

Authority: Scarborough Community Council Item SC12.20, as adopted by City of Toronto Council on March 10, 2016

**CITY OF TORONTO**

**BY-LAW No. 288-2016**

**To amend former City of Scarborough Oakridge Community Zoning By-law No. 9812, as amended, with respect to the lands municipally known as 35 and 45 Danforth Road (also known as 45A Danforth Road).**

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. **SCHEDULE "A"** of Oakridge Community Zoning By-law No. 9812 is amended by deleting the current zoning and replacing it with the following zoning as shown on Schedule '1':

A-20T-80D-150-191-192-193-194-195-196-197-198-199-200-201-202

2. **CLAUSE V - INTERPRETATION, SECTION (f), Definitions**, is amended by adding the following definitions:

**Established Grade** shall mean the average elevation of the ground measured at the two points where the projection of the required minimum **front yard setback** line is 0.01 metres past each **side lot line**;

**Loading Space** shall mean an area used for the loading or unloading of goods or commodities from a **vehicle**; and

**Stacked Bicycle Parking Space** shall mean a horizontal **bicycle parking space** that is positioned above or below another **bicycle parking space** and equipped with a mechanical device providing floor level access to both **bicycle parking spaces**.

3. **SCHEDULE "B" PERFORMANCE STANDARD CHART**, is amended by adding the following Performance Standards:

**INTENSITY OF USE**

20T. Maximum 116 **dwelling units**.

**FLOOR AREA**

80D. Maximum **gross floor area** of all buildings 9,755 square metres.

**MISCELLANEOUS**

191. Notwithstanding the definition of **height** in **CLAUSE V - INTERPRETATION, SECTION (f), Definitions**, the height of any building or structure shown on Schedule '2' of By-law No. 288-2016, as measured from an **established grade** of 133.25 metres to the elevation of the highest point of the building or structure, shall not exceed the height in metres specified by the numbers following the symbol H on Schedule '2' of By-law No. 288-2016.
192. The **setbacks** from the lot line(s) to the **main wall(s)** of any building(s) and the separation between the **main walls** of any buildings shall be the minimum distance in metres specified by the numbers on Schedule '2' of By-law No. 288-2016.
193. The minimum **setbacks** from lot lines as specified by the numbers on Schedule '2' of By-law No. 288-2016 shall apply only to above-ground parts of a building or structure.
194. The provisions of **CLAUSE VII - GENERAL PARKING REGULATIONS FOR ALL ZONES**, Sub-Clause 1.6.2 shall not apply.
195. A minimum of 140 **parking spaces** shall be provided in accordance with the following:
- (a) a minimum of 116 **parking spaces** for occupants or tenants, all located in an underground structure; and
  - (b) a minimum of 24 **parking spaces** for visitors, of which a minimum of 22 **parking spaces** shall be located in an underground structure and a maximum of 2 **parking spaces** shall be located at grade.
196. **Bicycle parking spaces** shall not be provided within a **dwelling unit** or on a balcony associated thereto, or in a storage locker.
197. Meaning of "Long-Term" Bicycle Parking and "Short-Term" Bicycle Parking:
- (a) "Long-term" **bicycle parking spaces** are for use by the occupants or tenants of a building; and
  - (b) "Short-term" **bicycle parking spaces** are bicycle parking spaces for use by visitors to a building.
198. **Bicycle Parking Space** Dimensions:
- (a) the minimum dimensions of a **bicycle parking space** is:
    - (i) length of 1.8 metres;
    - (ii) width of 0.6 metres; and

- (iii) vertical clearance from the ground of 1.9 metres;
  - (b) the minimum dimensions of a **bicycle parking space** if placed in a vertical position on a wall, structure or mechanical device is:
    - (i) length or vertical clearance of 1.9 metres;
    - (ii) width of 0.6 metres; and
    - (iii) horizontal clearance from the wall of 1.2 metres;
  - (c) if a **stacked bicycle parking space** is provided, the minimum vertical clearance for each **bicycle parking space** is 1.2 metres.
- 199. An area used to provide **bicycle parking spaces** shall have a minimum vertical clearance of:
  - (a) 2.4 metres if it is a **stacked bicycle parking space**; and
  - (b) 1.9 metres in all other cases.
- 200. A minimum of 87 **bicycle parking spaces** shall be provided in accordance with the following:
  - (a) a minimum of 78 "long-term" **bicycle parking spaces**, all located in an underground structure; and
  - (b) a minimum of 9 "short-term" **bicycle parking spaces**.
- 201. One **loading space** shall be provided and shall have the following minimum dimensions:
  - (a) length of 13 metres;
  - (b) width of 4 metres; and
  - (c) vertical clearance of 6.1 metres.
- 202. The provisions of the By-law shall apply collectively to this land, notwithstanding its future severance, partition or division.
- 4. **SCHEDULE "B" PERFORMANCE STANDARD CHART**, is amended by deleting and replacing Performance Standard 150, so that it reads as follows:
  - 150. No person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
    - (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and

