

Authority: Scarborough Community Council Item SC20.16, as adopted by City of Toronto Council on March 9, 2017

CITY OF TORONTO

BY-LAW 243-2017

To amend former City of Scarborough Employment Districts Zoning By-law 24982 (Oakridge Employment District), as amended, and former City of Scarborough Birchcliff Community Zoning By-law 8786, as amended, with respect to the lands municipally known as 2535 Gerrard Street East.

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. Schedule "A" of the Employment Districts Zoning By-law 24982 (Oakridge Employment District), as amended, is further amended by deleting the existing zoning applying to the lands as shown on Schedule '1', attached hereto.

2. Schedule "A" of the Birchcliff Community Zoning By-law 8786, as amended, is further amended by adding the land outlined in the attached Schedule '1' to this By-law and by applying the following letters and numbers to said lands:

A – 19N – 40N – 83 – 144 – 164 – 212 – 213 – 231 – 274 – 370 - 371 – 372 – 373 – 374 – 375 – 376 – 377 – 378 – 379 – 380 – 381

3. **CLAUSE V – INTERPRETATION, SECTION (f), Definitions**, is amended by adding the following definitions:

Loading Space

shall mean an area used for the loading or unloading of goods or commodities from a **vehicle**

Stacked Bicycle Parking Space

shall mean a horizontal **bicycle parking space** that is positioned above or below another **bicycle parking space** and equipped with a mechanical device providing floor level access to both **bicycle parking spaces**.

4. **SCHEDULE "B", PERFORMANCE STANDARDS CHART**, is amended by adding the following Performance Standards:

INTENSITY OF USE

19N. Maximum 37 **dwelling units**.

BUILDING SETBACK FROM THE STREET

40N. The minimum building setback from the **front lot line** shall be 4 metres at the first **storey** above grade, 3.5 metres at the second **storey** above grade, 2.5 metres at the third **storey** above grade and 1.5 metres at the fourth **storey** above grade.

FLOOR AREA

164. Maximum **gross floor area** of all buildings 4,435 square metres.

SETBACKS

212. Underground structures and **basements** shall have the following minimum **setbacks**:

- (a) **Side Yard**: 1.5 metres;
- (b) **Front Yard**: 3 metres, excluding underground storm water management storage tank; and
- (c) **Rear Yard**: 0 metres.

213. The minimum **side yard** building **setbacks** for the blocks as identified on Schedule 'I' shall be as follows:

- (a) Blocks A and B: 3.2 metres to east property line;
1.5 metres to west property line; and
- (b) Block C: 1.5 metres.

MISCELLANEOUS

370. A minimum of 56 **bicycle parking spaces** shall be provided in accordance with the following:

- (a) a minimum of 44 "long-term" **bicycle parking spaces**, all located in an underground structure; and
- (b) a minimum of 12 "short-term" **bicycle parking spaces**.

371. **Bicycle parking spaces** shall not be provided within a **dwelling unit** or on a balcony associated thereto, or in a storage locker.

372. Meaning of "Long-Term" Bicycle Parking and "Short-Term" Bicycle Parking:

- (a) "Long-term" **bicycle parking spaces** are for use by the occupants or tenants of a building; and

- (b) "Short-term" **bicycle parking spaces** are bicycle parking spaces for use by visitors to a building.

373. **Bicycle Parking Space Dimensions:**

- (a) the minimum dimensions of a **bicycle parking space** is:
 - (i) length of 1.8 metres;
 - (ii) width of 0.6 metres; and
 - (iii) vertical clearance from the ground of 1.9 metres.
- (b) the minimum dimensions of a **bicycle parking space** if placed in a vertical position on a wall, structure or mechanical device is:
 - (i) length or vertical clearance of 1.9 metres;
 - (ii) width of 0.6 metres; and
 - (iii) horizontal clearance from the wall of 1.2 metres; and
- (c) if a **stacked bicycle parking space** is provided, the minimum vertical clearance for each **bicycle parking space** is 1.2 metres.

374. An area used to provide **bicycle parking spaces** shall have a minimum vertical clearance of:

- (a) 2.4 metres if it is a **stacked bicycle parking space**; and
- (b) 1.9 metres in all other cases.

375. Notwithstanding the definition of **height** in **CLAUSE V – INTERPRETATION, SECTION (f), Definitions**, the height of any building or structure as measured from the average grade at the intersection of the side lot lines and the north-east and north-west corners of each Block as identified on Schedule '1' from the first **storey** above grade shall not exceed the following:

- (a) Block A: maximum 13 metres excluding rooftop mechanical rooms, storage rooms, and/or stair enclosures which may exceed this limit by a maximum of 3.0 metres;
- (b) Block B: maximum 12 metres excluding rooftop mechanical rooms, storage rooms, and/or stair enclosures which may exceed this limit by a maximum of 3.0 metres; and
- (c) Block C: maximum 9.5 metres.

376. The provisions of **CLAUSE VII - GENERAL PARKING REGULATIONS FOR ALL ZONES**, Sub-Clauses 1.1 Table of Required Parking Rates, and 1.2 Reduced Parking Requirements shall not apply.

