

Authority: Scarborough Community Council Item SC20.16, as adopted by City of Toronto Council on March 9, 2017

## CITY OF TORONTO

### BY-LAW 244-2017

**To amend Zoning By-law 569-2013, as amended, with respect to the lands municipally known in the year 2016 as 2535 Gerrard Street East.**

Whereas Council of the City of Toronto has the authority pursuant to Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. The lands subject to this By-law are outlined by heavy black lines on Diagram 1 attached to this By-law.
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law 569-2013, Chapter 800 Definitions.
3. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Zoning By-law Map in Section 990.10, and applying the following zone label to these lands: RM (f30)(u37) (x42) as shown on Diagram 2 attached to this By-law.
4. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Height Overlay Map in Section 995.20.1, and applying the following height label to these lands: HT 9.0 as shown on Diagram 3 attached to this By-law.
5. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Lot Coverage Overlay Map in Section 995.30.1, and applying a lot coverage label of 40 to these lands, as shown on Diagram 4 attached to this By-law.
6. Zoning By-law 569-2013, as amended, is further amended by adding the land, shown on Diagram 5 attached to this By-law to the Policy Areas Overlay Map in Section 995.10.1, and the Rooming House Overlay Map in Section 995.40.1.
7. Zoning By-law 569-2013, as amended, is further amended by adding Article 900.6.10 Exception Number 42 so that it reads:

#### **Exception RM 42**

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections.

Site Specific Provisions:

- (A) The permitted maximum **gross floor area** of all **buildings** is 4,360 square metres;
- (B) Despite regulations 10.5.40.10 and 10.80.40.10 Height, the permitted maximum height for a **building** or **structure** on a **lot** within Areas A, B and C as shown on Diagram 1 of By-law 244-2017 may not exceed a Canadian Geodetic Datum of:
  - (i) Area A: 141.75 metres, at the highest point of a **building** or **structure**;
  - (ii) Area B: 140.75 metres, at the highest point of a **building** or **structure**;  
and
  - (iii) Area C: 136.5 metres at the highest point of a **building** or **structure**.
- (C) Despite clauses 10.5.40.70(1), and 10.80.40.70(1), the required minimum **front yard setback** is 4 metres at the **first floor**, excluding **basements**, 3.5 metres at the second **storey**, 2.5 metres at the third **storey**, and 1.5 metres at the fourth **storey** for any above-ground **structures**, and 3 metres for any below-ground **buildings** or **structures**, excluding underground storm water management storage tank;
- (D) Despite regulation 10.80.40.70(2), the required minimum **rear yard setback** is 7.5 metres for any above-ground **structures**, and 0 metres for any below-ground **buildings** or **structures**;
- (E) Despite regulation 10.80.40.70(3), the required minimum **side yard setback** for any **building** or **structure** within Areas A, B and C as shown on Diagram 1 of By-law 244-2017 must be in accordance with the following:
  - (i) Areas A and B: 3.2 metres to the east property line, and 1.5 metres to the west property line for all parts of the **building** or **structure** above-ground, and 1.5 metres for any part of the **building** or **structure** below-ground;  
and
  - (ii) Area C: 1.5 metres;
- (F) Regulation 10.5.50.10(5), **Landscaping Requirement for an Apartment Building** Abutting Another Residential Lot, does not apply;
- (G) Regulation 10.5.100(5), **Driveway Access to Apartment Buildings**, does not apply;
- (H) Regulations 10.80.40.80(1), Distance Between **Main Walls** of the Same **Apartment Building**, and 10.80.40.80(2), Distance Between Residential **Buildings** on the Same **Lot**, do not apply;

- (I) Despite regulation 200.5.1.10(5), Table 200.5.10.1, Parking Space Rates and Parking Space Occupancy and regulation 200.15.10(1), a minimum of 54 **parking spaces** must be provided in accordance with the following:
  - (i) 46 **parking spaces** for residents, 1 of which must be an accessible **parking space**, and 16 of which may be **tandem parking spaces**, all located in an underground **structure**; and
  - (ii) 8 **parking spaces** for visitors, 1 of which must be an accessible **parking space**, all located in an underground **structure**; and
  
- (J) Despite regulations 230.5.10.1(2) and (5), a required minimum of 56 **bicycle parking spaces** must be provided in accordance with the following:
  - (i) 44 "long-term" **bicycle parking spaces**, all located in an underground structure; and
  - (ii) 12 "short-term" **bicycle parking spaces**.

