

Authority: Scarborough Community Council Item 37.36,
as adopted by City of Toronto Council on August 25, 26 and 27, 2010
Enacted by Council: August 27, 2010

CITY OF TORONTO

BY-LAW No. 1032-2010

To amend the Morningside Heights Zoning By-law, approved by the Ontario Municipal Board on June 17, 2002, as amended, with respect to lands municipally known as 0 Staines Road and 2 - 34 Palk Lane.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. **SCHEDULE "A"** is amended by replacing the current zoning applying to the lands shown outlined on Schedule '1' as follows:

ST-L – 3 - 20 - 21 - 23 - 51 - 60 - 61 - 62 - 63

ST-L – 5 - 20 - 21 - 23 - 39 - 40 - 51 - 60 - 61 - 62 - 63

ST-L – 8 - 20 - 21 - 23 - 51 - 60 - 61 - 62 - 63

2. **SCHEDULE "B" PERFORMANCE STANDARD CHART**, is amended by adding Performance Standard Nos. 39, 40, 61, 62 and 63 as follows:

BUILDING SETBACKS

39. Minimum **exterior side yard** building **setback** is 1.9 m.

40. Minimum **rear yard** building **setback** is 6.2 m.

MISCELLANEOUS

61. The **front yard** shall be maintained for landscaping. Landscaping shall mean trees, shrubs, grass, flowers, vegetables, and other vegetation, decorative stonework, walkways, patios, screening or other horticultural or landscape-architectural elements, or any combination of these.

62. **CLAUSE VI – GENERAL PARKING REGULATIONS FOR ALL ZONES, Sub-Clause 1, General Parking Requirements, Section 1.3 (a) Parking Space and Driveway Dimensions, Sub-Section 1.3.2.2, and Sub-Clause 2, Residential Parking Regulations, Section 2.2 Regulations for Single-Family Dwellings and Semi-Detached Dwellings and Street Townhouse Dwellings shall apply to Street Townhouse – Lane Dwellings.**

63. An attached garage shall be erected with each **dwelling unit**.

3. **SCHEDULE "C" EXCEPTIONS LIST**, is amended by adding Exception 4 within the lands as shown on Schedule '2'.

ENACTED AND PASSED this 27th day of August, A.D. 2010.

