

Authority: North York Community Council Item NY14.27, as adopted by City of Toronto Council on June 7, 8 and 9, 2016

CITY OF TORONTO

BY-LAW 93-2017

To amend former City of North York Zoning By-law 7625, as amended, with respect to the lands municipally known as 263 Finch Avenue West.

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. Schedules "B" and "C" of By-law 7625 of the former City of North York are amended in accordance with Schedule 1 attached to this By-law.
2. Section 64.13 of By-law 7625 of the former City of North York is amended by adding the following subsection:

64.13 (113) R4 (113)

DEFINITIONS

ESTABLISHED GRADE

- a. For the purpose of this exception, "established grade" for the purpose of establishing the permitted height shall mean the geodetic elevation of 193.39 metres;

PERMITTED USES

- b. In addition to the uses permitted in the R4 zone, a Professional Medical Office shall be permitted on the ground floor only within the detached dwelling;

EXCEPTION REGULATIONS

- c. One dwelling unit is permitted;
- d. The driveway on site is permitted to operate as a two-way access driveway with a minimum width of 3.09 metres;
- e. Five parking spaces shall be provided at the rear of the lot. Parking is not permitted in the front yard;
- f. A 1.5 metre landscape strip and 1.8 metre high opaque fence shall be provided along the south property line of the lot;

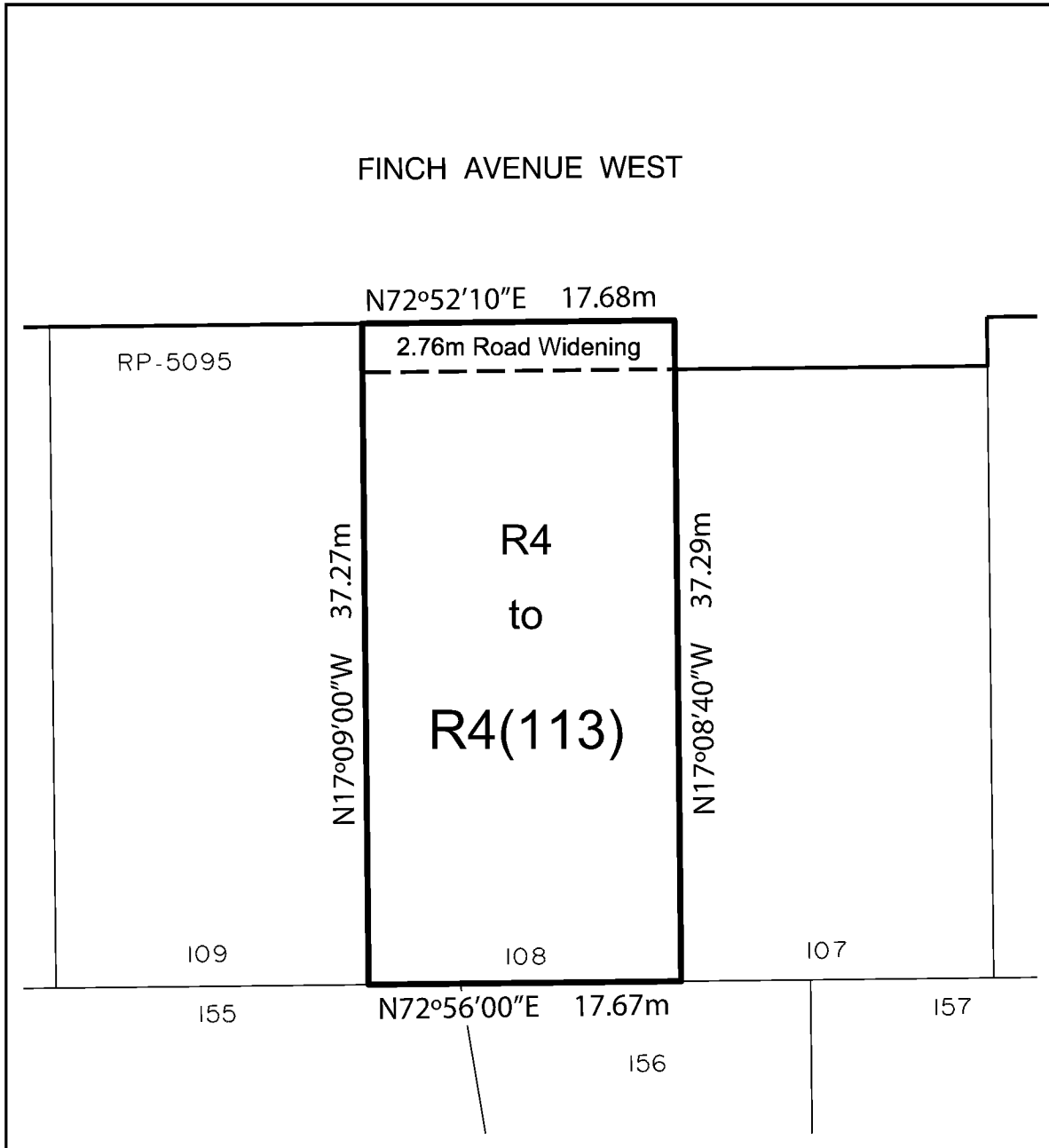
- g. The minimum front and side yard setbacks on the lands as shown on Schedule R4(113) attached shall be maintained; and
 - h. The building height shall not exceed 8.8 metres from established grade to the mid-point of the roof.
3. Within the lands shown on Schedule R4(113) attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- a. all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
 - b. all water mains and sanitary sewers and appropriate appurtenances have been installed and are operational.

