

**315 – 325 Dalesford Road – Zoning Amendment  
Application – Final Report**

<b>Date:</b>	May 14, 2007
<b>To:</b>	Etobicoke York Community Council
<b>From:</b>	Director, Community Planning, Etobicoke York District
<b>Wards:</b>	Ward No. 5 – Etobicoke - Lakeshore
<b>Reference Number:</b>	File No. 06 127508 WET 05 OZ

**SUMMARY**

The applicant proposes to redevelop an existing industrial site with a residential townhouse development containing 39 units. Vehicular access to the site will be provided from Dalesford and Mendota Roads, as well as a new internal public street.

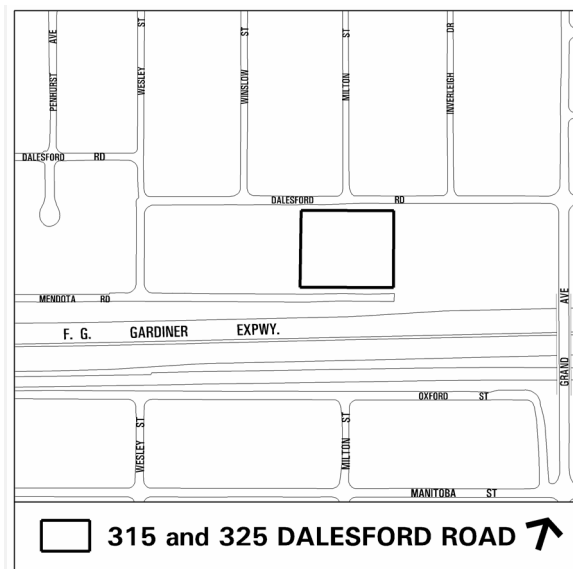
The proposal provides an opportunity to incorporate one of the few remaining non-residential sites into the existing residential fabric of the surrounding neighbourhood. The proposed built-form and relationship to the public streets compliments the existing residential dwellings to the west and north of the development. The development represents an appropriate level of residential intensification for the area

This report reviews and recommends approval of the application to amend the Etobicoke Zoning Code.

**RECOMMENDATIONS**

**The City Planning Division recommends that:**

1. City Council amend the Zoning By-law for Etobicoke substantially in accordance with the draft Zoning By-law Amendment attached as Attachment No. 9;



2. City Council authorize the City Solicitor to make such stylistic and technical changes to the draft Zoning By-law Amendment as may be required
3. before introducing the necessary Bills to City Council for enactment, the applicant be required to:
  - i) enter into a Site Plan Agreement under Section 41 of the Planning Act;
  - ii) submit a revised Functional Servicing Report for review and acceptance;
  - iii) post adequate financial securities for any upgrades required to the municipal services as identified in the accepted Functional Servicing Report; and
  - iv) apply to the Committee of Adjustment and obtain approval for the severance of the future public road and enter into a consent agreement with the City of Toronto to the satisfaction of the Executive Director of Technical Services and the Chief Planner and Executive Director, City Planning in consultation with the City Solicitor.

### **Financial Impact**

The recommendations in this report have no financial impact.

## **ISSUE BACKGROUND**

### **Proposal**

The applicant is proposing to redevelop the site with 39 townhouse units. The townhouses are proposed to be 3½ storeys in height. Thirteen townhouses have frontage on Dalesford Road, thirteen have frontage on Mendota Road and the remaining have frontage on a new proposed public road.

All units have enclosed parking spaces. The units with frontage on Mendota Road have integral garages accessed from the new proposed public street to the north and provide 2 tandem parking spaces inside of the garage. The units with frontage on Dalesford Road and the new public street provide for a parking space in the garage and one space in the driveway leading up to the garage (Attachment 1).

The size of the units will range from approximately 170 square metres to 230 square metres. The overall density of the development is approximately 0.46 times the area of the lot.

### **Site and Surrounding Area**

The subject site is located on the south side of Dalesford Road and north of the F.G. Gardiner Expressway, west of Grand Avenue. The site is rectangular in shape and

approximately 0.70 hectares (1.7 acres) in size. The site has frontage on both Dalesford Road and Mendota Road.

The surrounding land uses are as follows:

North: single-detached dwellings, opposite Dalesford Road.

South: Mendota Road and the F.G. Gardiner Expressway.

East: light industrial uses (self storage facility).

West: townhouse dwelling units.

## **Provincial Policy Statement**

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise use and management of resources; and, protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS. This application implements the Official Plan Neighbourhoods designation and is consistent with the PPS.

## **Official Plan**

The site is designated as Neighbourhoods. The decision to designate the site Neighbourhoods in the new Official Plan was taken after reviewing the history of the surrounding area and determining that the site was one of three remaining industrial sites in an area that has been transforming into a residential community. Neighbourhoods areas are considered physically stable areas made up of residential uses in lower scale buildings, such as townhouses. Development in Neighbourhoods will respect and reinforce the existing physical character of the neighbourhood and comply with criteria set out in the Plan.