Prevailing By-laws and Prevailing Sections: (None Apply)

Enacted and passed on March 9, 2017.

Frances Nunziata,  
Speaker

Ulli S. Watkiss,  
City Clerk

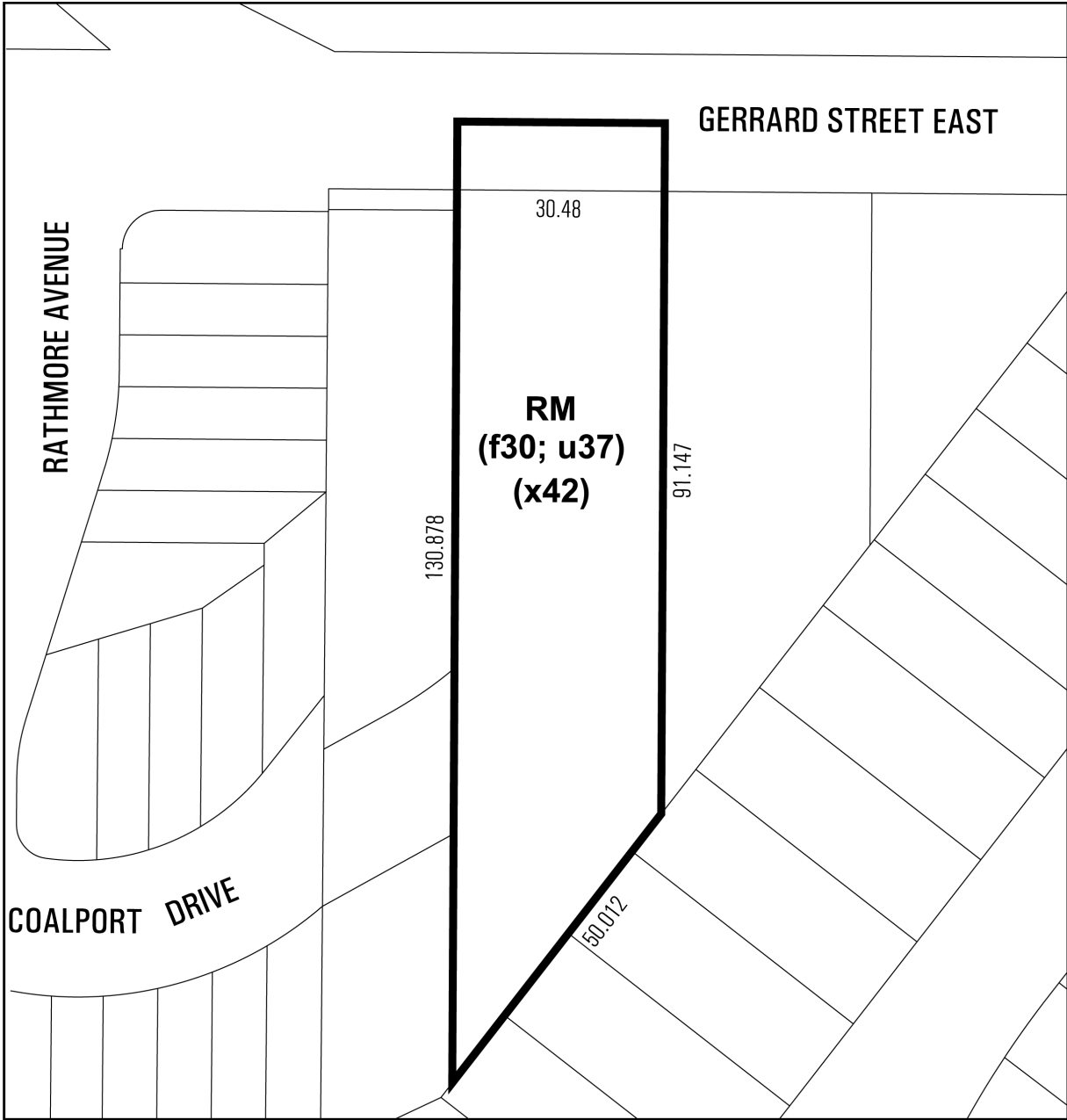
(Seal of the City)



