

Authority: Ontario Municipal Board Orders/Decisions issued February 4, 2015 and December 2, 2015 in Board File No. PL131368

## CITY OF TORONTO

### BY-LAW No. 385-2016(OMB)

**To amend Zoning By-law No. 569-2013, as amended, with respect to the lands municipally known as 103 Bayview Ridge.**

Whereas the Ontario Municipal Board, by its Orders/Decisions issued February 4, 2015 and December 2, 2015 in Board File No. PL131368 has determined to amend Zoning By-law No. 569-2013, with respect to the lands known municipally as 103 Bayview Ridge;

The Ontario Municipal Board orders:

1. The lands subject to this By-law are outlined by heavy black line on Diagram 1 attached to this By-law.
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law No. 569-2013, Chapter 800 Definitions.
3. Zoning By-law No. 569-2013, as amended, is further amended by amending the zone label for the lands subject to the By-law and identified as Area 'A' on Diagram 2 to the Zoning By-law Map in Section 900.10, and applying the following zone label to these lands: RT (au123)(x80) as shown on Diagram 2 attached to this By-law.
4. Zoning By-law No. 569-2013, as amended, is further amended by amending the zone label for the lands subject to the By-law and identified as Area 'B' on Diagram 2 to the Zoning By-law Map in Section 900.10, and applying the following zone label to these lands: RD (f18; a707)(x887) as shown on Diagram 2 attached to this By-law.
5. Zoning By-law No. 569-2013, as amended is further amended by removing the lot coverage label and height label from lands subject to the By-law and identified on Diagram 1 attached to this By-law.
6. Zoning By-law No. 569-2013, as amended, is further amended by adding to Article 900.3.10.887 Exception Number 887 so that it reads:

#### **Exception RD (887)**

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections.

Site Specific Provisions:

- (A) Despite Section 5.10.40.70 (1), encroachments as described in this By-law are permitted into any **building setback**.
- (B) Despite Section 5.10.40.70 (2), **building setbacks** shall not apply to any part of a **building** located below ground.

- (C) Despite Section 10.5.40.10 (1), the **height** of a **building** shall be the distance between the **established grade** and the mid-point of a sloped roof.
- (D) Despite Section 10.5.40.20 (1), **building length** shall not apply to the main walls of buildings below grade.
- (E) Despite Section 10.5.40.30 (1), **building depth** shall not apply to the main walls of buildings below grade.
- (F) Despite Section 10.5.40.50 (2), a porch, deck, balcony or similar **structure** shall not be subject to the required minimum **building setbacks** of a **building**.
- (G) Despite Section 10.5.40.60 (1) (C), a porch, deck, balcony or similar **structure** may encroach into the required **rear yard setback** a maximum of 4.3 metres.
- (H) Despite Section 10.5.40.60 (3), exterior stairs shall be no longer than a maximum of 1.52 horizontal units for each 1.0 vertical unit above the ground at the point where the stairs meet the building or structure; and maintain a maximum width of 3.26 metres.
- (I) Despite Section 10.5.40.70 (1), the averaging of **front yard setbacks** shall not apply to the subject lands.
- (J) The minimum **lot area** is symbolized by the letter ‘a’ as shown on Diagram 2 attached to this By-law and shall not be less than a minimum of 707 square metres.
- (K) The minimum **lot frontage** is symbolized by the letter ‘f’ as shown on Diagram 2 attached to this By-law and shall not be less than a minimum of 18 metres.
- (L) The maximum height of a **building** shall be as shown on Diagram 3 attached to this By-law.
- (M) The maximum number of **detached** houses is 2.
- (N) Despite Section 10.20.40.70, the **Building Setbacks** as set out in Diagram 3 attached to this By-law shall apply to the subject lands.
- (O) The maximum **Gross Floor Area** per single detached dwelling shall be 452 square metres.
- (P) Despite Section 800.50, **Established Grade** for the purpose of establishing the permitted height shall mean the geodetic elevation of:

162.98 for House C

162.63 for House D

- (Q) Despite Section 800.50, the **Front Lot Line** shall be deemed to be Bayview Ridge.
- (R) Despite Section 800.50, **Gross Floor Area** shall exclude areas below grade for the lands zoned RD (887).

Prevailing By-laws and Prevailing Sections: (None apply)

7. Zoning By-law No. 569-2013, as amended, is further amended by adding to Article 900.5.10.80 Exception Number 80 so that it reads:

**Exception RT (80)**

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections.