The Built-form policies of the Plan (Section 3.1.2) encourage new development to be located and organized to fit within the planned context. New developments should also be massed to fit harmoniously into their surroundings, while respecting and improving the local scale and character.

The proposal has been reviewed for compliance with these criteria and staff are satisfied that the proposal meets the intent of the Official Plan, as discussed in the Comments Section of this report. An amendment to the Plan is not required for this application.

## **Zoning**

The site is zoned Class 1 Industrial (IC1) in the Etobicoke Zoning Code, which permits a variety of industrial and non-industrial uses (attachment 7). The current zoning does not permit any form of residential uses. A zoning amendment is necessary to permit the proposed residential development.

## **Site Plan Control**

An application for Site Plan approval has been submitted at staff's request and will be finalized once the Zoning By-law Amendment is in place. The site plan agreement will secure municipal requirements related to the appropriate development of the site, including maintenance and liability responsibilities regarding a number of proposed encroachments (Attachment 2).

## **Tree Preservation**

The applicant does not propose to remove or impact any existing trees on or within 6 meters of the site. There is one existing tree on the public boulevard adjacent to Dalesford Road which the applicant proposes to protect during construction.

Tree protection measures and associated financial securities will be finalized through the Site Plan application.

## **Reasons for Application**

An amendment to the Etobicoke Zoning Code is required in order to delete the Industrial zoning category and replace it with a residential permission.

## **Community Consultation**

A community consultation meeting was held at St. Louis Catholic School on June 19, 2006. Approximately 16 members of the public attended. The local councillor, the applicant's consultants and City Planning staff were also in attendance. Questions were raised regarding parking, greenspace and amenity space. Concerns were also expressed regarding the proposal's proximity to the Gardner Expressway and noise originating from travelling vehicles as well as increased traffic volume to the area. There were also suggestions to extend Mendota Avenue to Grand Avenue as part of this application. City Planning staff also received written comments from area residents.

These comments are addressed in this report.

## **Agency Circulation**

The application was circulated to all appropriate agencies and City divisions. Responses received have been used to assist in evaluating the application and to formulate appropriate by-law standards.

## **COMMENTS**

### **Land Use**

The site is designated as "Neighbourhoods" in the City of Toronto Official Plan. This designation allows for low scale residential uses as well as parks, local institutions, home occupations, cultural and recreational facilities and small scale retail, service and office uses.

The Plan requires development in Neighbourhoods to respect and reinforce the existing physical character of the neighbourhood, including heights, massing, scale and dwelling type of nearby residential properties, setbacks of buildings from public streets, prevailing patterns of rear and side yard setbacks and landscaped open space.

The proposal is consistent with the scale and character of the neighbourhood to the north and west in respect to building height, bulk and built form and provides for adequate parking.

### **Urban Design Density, Height, Massing**

The built-form policies of the new Plan (Section 3.1.2) encourage new development to be located and organized to fit within the planned context. It should also frame and support adjacent streets, parks and open space. New development should also be massed to fit harmoniously into its surroundings, while respecting and improving the local scale and character.

Staff have reviewed the development in the context of the City's Infill Townhouse Guidelines. This project implements the essential elements identified in both the Built Form policies of the Official Plan and the guidelines for internal visitor parking, suitable grade and street relationships, adequate open space and amenity areas and creating and/or extending existing sidewalks to establish pedestrian links.

One of the proposed townhouse blocks is located between Mendota Road and the new proposed street, creating a condition where the proposed townhouses will have frontages onto two public streets. The proposed elevation details have been adjusted to minimize the visual effects of a back-to-front facing relationship, by among other things, proposing an elevation that extends the building face and pedestrian access beyond the garage door with additional landscaping (Attachments 5 and 6).

The proposed density of 0.46 times the area of the lot, in the proposed built form, is appropriate for this site. The site is located between a recently built residential townhouse development to the west, light industrial use to the east and a stable single family residential neighbourhood to the north.

The building height of 3½ storeys provides for an appropriate transition from the low-density neighbourhood to the north towards the Gardiner Expressway to the south and is consistent with the townhouses to the west. It also acts as a buffer for mitigating potential effects of noise originating from the expressway.

The grading of the site is consistent with the adjacent development to the west and has been designed to minimize the need for extensive retaining walls. The proposed retaining walls have been located in private amenity areas or are stepped back to reduce their visual impact (Attachment 6).

The design of the proposed townhouse project is an appropriate fit within the surrounding area.

## **Traffic Impact, Access, Parking**

The proposed development is not anticipated to have a significant impact on traffic in the area and provides an adequate parking supply for residents and visitors. A transportation impact study was not required.

The proposed townhouse dwelling units fronting on Mendota Road provide two tandem parking stalls in an enclosed garage. Access to the garages is provided from the proposed new public road. The townhouse units fronting on the new public road and Dalesford Road provide one parking stall in an enclosed garage and an additional parking stall in the portion of the driveway leading to the garage. The proposed residential parking ratio of 2 parking spaces per unit is acceptable and satisfies the requirement of the zoning by-law and Transportation Services.