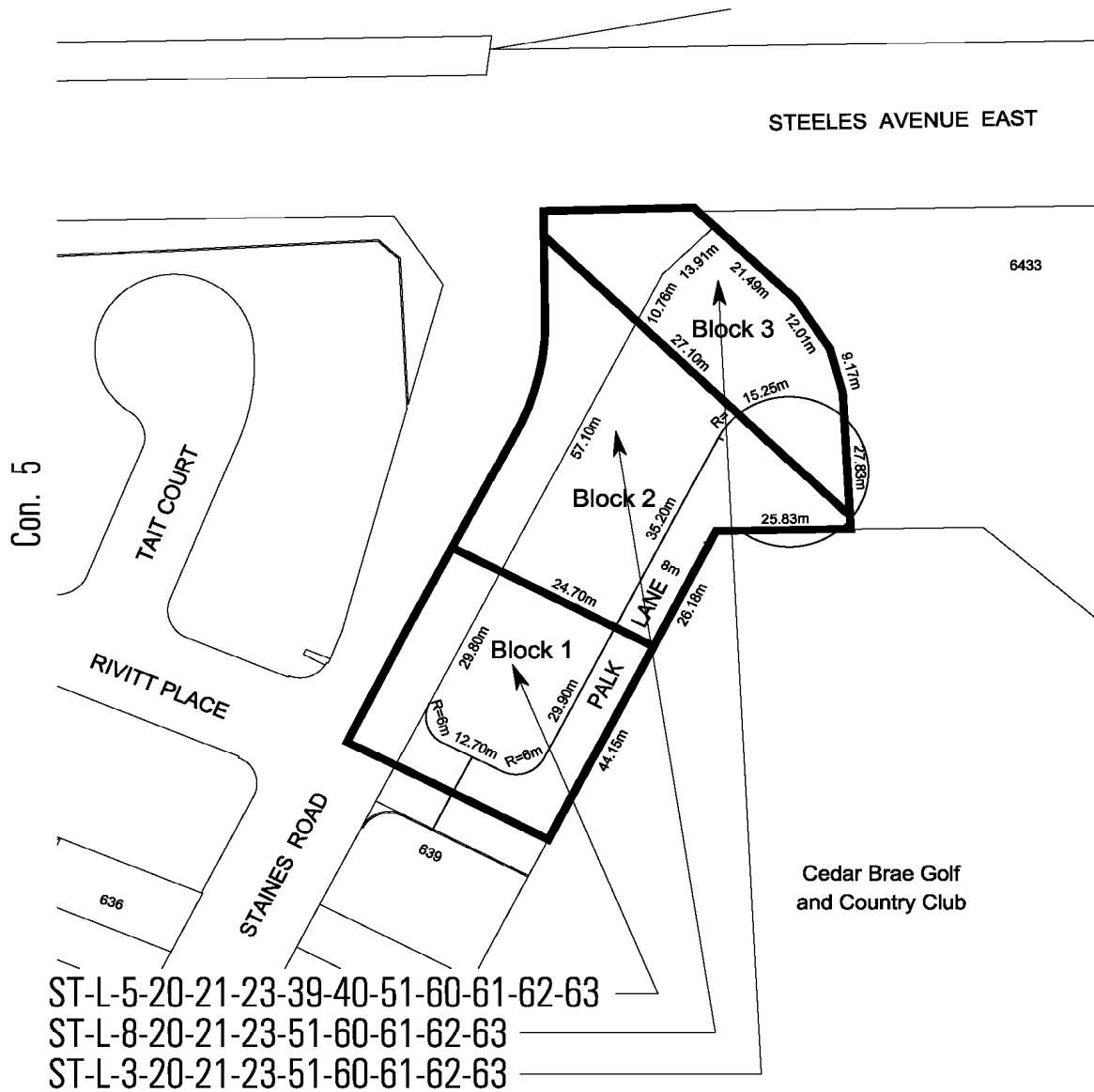
DAVID R. MILLER,
Mayor

ULLI S. WATKISS
City Clerk

(Corporate Seal)

Schedule '1'

Lot 13



Toronto City Planning
Division
Zoning By-Law Amendment

Block 622 and Part of Block 623, R.P. 66M-2406

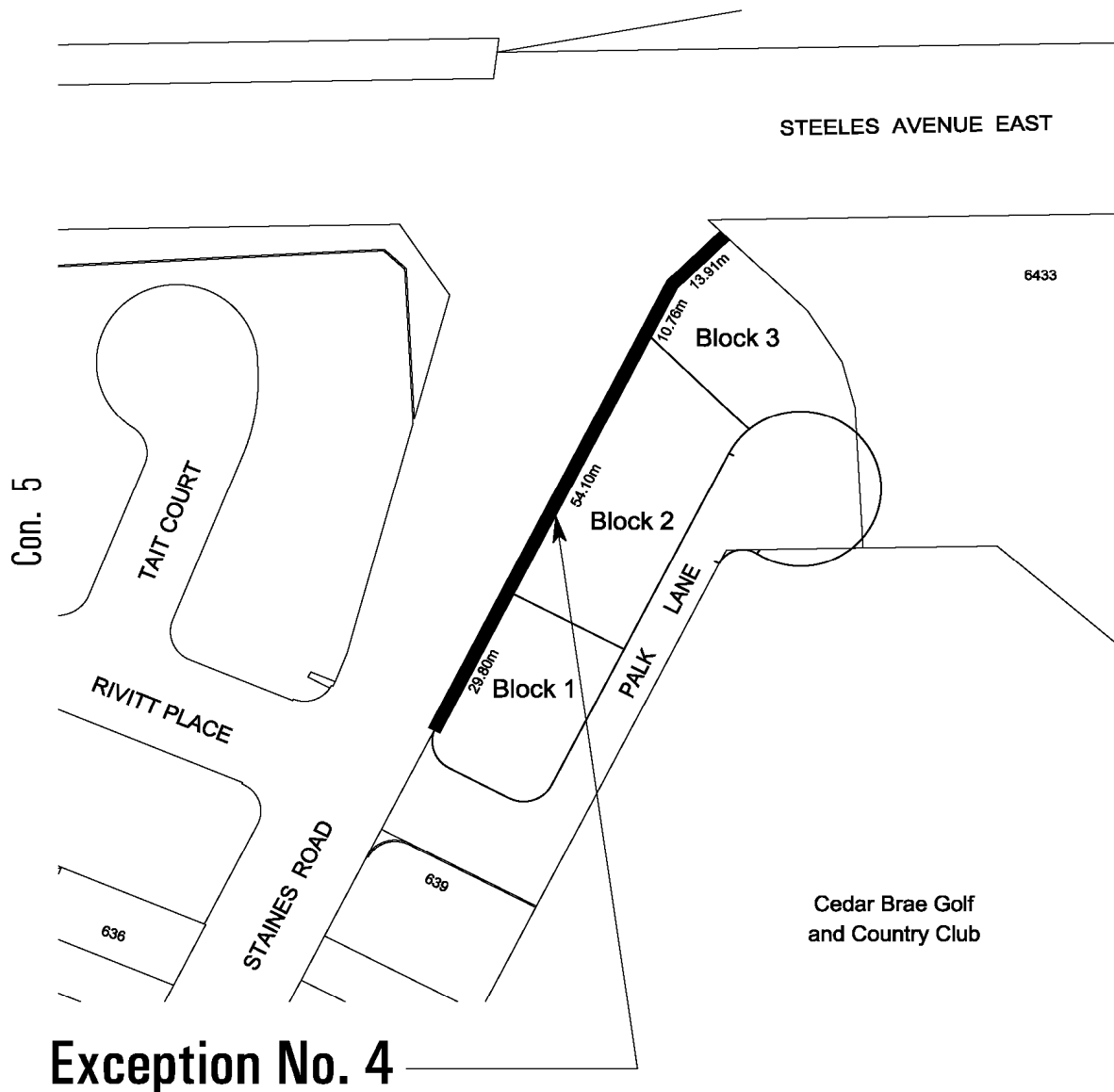
File # 09-159673 OZ

 Area Affected By This By-Law

Morningside Heights Community By-law
Not to Scale
08/12/10


Schedule '2'

Lot 13



 **Toronto** City Planning
Division
Zoning By-Law

Block 622 and Part of Block 623, R.P. 66M-2406

File # 09-159673 OZ

Area Affected By This By-Law

Morningside Heights Community By-law
Not to Scale
08/12/10