  
Diagram 1

2535 Gerrard Street East

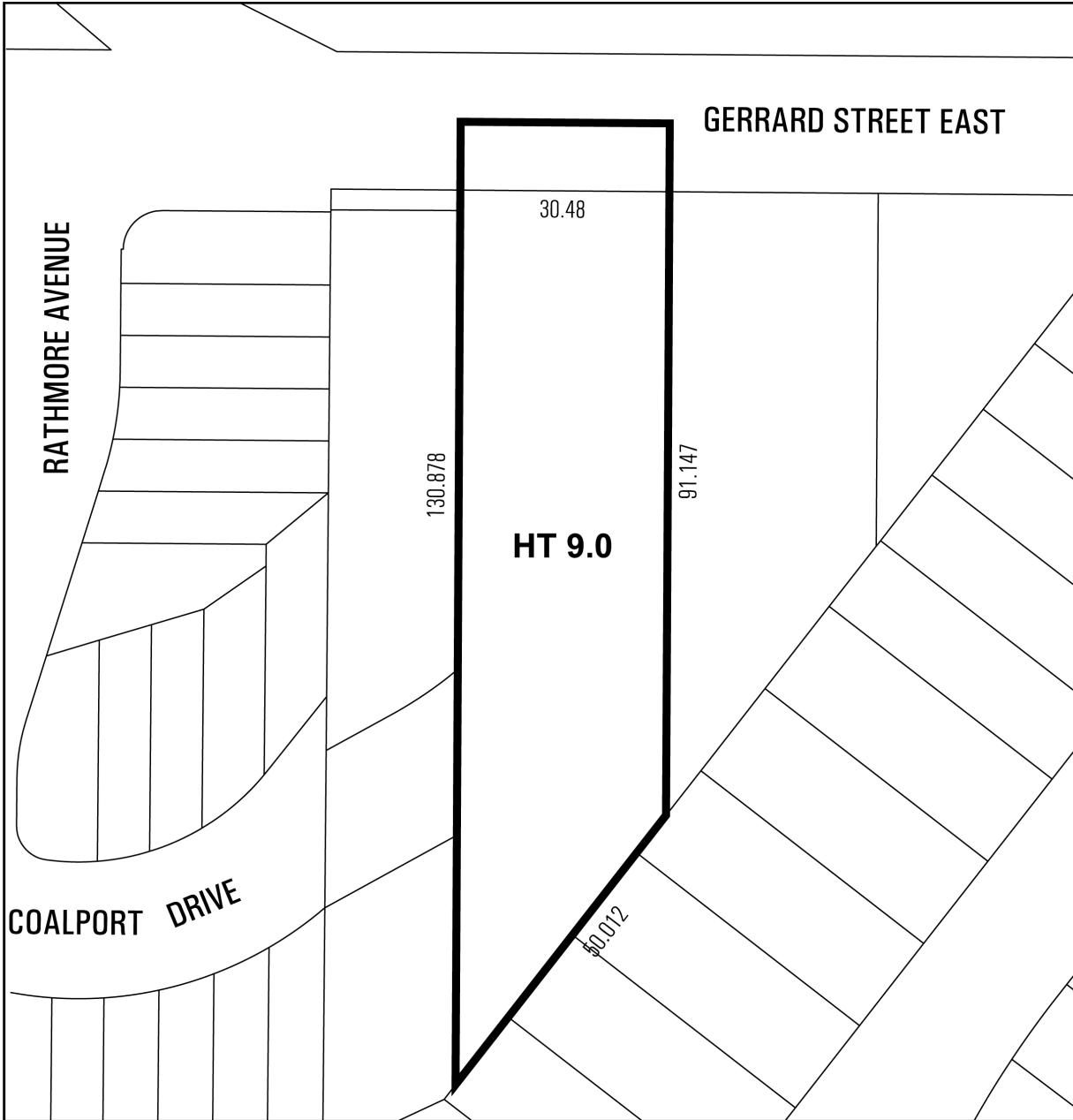
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Diagram 2