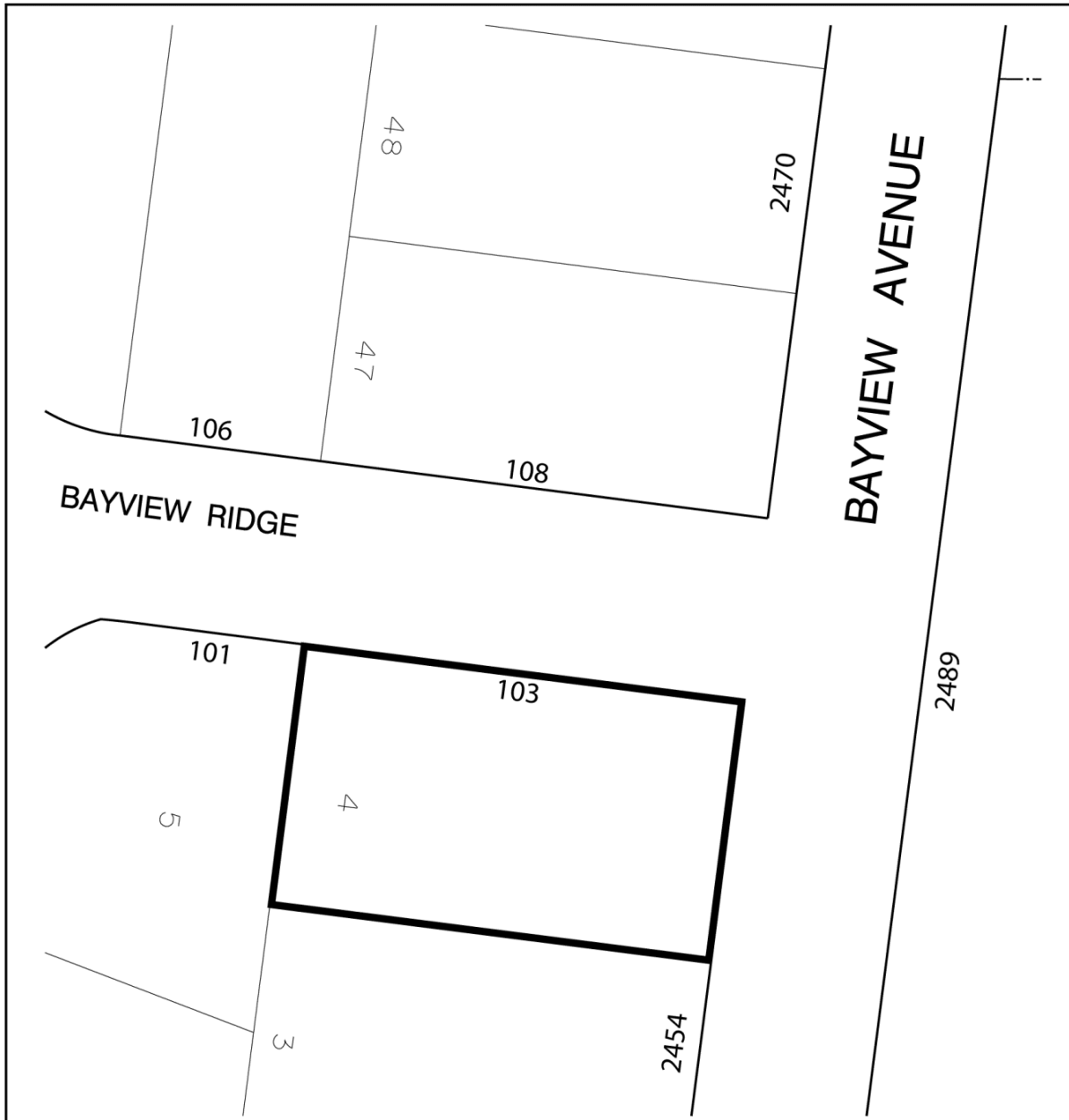
Site Specific Provisions:

- (A) Despite Section 5.10.40.70 (1), encroachments described in this By-law are permitted into any **building setback**.
- (B) Despite Section 5.10.40.70 (2), **building setbacks** shall not apply to any part of a **building** located below ground.
- (C) Despite Section 10.5.40.10 (1), the maximum **height of a building** is the distance between the **established grade** and the top of roof, excluding the mechanical penthouse, including any roof parapets to a maximum of 2.6 metres.
- (D) Despite Section 10.5.40.50 (2), a porch, balcony, terrace or similar **structure** shall not be subject to the required minimum **building setbacks** of a **building**.
- (E) Despite Section 10.5.40.60 (3), exterior stairs shall not be subject to the required minimum permitted encroachments.
- (F) Despite Section 10.5.40.70 (1), the averaging of **front yard setbacks** shall not apply to the subject lands.
- (G) Despite Section 10.5.50.10 (3), **rear yard landscape** requirements shall not apply.
- (H) Despite Section 10.5.60.10 (1), a garbage enclosure shall be permitted to be located within the **front yard**.
- (I) Despite Section 10.5.60.20 (1), a garbage enclosure shall not be subject to the **front yard** setbacks as outlined in this By-law.

- (J) The minimum **lot area** for each **dwelling unit** in a **townhouse** is symbolized by the letter 'au' as shown on Diagram 2 attached to this By-law and shall not be less than a minimum of 123 square metres.
- (K) The maximum height of a **building** shall be as shown on Diagram 3 attached to this By-law.
- (L) The maximum number of **townhouse** units shall be 6.
- (M) The maximum **floor space index** for **townhouses** shall be 1.79.
- (N) Despite Section 10.60.40.70, the **Building Setbacks** as set out in Diagram 3 of this By-law shall apply to the subject lands.
- (O) Despite Section 200.5.1.10.2.D, a 0.3 metre dimension on the side of a **parking space** obstructed by a wall is not required.
- (P) Section 200.15.10 shall not apply to the subject lands.
- (Q) Despite Section 800.50, **Established Grade** for the purpose of establishing the permitted height shall mean the geodetic elevation of:  
  
161.43 for Townhouse 1
- (R) Despite Section 800.50, the **Front Lot Line** shall be deemed to be Bayview Avenue.

