipal Board as follows:

- 1. Schedules "B" and "C" of By-law No. 7625 of the former City of North York, as amended, are hereby further amended in accordance with Schedule 1 of this By-law.
- **2.** Section 64.16 of By-law No. 7625, as amended, is hereby further amended by adding the following:

"64.16 (81) RM1 (81)

#### PERMITTED USES

(a) The only permitted uses shall be multiple attached dwellings.

#### **EXCEPTION REGULATIONS**

# MAXIMUM NUMBER OF DWELLING UNITS

(b) The maximum number of dwelling units shall be 11.

### LOT AREA

(c) The minimum lot area shall be 170 m<sup>2</sup> per dwelling unit.

## MAXIMUM GROSS FLOOR AREA

(d) The maximum gross floor area shall be 3000 m<sup>2</sup>.

#### LOT COVERAGE

(e) The maximum lot coverage shall be 51%.

#### **BUILDING HEIGHT**

- (f) The maximum building height shall be 3 storeys or 12.0 metres, whichever is the lesser.
- (g) Notwithstanding the foregoing, the height of any portion of the building may not exceed 70% of the distance of that portion of the building from the west lot line.

#### **YARDS**

- (h) The minimum yards shall be as shown on Schedule RM1 (81).
- (i) Notwithstanding paragraph (h), bay windows shall be permitted to encroach up to 0.6 m into any required yard.
- (j) Notwithstanding paragraph (h), an unenclosed porch and accompanying stairs shall be permitted to encroach up to 2.4 metres into any required yard located adjacent to a street.

#### **PARKING**

(k) A minimum of 2 parking spaces per dwelling unit shall be provided.

## LANDSCAPING

(l) The provisions of Sections 6A(6)(c) and 15.8 of By-law No. 7625, as amended, shall not apply.

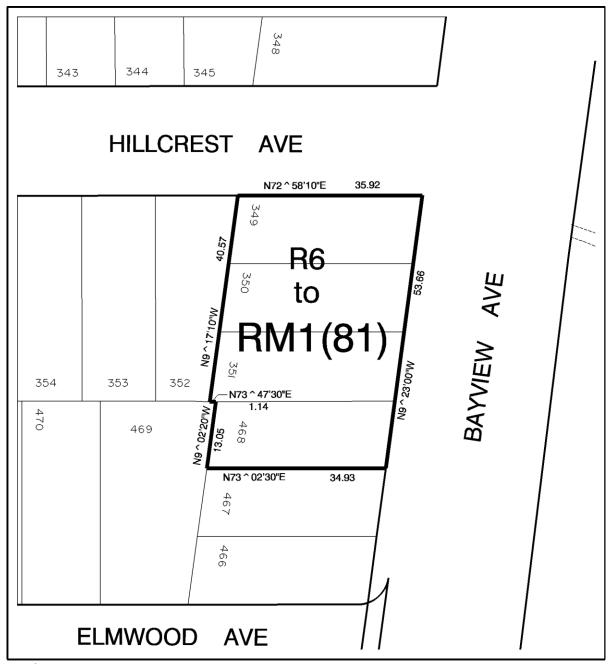
## THIRD FLOOR DECK

(m) Each third floor deck shall have a maximum area of 8.3 m<sup>2</sup>, and shall have an opaque privacy screen to a minimum height of 1.5 m around the entire deck.

## UNEXCAVATED PORCHES AND DECKS

- (n) The provisions of Section 6(24) of By-law No. 7625, as amended, shall not apply."
- **3.** Section 64.16 of By-law No. 7625 is amended by adding Schedule RM1 (81) attached to this By-law.

PURSUANT TO THE DECISION/ORDER OF THE ONTARIO MUNICIPAL BOARD ISSUED ON JUNE 3, 2010 IN BOARD CASE FILE NO. PL081445.



TORONTO City Planning

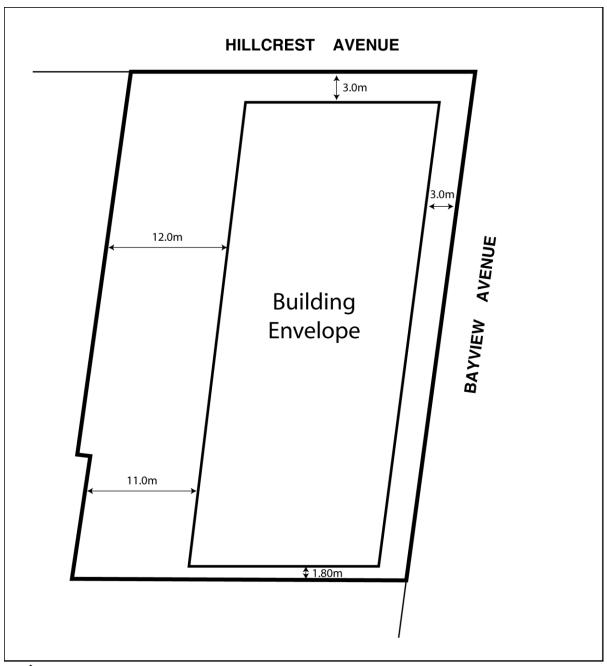
Schedule 1

Part of Lots 349, 350 & 351 R.P. 1609 and Part of Lot 468 and Part of Lane R.P 1801 Plan of Survey by David B. Searles Surveying dated September 29, 2009

Date: **02/19/2010** Approved by: **K. J.**  File # 08\_175275



Not to Scale



TORONTO City Planning

Schedule RM1(81)

Part of Lots 349, 350 & 351 R.P. 1609 and Part of Lot 468 and Part of Lane R.P. 1801 Plan of Survery by David B. Searles Surveying dated September 29, 2009

Date: 02/19/2010 Approved by: K.J. File # 08\_175275



Not to Scale