

Authority: Scarborough Community Council Item 19.23,
as adopted by City of Toronto Council on October 30, 31 and November 1, 2012
Enacted by Council: November 1, 2012

CITY OF TORONTO

BY-LAW No. 1438-2012

To amend the Employment Districts Zoning By-law No. 24982, as amended, (Birchmount Park Employment District) of the former City of Scarborough and Midland/St. Clair Community Zoning By-law No. 842-2004, as amended, with respect to the lands municipally known as 3640 St. Clair Avenue East located at the north west corner of Midland Avenue and St. Clair Avenue East.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. **SCHEDULE "A"** of the Employment Districts Zoning By-law (Birchmount Park Employment District) No. 24982, as amended, is amended by deleting the lands and zoning for the lands outlined in Schedule '1' to this By-law.
2. **SCHEDULE "A"** of the former City of Scarborough Midland/St. Clair Community Zoning By-law No. 842-2004, as amended, is amended by adding the lands outlined in Schedule '1' to this By-law and adding the following zoning to the outlined lands as shown thereon:

TH - 26 - 56 - 57 - 164 - 244 - 311 - 312 - 358 - 398 - 399 - 400 - 401 - 402 - 404 - 450
3. **SCHEDULE "B", PERFORMANCE STANDARD CHART** of the former City of Scarborough Midland/St. Clair Community Zoning By-law No. 842-2004, as amended, is amended by adding the following Performance Standards:

INTENSITY OF USE

56. One **townhouse dwelling** unit per 4.2 metres of street frontage and 100 square metres of lot area.
57. Maximum number of 48 **townhouse dwellings**.

SETBACKS FROM STREETS

244. Minimum **building setback** of 3 metres from a lot line abutting St. Clair Avenue, Midland Avenue and the new public street.

PARKING

358. Minimum of 17 visitor parking spaces

MISCELLANEOUS

404. Notwithstanding the provisions of **CLAUSE VII - GENERAL PARKING REGULATIONS FOR ALL ZONES**, Section 2.1.4 (e), Garages, Carports and Accessory Buildings, the maximum dimensions of a garage or carport shall be 6.1 metres by 12.2 metres.

BUILDING SETBACK FROM LOT LINES OTHER THAN STREET LOT LINES

450. Minimum **building setback** of 25 metres from the property line abutting the Railway Corridor.

4. **SCHEDULE "C", EXCEPTIONS MAP and EXCEPTIONS LIST** of the former City of Scarborough Midland/St. Clair Community Zoning By-law No. 842-2004, as amended, is amended by adding Exception Number 5 to the lands outlined in Schedule '2' so that it reads:

5. On those lands identified as Exception 5 on the accompanying Schedule "C" map, the following provision shall apply:
- (a) Two (2) model homes are permitted provided a model home agreement has been executed, subject to the following provisions:
 - i) Model Home shall mean a finished dwelling unit for temporary display to the public prior to residential occupancy.
 - (b) A temporary sales centre and associated parking area is permitted subject to the following provisions:
 - i) Minimum distance separation of 1.5 metres between the side wall of a sales centre and the side wall of a model home.

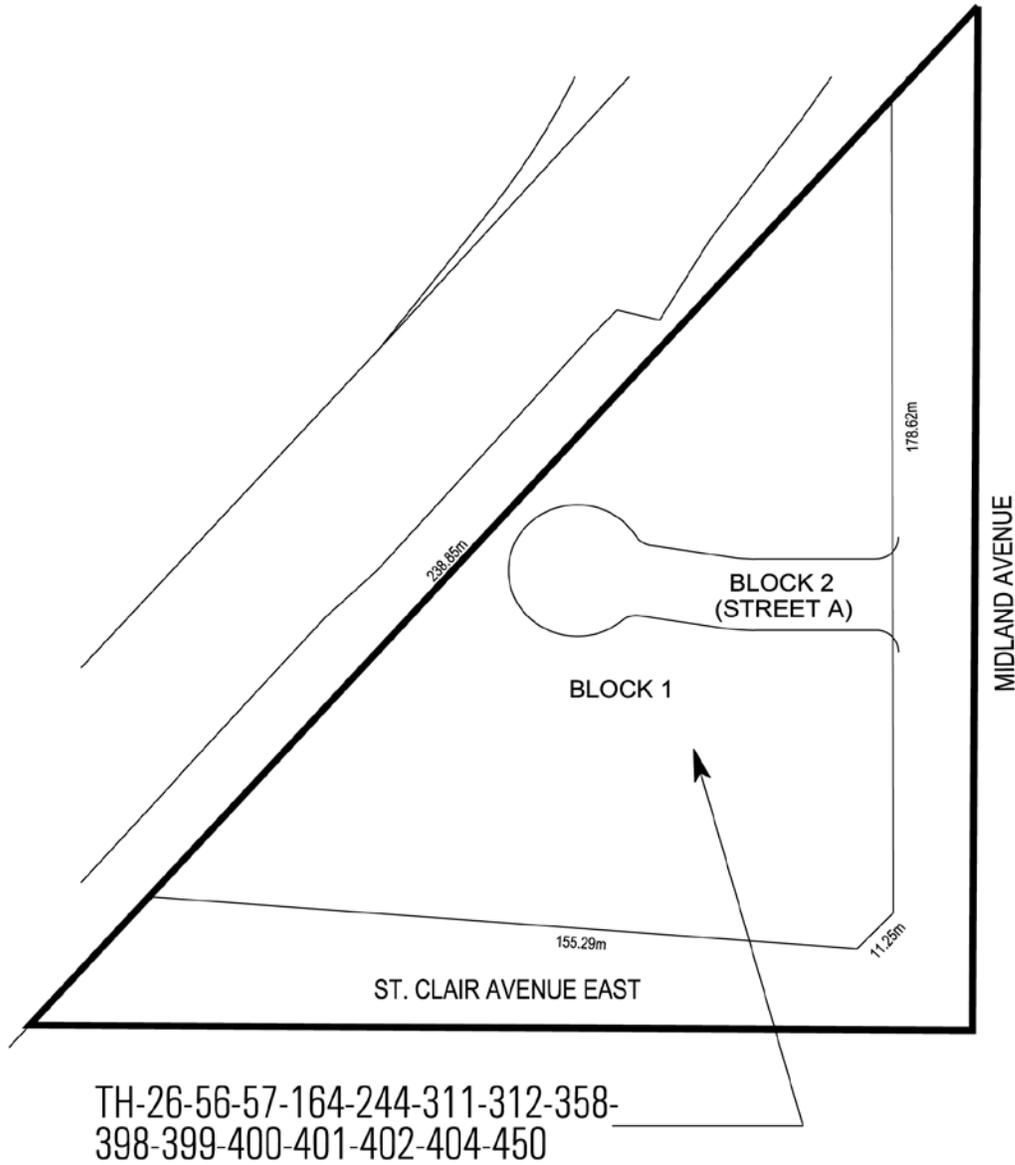
ENACTED AND PASSED this 1st day of November, A.D. 2012.