Enacted and passed on January 31, 2017.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)

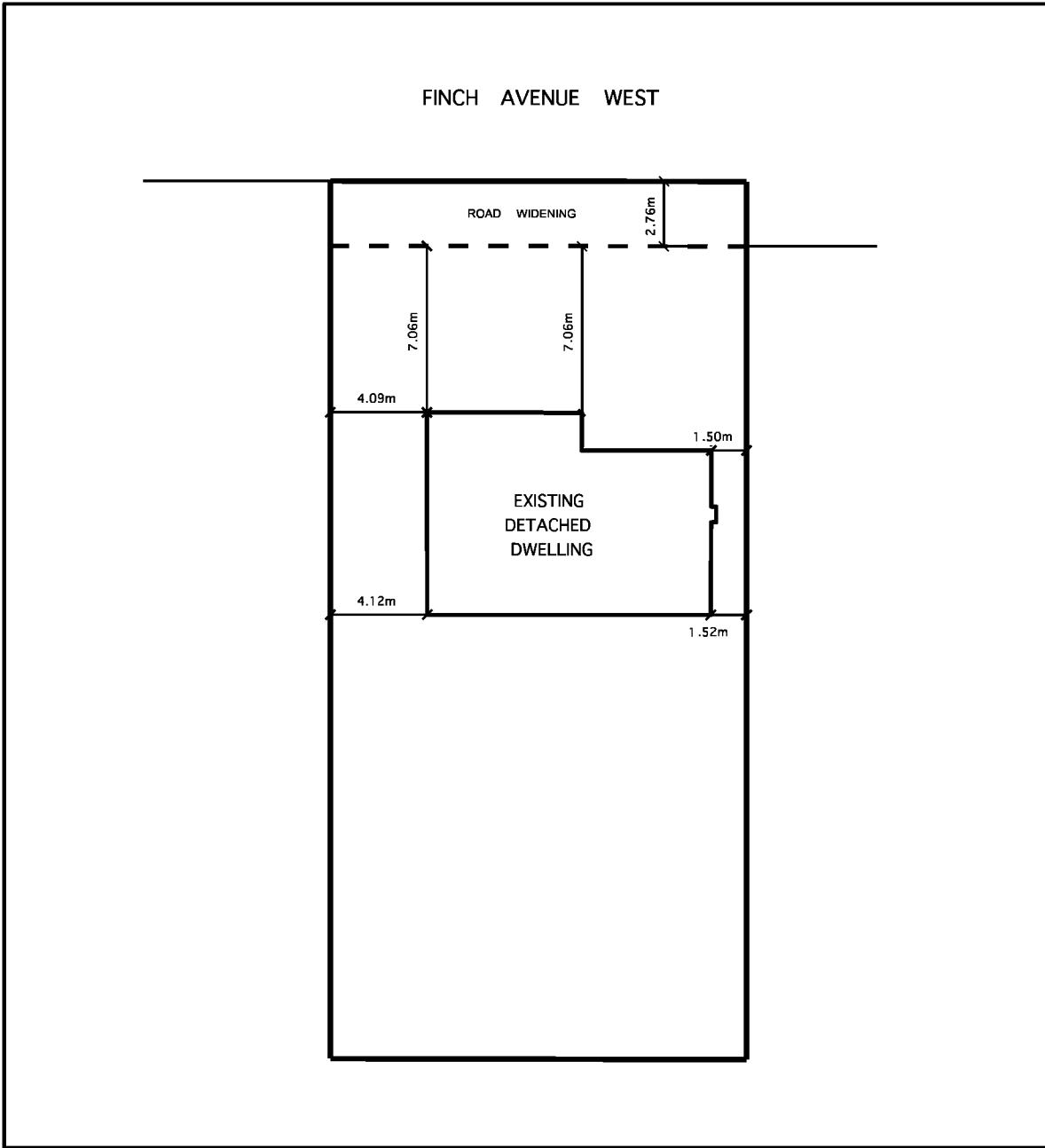


Schedule 1

Part of Lot 108, R.P. 5095, City of Toronto
Rouse Surveyors Inc.
Date: 04/12/2016
Approved by: C.T.

File # 15 113585 NNY 23 02

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Not to Scale



Schedule R4(113)

Part of Lot 108, R.P. 5095, City of Toronto

File # 15 113585 NNY 23 0Z

Rouse Surveyors Inc.

Date: 04/14/2016

Approved by: C.T.



Not to Scale