377. Minimum of 54 **parking spaces** shall be provided, comprised of 8 **parking spaces** for visitors and 46 **parking spaces** for use of residents of which 16 may be provided in tandem.
378. One **loading space** shall be provided and shall have the following minimum dimensions:
- (a) length of 13 metres;
 - (b) width of 4 metres; and
 - (c) vertical clearance of 6.1 metres.
379. All waste and recyclable material shall be stored in wholly enclosed building.
380. Notwithstanding the definition of **Main Wall** in **CLAUSE V – INTERPRETATION**, balconies, patios and unenclosed porches or decks located at grade may extend into the required **rear yard setback** to a maximum of 2.5 metres.
381. A minimum of 50 percent of the area of the lot shall be used for **landscaping**, and a minimum of 50 percent of the **landscaping** area must be **soft landscaping**.

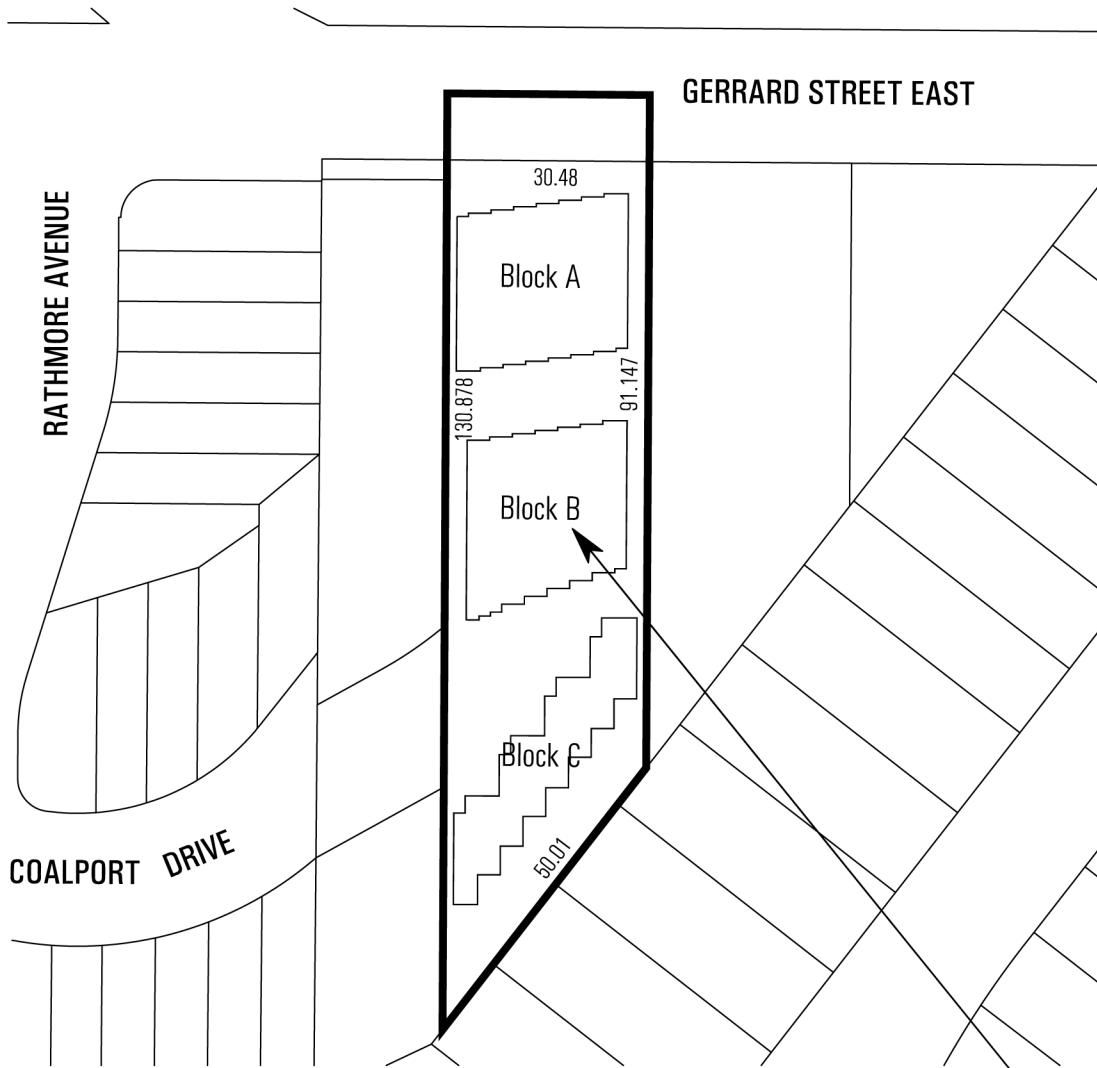
Enacted and passed on March 9, 2017.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)

Schedule '1'



A-19N-40N-83-144-164-212-213-231-274
 -370-371-372-373-374-375-376-377-378-379-380-381

TORONTO City Planning Division
Zoning By-Law Amendment

2535 Gerrard Street East
 File # 15 197246 ESC 36 0Z

 Area Affected By This By-Law

Birchcliff Community Bylaw
 Not to Scale
 02/01/17

