

Authority: Ontario Municipal Board Decision issued May 27, 2015 and Order issued December 5, 2016 in Board File PL140174

CITY OF TORONTO

BY-LAW 118-2017(OMB)

To adopt Amendment 229 to the Official Plan for the City of Toronto respecting the lands municipally known in the year 2015 as 58, 60, 62, 64, 76 and 100 Howard Street.

Whereas after hearing the appeal under subsection 22(7) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and pursuant to its Decision in respect of Board File PL140174 issued on May 27, 2015 and its Order issued December 5, 2016, the Ontario Municipal Board deems it advisable to amend the City of Toronto Official Plan;

The City of Toronto Official Plan, as amended, is further amended by the Ontario Municipal Board as follows:

1. The attached text and maps are adopted as an amendment to the Official Plan pursuant to the *Planning Act*, as amended.
2. This is Amendment 229.

Ontario Municipal Board Decision issued May 27, 2015 and Order issued December 5, 2016 in Board File PL140174.

AMENDMENT 229 TO THE OFFICIAL PLAN

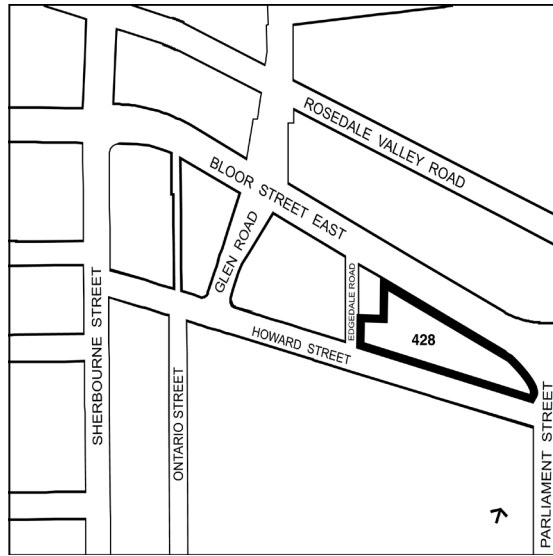
**LANDS MUNICIPALLY KNOWN IN THE YEAR 2015 AS
58, 60, 62, 64, 76 and 100 Howard Street**

The Official Plan of the City of Toronto is amended as follows:

- (1) Land Use Plan Maps 17 and 18 are amended to redesignate the lands municipally known in the year 2015 as 58, 60, 62, 64, 76 and 100 Howard Street from *Neighbourhoods* to *Apartment Neighbourhoods* and *Parks*, as shown on attached Schedule 1.
- (2) Chapter 7, Site and Area Specific Policies, is amended by adding Site and Area Specific Policy 428 for the lands municipally known in the year 2015, as 58, 60, 62, 64, 76 and 100 Howard Street, as follows:

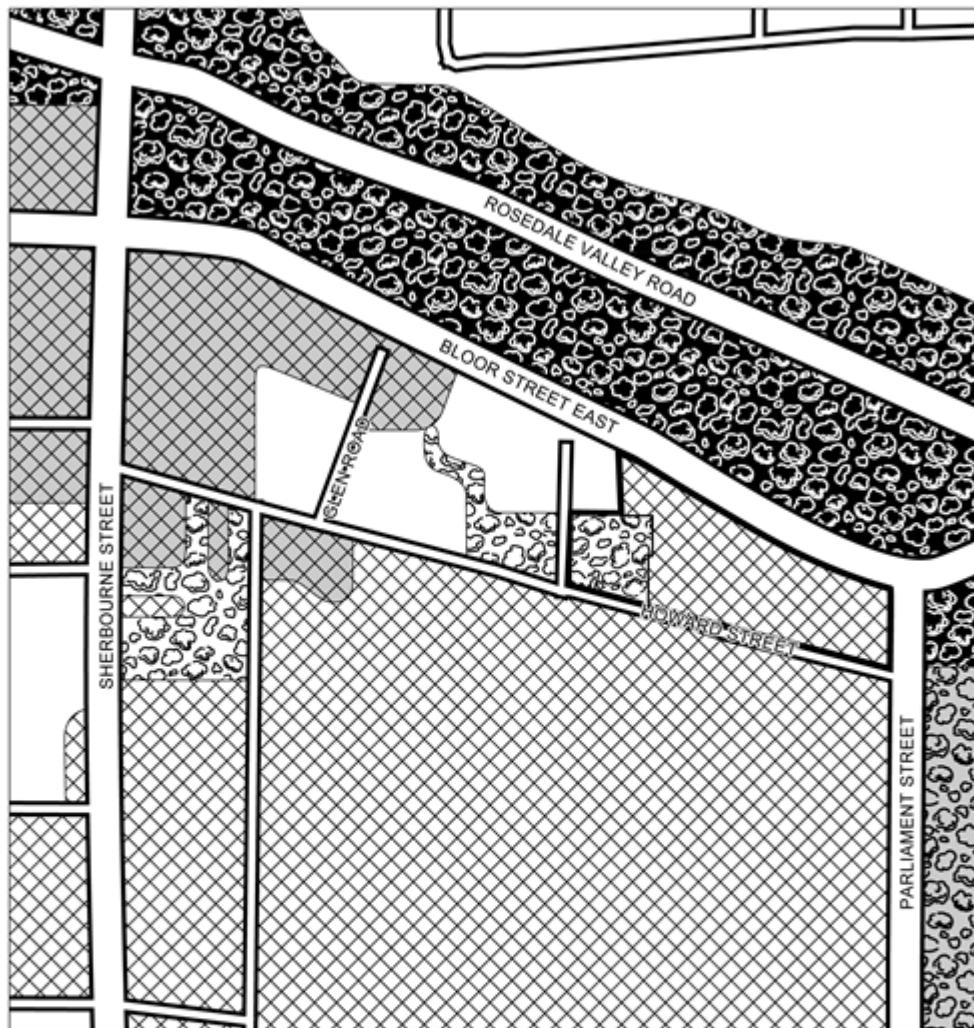
"428. 58, 60, 62, 64, 76 and 100 Howard Street

- i) Development of the subject lands with one non-residential building having a height of one storey (7 m) and a mixed use building having tower heights of 38 storeys (116.5 m) and 46 storeys (138.5 m), including mechanical penthouses, shall be permitted with a total residential gross floor area not exceeding 60,000 m² and a total combined non-residential gross floor area not exceeding 1,800 m²;
- ii) A new public park secured, in whole or in part, pursuant to the City's parkland dedication requirements will be provided with frontage on a public street and at grade publicly accessible open space to provide neighbourhood green space. Publicly accessible walkway linkages between Howard Street and Bloor Street are contemplated where feasible to provide direct, accessible pedestrian connections to these spaces from public streets;
- iii) The conservation of the existing heritage building located at 76 Howard Street, which may include relocation, will be prioritized in any redevelopment proposal; and
- iv) Buildings on the subject lands will provide appropriate transition in built form from the adjacent lands designated *Neighbourhoods* to the west.
- v) Chapter 7, Site and Area Specific Policy 517, shall not apply to the lands municipally known in the year 2015, as 58, 60, 62, 64, 76 and 100 Howard Street.



Site and Area Specific Policy 428 - 58, 60, 62, 64, 76 and 100 Howard Street"

Schedule 1



TORONTO City Planning

Official Plan Amendment # 229

Revisions to Land Use Maps 17 and 18 to Redesignate lands from Neighbourhoods to Apartment Neighbourhoods & Parks

North St. James Town

58, 60, 62, 64, 76 & 100 Howard Street

File # 10_247063 OZ



Not to Scale
10/28/2013

Staff report for action – Final Report – 6, 8, 10, 12, 14 and 16 Glen Rd; 4, 6, 58, 60, 62, 64, 76 and 100 Howard Street; and 603, 605, 607, 609 and 611 Sherbourne Street