

CITY OF TORONTO

BY-LAW No. 665-2010(OMB)

**To amend the former City of North York Zoning By-law No. 7625, as amended,
with respect to the lands municipally known as 2952 to 2958 Bayview Avenue.**

WHEREAS the Ontario Municipal Board pursuant to its Decision/Order issued on June 3, 2010, determined to amend the former City of North York Zoning By-law No. 7625 with respect to lands municipally known as 2952 to 2958 Bayview Avenue;

THEREFORE Zoning By-law No. 7625 of the former City of North York is amended by the Ontario Municipal Board as follows:

1. Schedules "B" and "C" of By-law No. 7625 of the former City of North York, as amended, are hereby further amended in accordance with Schedule 1 of this By-law.
2. Section 64.16 of By-law No. 7625, as amended, is hereby further amended by adding the following:

"64.16 (81) RM1 (81)

PERMITTED USES

- (a) The only permitted uses shall be multiple attached dwellings.

EXCEPTION REGULATIONS

MAXIMUM NUMBER OF DWELLING UNITS

- (b) The maximum number of dwelling units shall be 11.

LOT AREA

- (c) The minimum lot area shall be 170 m² per dwelling unit.

MAXIMUM GROSS FLOOR AREA

- (d) The maximum gross floor area shall be 3000 m².

LOT COVERAGE

- (e) The maximum lot coverage shall be 51%.

BUILDING HEIGHT

- (f) The maximum building height shall be 3 storeys or 12.0 metres, whichever is the lesser.
- (g) Notwithstanding the foregoing, the height of any portion of the building may not exceed 70% of the distance of that portion of the building from the west lot line.

YARDS

- (h) The minimum yards shall be as shown on Schedule RM1 (81).
- (i) Notwithstanding paragraph (h), bay windows shall be permitted to encroach up to 0.6 m into any required yard.
- (j) Notwithstanding paragraph (h), an unenclosed porch and accompanying stairs shall be permitted to encroach up to 2.4 metres into any required yard located adjacent to a street.

PARKING

- (k) A minimum of 2 parking spaces per dwelling unit shall be provided.

LANDSCAPING

- (l) The provisions of Sections 6A(6)(c) and 15.8 of By-law No. 7625, as amended, shall not apply.

THIRD FLOOR DECK

- (m) Each third floor deck shall have a maximum area of 8.3 m², and shall have an opaque privacy screen to a minimum height of 1.5 m around the entire deck.

UNEXCAVATED PORCHES AND DECKS

- (n) The provisions of Section 6(24) of By-law No. 7625, as amended, shall not apply."

3. Section 64.16 of By-law No. 7625 is amended by adding Schedule RM1 (81) attached to this By-law.

PURSUANT TO THE DECISION/ORDER OF THE ONTARIO MUNICIPAL BOARD
ISSUED ON JUNE 3, 2010 IN BOARD CASE FILE NO. PL081445.



