

Authority: North York Community Council Item 35.66,  
as adopted by City of Toronto Council on July 6, 7 and 8, 2010  
Enacted by Council: July 8, 2010

## **CITY OF TORONTO**

### **BY-LAW No. 837-2010**

**To amend former City of North York Zoning By-law No. 7625, as amended, with respect to the lands municipally known as 15 Poyntz Avenue.**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules "B" and "C" of By-law No. 7625 of the former City of North York are amended in accordance with Schedule "1" of this By-law.
2. Section 64.23 of By-law No. 7625, as amended, is amended by adding the following subsection:

**"64.13 (86) R4(86)**

#### **PERMITTED USES**

- (a) In addition to the uses permitted in the R4 Zone, professional office and accessory uses and a commercial music school are also permitted within the building existing on the site on or before the date of enactment of this exception.
- (b) For professional office uses or commercial music school uses, the maximum gross floor area shall be 204 m<sup>2</sup>.

#### **EXCEPTION REGULATIONS**

##### **LOT AREA**

- (c) Minimum lot area of 550 m<sup>2</sup> shall not apply.

##### **YARD SETBACKS**

- (d) The minimum yard setbacks shall be maintained as shown on Schedule "R4(86)".
- (e) An existing front porch and steps are permitted as shown on Schedule "R4(86)".

##### **LANDSCAPING**

- (f) Landscaping shall be maintained as shown on Schedule "R4(86)".

- (g) A 1.8 metre privacy fence shall be provided along the westerly and southerly property lines as shown on Schedule "R4(86)".

**PARKING**

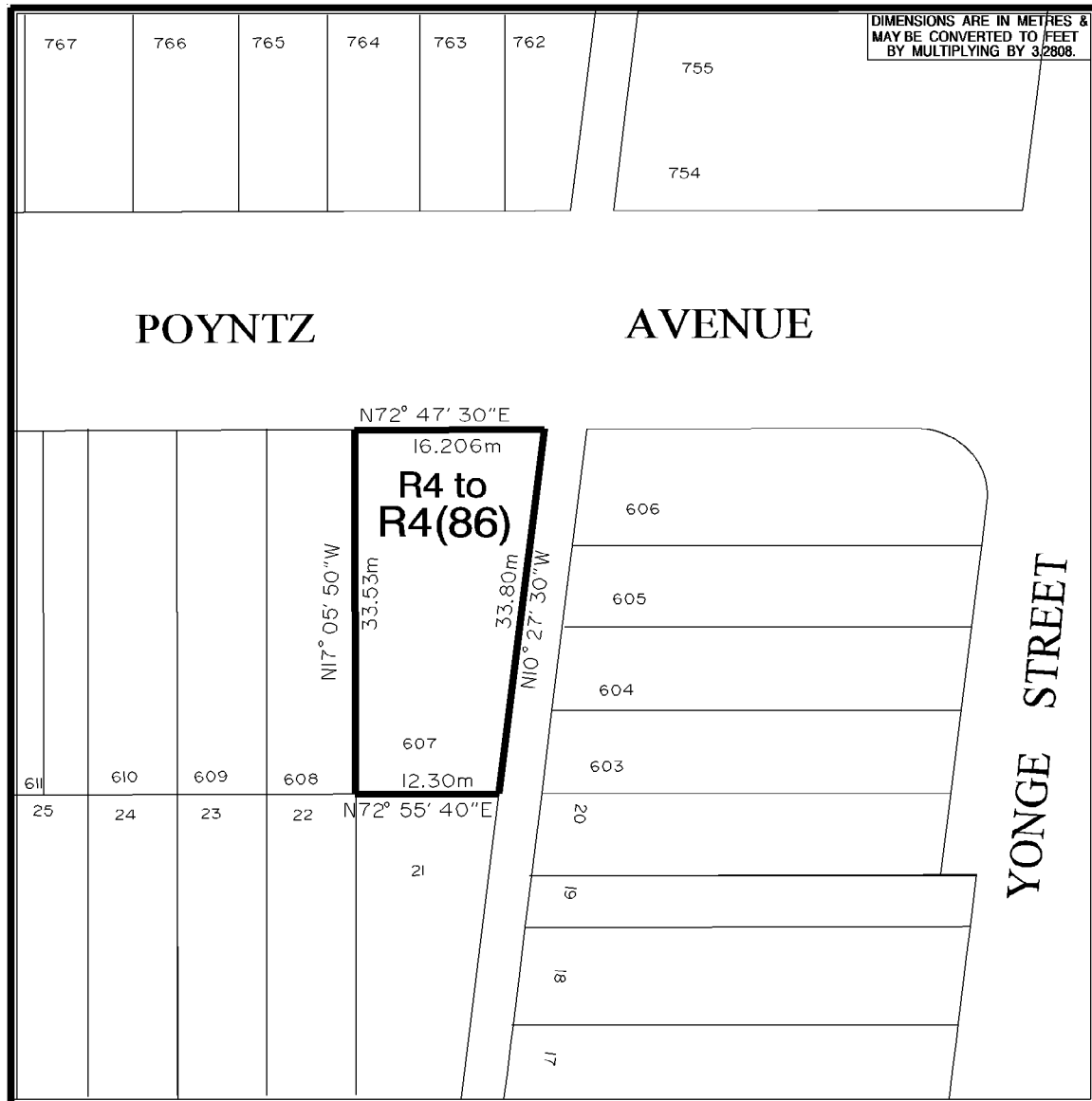
- (h) A maximum of 5 parking spaces shall be located at the rear of the property."
- 3.** Within the lands shown on Schedule "1" attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
- (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

ENACTED AND PASSED this 8th day of July, A.D. 2010.

