

Authority: North York Community Council Item NY19.32, as adopted by City of Toronto Council on January 31, 2017

CITY OF TORONTO

BY-LAW 261-2017

To amend former City of North York Zoning By-law 7625, as amended, with respect to the lands municipally known as 78 Tisdale Avenue.

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this by-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. Schedules "B" and "C" of By-law 7625 of the former City of North York are amended in accordance with Schedule RM1(106) of this by-law.
2. Section 64.10 of By-law 7625 is amended by adding the following subsection:

"64.16 (106) RM1(106)

PERMITTED USES

- a. Multiple Attached Dwellings and accessory buildings incidental thereto;

EXCEPTION REGULATIONS

NUMBER OF DWELLING UNITS

- b. The permitted maximum number of dwelling units is 35;

STREET FRONTAGE AND LOT AREA

- c. The provisions for minimum lot area and minimum street frontage shall not apply;

LOT COVERAGE

- d. The permitted maximum lot coverage is 45 percent;

YARD SETBACKS

BLOCK 1

- e. The required minimum front yard setback for Block 1 is 1.5 metres;
- f. The required minimum side yard setback for Block 1 is 1.2 metres;

- g. The required minimum rear yard setback for Block 1 is 7.7 metres;

BLOCKS 2 and 3

- h. The required minimum yard setbacks for Block 2 and Block 3 are as shown on Schedule 4 of this by-law;

BLOCK 4

- i. The required minimum front yard setback for Block 4 is 6 metres;
j. The required minimum side yard setback for Block 4 is 1 metre;
k. The required minimum rear yard setback for Block 4 is 7 metres;

BLOCKS 5 and 6

- l. The required minimum yard setbacks for Block 5 and Block 6 are as shown on Schedule 3 of this by-law;

BUILDING HEIGHT

- m. The permitted maximum height for a building is 11.25 metres and three-storeys;
n. A stair enclosure used solely to access a rooftop amenity space shall not be included in the calculations of building height or number of storeys;

DISTANCE BETWEEN BUILDINGS

- o. The required minimum distance between buildings is 2 metres;

LANDSCAPING

- p. The provisions for minimum landscaping requirements shall not apply;

ENCROACHMENTS

- q. Exterior stairways, porches and canopies shall be permitted to project into the minimum front yard and side yard setbacks; and

OTHER PROVISIONS

- r. Despite any future severance, partition or division of the lands shown on Schedule RM1(106), the provisions of this By-law shall apply to the whole of the lands as if no severance, partition or division occurred."

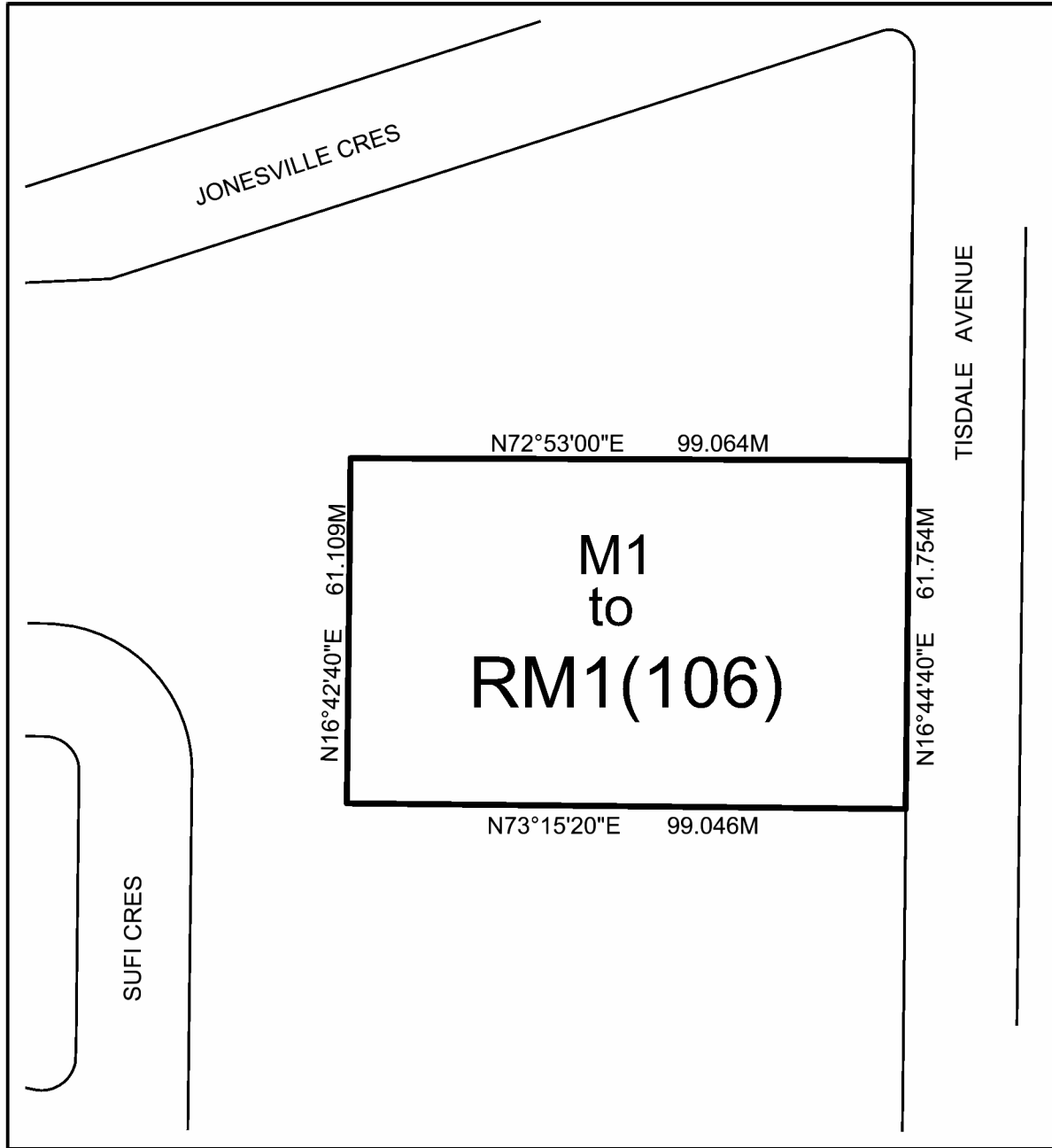
- 3.** Within the lands shown on Schedule RM1(106) attached to this by-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- a. All new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
 - b. All water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

Enacted and passed on March 9, 2017.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)



Schedule RM1(106)

Part of Lot 4 Registered Plan 5413 City of Toronto (Formerly City of North York)

File # 10 320047 NNY 34 0Z

Rady - Pentek & Edward Surveying Ltd., O.L.S.

Date: 09/11/2016

Approved by: M.C.



Not to Scale