- (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

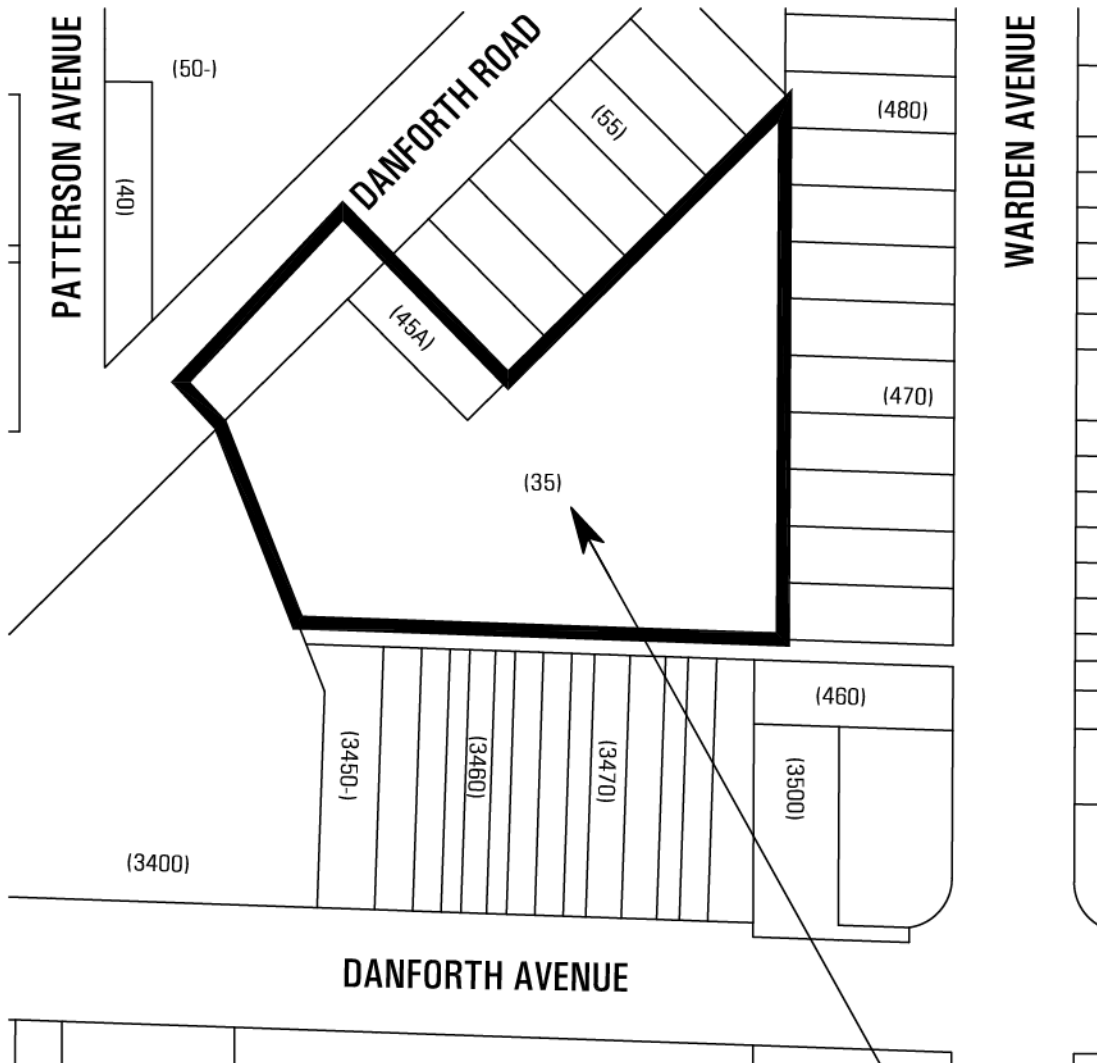
Enacted and passed on April 1, 2016.

Frances Nunziata,  
Speaker

Ulli S. Watkiss,  
City Clerk

(Seal of the City)

### Schedule '1'



**A-20T-80D-150-191-192-193-194-  
195-196-197-198-199-200-201-202**

**Toronto** City Planning Division  
**Zoning By-Law Amendment**

35 & 45 Danforth Road  
 File # 14 266756 ESC 35 0Z

 Area Affected By This By-Law

Oakridge Community Bylaw  
 Not to Scale  
 02/02/16



### Schedule '2'