**2535 Gerrard Street East**

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Diagram 3

**2535 Gerrard Street East**

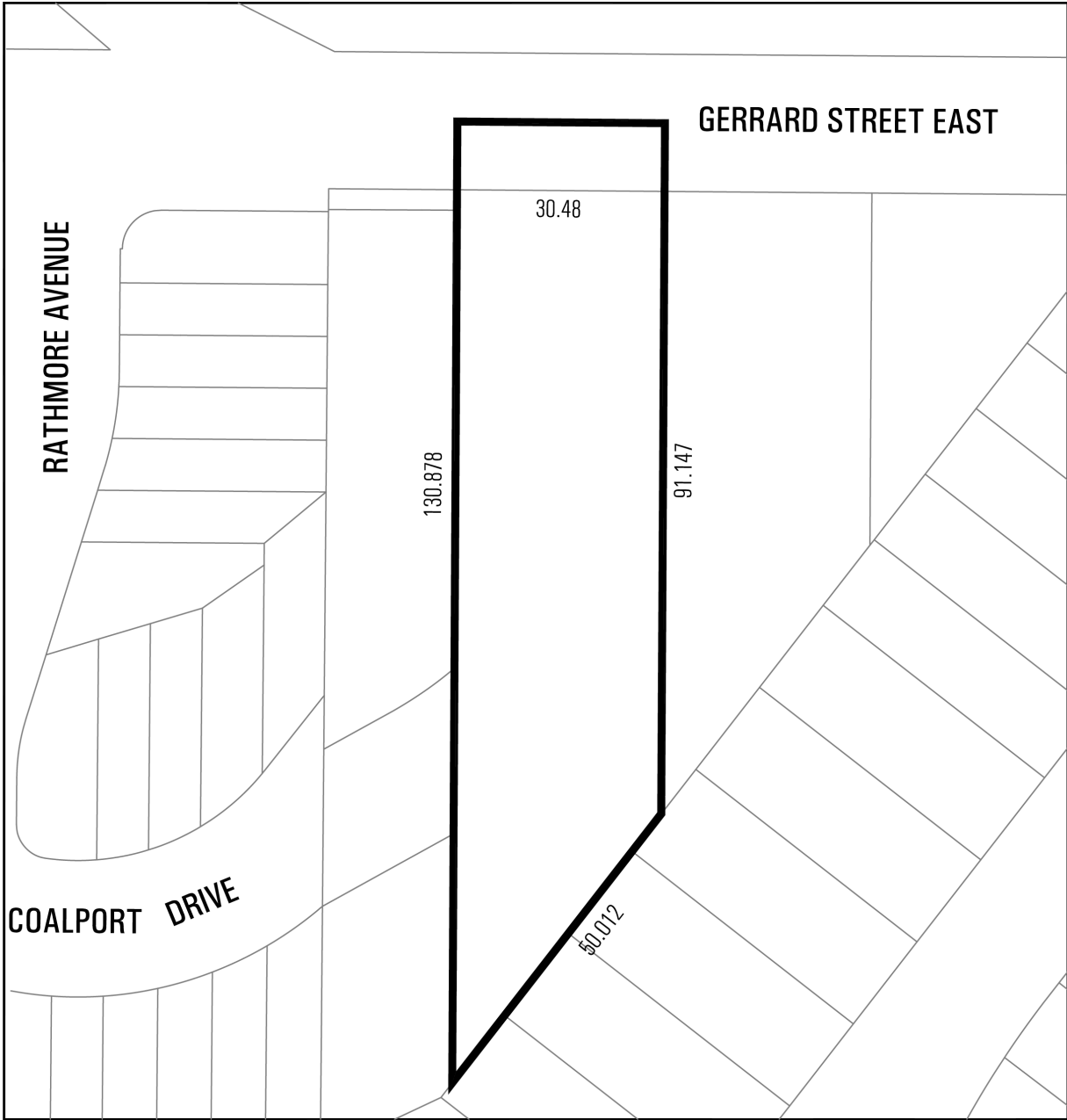
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Diagram 4

**2535 Gerrard Street East**

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Diagram 5

**2535 Gerrard Street East**

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