FRANCES NUNZIATA,
Speaker

ULLI S. WATKISS,
City Clerk

(Corporate Seal)

Schedule '1'



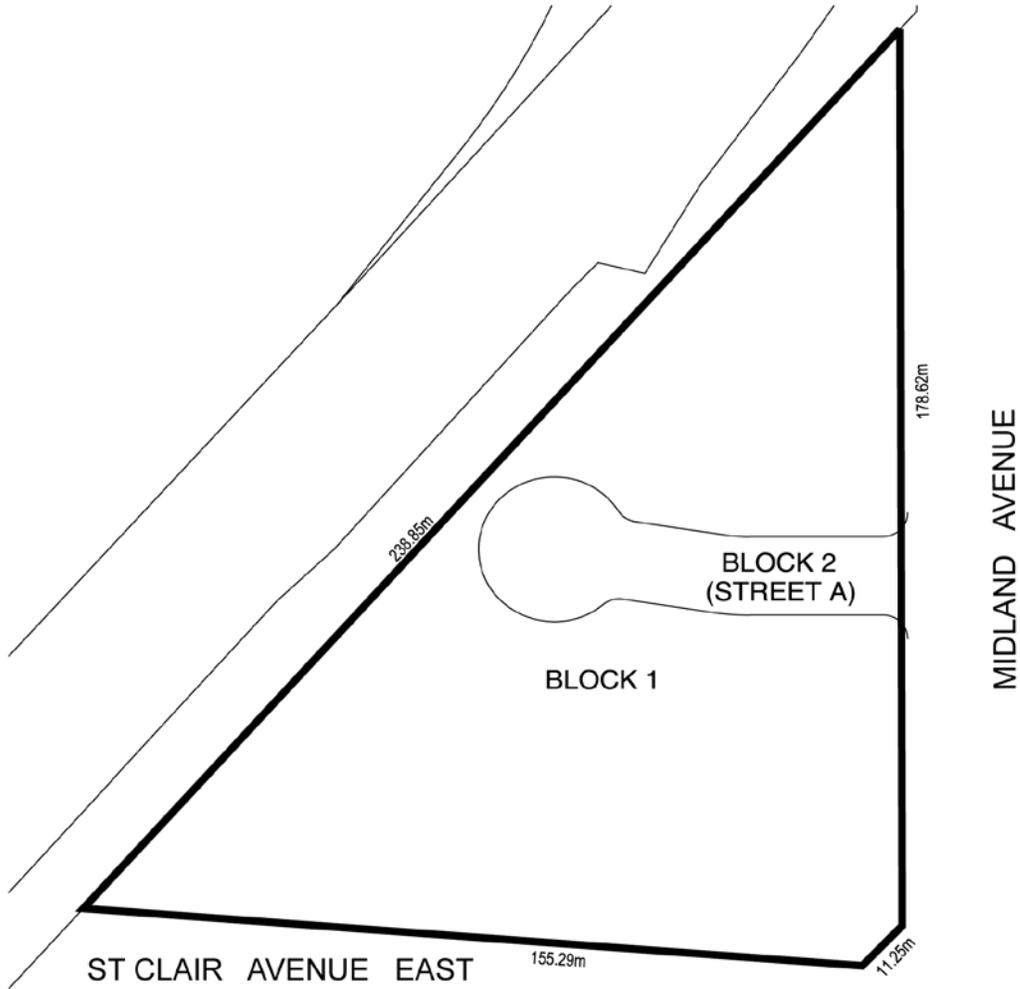
Toronto City Planning Division
Zoning By-Law Amendment

3640 St. Clair Avenue East
 File # 12 114256 ESC 36 OZ

 Area Affected By This By-Law

Birchmount Park Bylaw
 Not to Scale
 27/09/12


Schedule '2'



Exception No. 5

Toronto City Planning Division
Zoning By-Law Amendment

3640 St. Clair Avenue East
 File # 12 114256 ESC 36 OZ

 Area Affected By This By-Law

Birchmount Park Bylaw
 Not to Scale
 28/10/12