SANDRA BUSSIN,  
Speaker

ULLI S. WATKISS  
City Clerk

(Corporate Seal)

**SCHEDULE "1"**

This is Schedule " " to By-Law \_\_\_\_\_  
passed the \_\_\_\_\_ day of \_\_\_\_\_, 19 \_\_\_\_

(Sgd.)

CLERK

(Sgd.)

MAYOR

Location: Lot 607 Registered Plan 1743 City Of Toronto



File No. 08 118225

Prepared by: F.C.

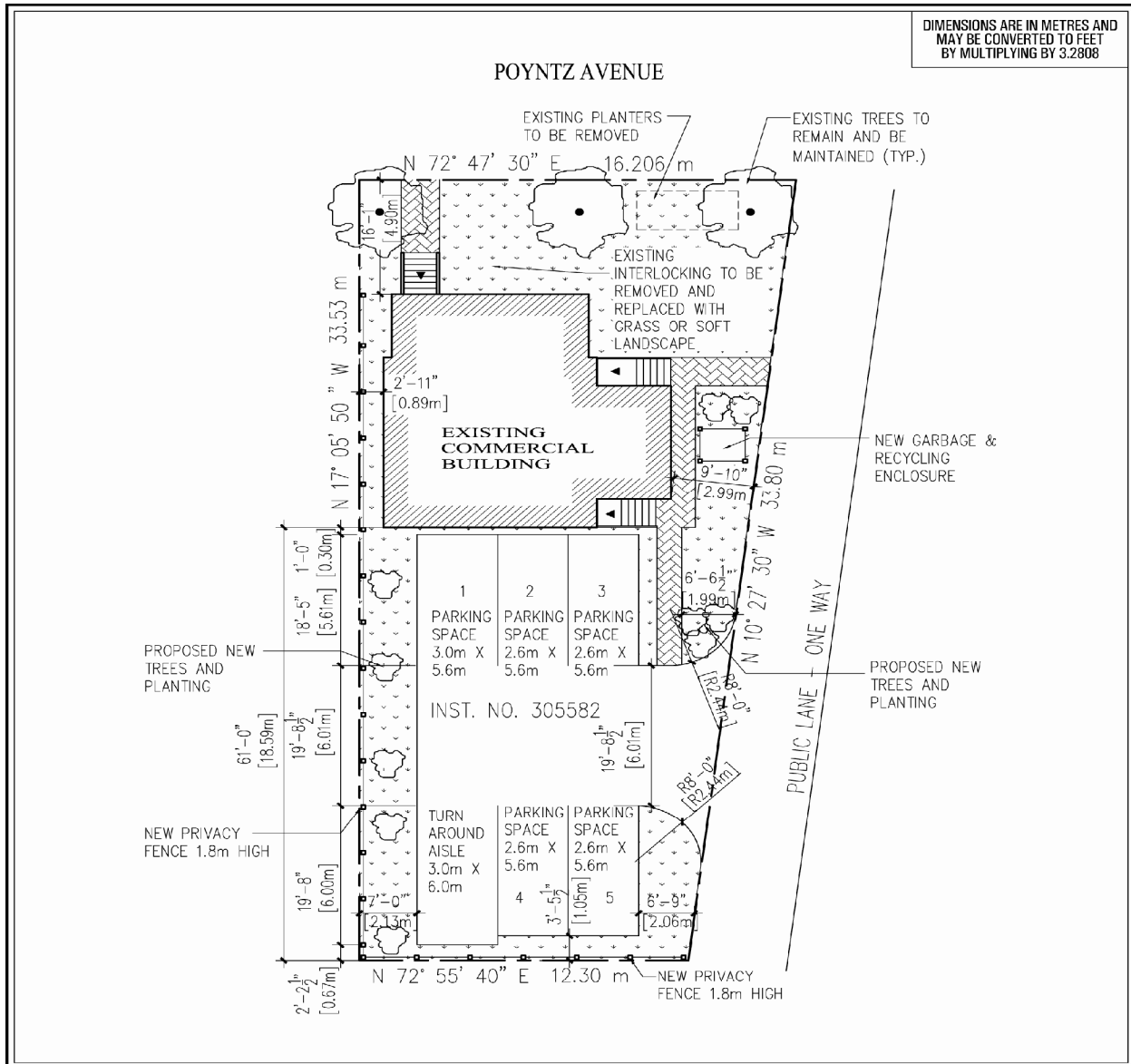
Approved by: B.D.

Date: May 27, 2009

Filename: R4(86)

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - North York Planning Department.

Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.

**SCHEDULE "R4(86)"**

This is Schedule "R4(86)" to Bylaw \_\_\_\_\_  
passed the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Sgd.) \_\_\_\_\_ (Sgd.) \_\_\_\_\_  
CLERK MAYOR

Location: Lot 607 Registered Plan 1743 City of Toronto

File No: 08\_118225

Drawn by: F.C.

Approved by: B.D.

Date: May 28, 2009

Filename: R4(86).ai

**TORONTO**  
Urban Development Services  
Community Planning North



Subject Lands



Not to Scale