Prevailing By-laws and Prevailing Sections: (None apply)

PURSUANT TO THE ORDERS/DECISIONS OF THE ONTARIO MUNICIPAL BOARD  
ISSUED ON FEBRUARY 4, 2015 AND DECEMBER 2, 2015 IN BOARD CASE  
NO. PL131368.



103 Bayview Ridge

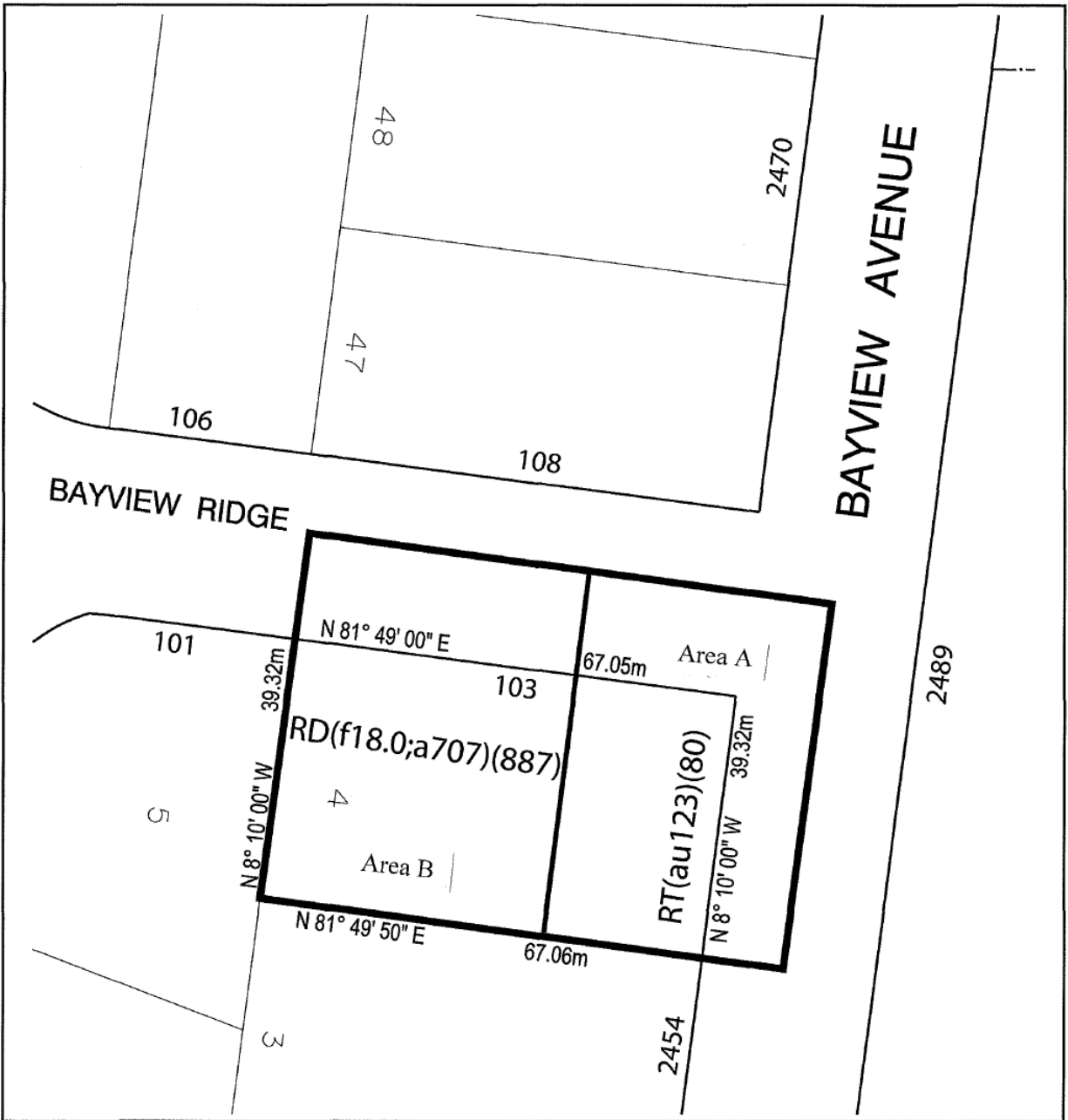
Diagram 1

File # 13 220385 NNY 25 0Z

Approved by: G. Matthew

City of Toronto By-Law 569-2013  
Not to Scale  
2/25/2015





103 Bayview Ridge

Diagram 2

File # 13 220385 NNY 25 OZ

Approved by: G. Matthew

City of Toronto By-Law 569-2013  
Not to Scale  
2/25/2015