There were suggestions from some area residents at the Community Consultation meeting to extend Mendota Road to Grand Avenue to alleviate some of the additional traffic being generated through this development. As mentioned above, the proposed development is not anticipated to have a significant traffic impact in the area. In addition, the lands east of the subject site are private lands and therefore it is not possible to extend Mendota Road through this application.

A future extension of Mendota Road to Grand Avenue would be difficult due to the significant differences in their existing grade.

## **Servicing**

The applicant has submitted a Functional Servicing Report with the application. Technical Services staff have reviewed the information provided and have requested further details. If it is determined that this development warrants the upgrade of city services, Technical Services staff will request that a financial security be posted by the applicant, prior to the introduction of Bills to Council.

## **Development Infrastructure Policy and Standards (DIPS)**

The future public road will comply with DIPS standards for local residential streets. The applicant has designed the future public road to meet all technical requirements of DIPS with the exception of a couple of retaining walls to the west and east of the townhouse block fronting onto Mendota Road that encroach into the required 16.5 metre right-of-way. The encroachments have been reviewed by staff and the details will be sorted out and any requirements secured through the Site Plan application.

The proposed new public road will be a crescent-shaped street with access to and from Mendota Road. This street provides several benefits to the overall development proposal. It allows for all units to front onto a public street and avoids the creation of a substandard private road. The street will also provide garage access for the units located along Mendota Road. The new street will also allow for garbage collection and other public services to all the units in the development and eliminate the need for the future residents to obtain such services from a private provider.

The underground utilities and sidewalk will be located in a 5.3 metre boulevard on the north side of the public street.

The conveyance of the future public road will occur through a future severance application at the Committee of Adjustment. Once the application is submitted, staff from Technical Services and City Planning will submit comments to the Committee of Adjustment and request that all required servicing be in place before the road is assumed by the City. This will be done concurrently with the Site Plan application.

### **Open Space/Parkland**

The landscape open space for the site has been provided through various forms. The townhouse units fronting onto Dalesford Avenue and the new proposed street will benefit from a 7 metre (23 feet) rear yard amenity area. Access to the integral garage space is proposed to be from the public street at the front of the units, which limits the opportunity for front yard soft landscaping. Staff will continue to work with the applicant to balance the soft and hard landscaping in the front yards of the proposed units.

The townhouse units fronting onto Mendota Road provide for amenity space in the form of private decks to the rear, overlooking the new proposed street. The location of the amenity space away from the Gardiner Expressway will assist in reducing the impacts from traffic noise along the expressway.

### **Streetscape**

The proposed development will result in an improvement to the existing streetscape on both Mendota and Dalesford Roads and also to the new proposed street. The applicant proposes to plant approximately 28 deciduous and 6 ornamental trees along with sodding in the public boulevards.

The proposed driveways leading from both the new public street and Dalesford Road to the integral garages have also been designed to minimize the amount of curb cuts on both streets and to maximize the soft landscaping areas to allow for better tree growth (Attachment 6).

There are still a number of design issues with the front yards of some of the units. The driveways leading to the integral garages are still very wide and limit the extent of soft landscaping that can be provided. Planning staff will continue to work with the applicant to resolve these issues at Site Plan review stage.

There are also a number of encroachments onto the public right-of-way being proposed as part of this application (Attachment 2). The applicant has submitted an application to the Transportation Division, Right-of-Way management unit.

Landscaping improvements to the public boulevard will be further reviewed and secured through the Site Plan approval process.

## **Noise**

The southerly portion of the development site abuts the F.G Gardiner Expressway, which carries a high volume of vehicular traffic. As such, noise impacts should be addressed. The Official Plan contains policies aimed at mitigating unacceptable effects of noise.

The applicant has submitted a Detailed Noise Control Study. The study identifies mitigation measures required for the proposed development. These matters will be addressed and secured through the Site Plan approval process.

## **Toronto Green Development Standard**

Council has adopted the Toronto Green Development Standard and staff will pursue the implementation of the standard through the future site plan approval application.

## **Archaeological Clearances**

It has been determined that there was prior soil disturbance on the property. The probability of archaeological deposits being found intact is extremely low, and therefore an archaeological assessment is not required. However, standard archaeological conditions related to construction activities on the site are recommended, and will be included in the Site Plan Agreement.

## **Development Charges**

It is estimated that the development charges for this project will be \$323,232.00. This is an estimate. The actual charge is assessed and collected upon issuance of the building permit.

## **CONTACT**

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E-mail: plopes2@toronto.ca

## **SIGNATURE**

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Gregg Lintern, MCIP, RPP  
Director, Community Planning  
Etobicoke York District



## **ATTACHMENTS**

Attachment 1: Site Plan

Attachment 2: Site Plan - Encroachments

Attachment 3: Elevations (Block 1 & 2)

Attachment 4: Elevations (Block 3 & 4)

Attachment 5: Elevations (Block 5)

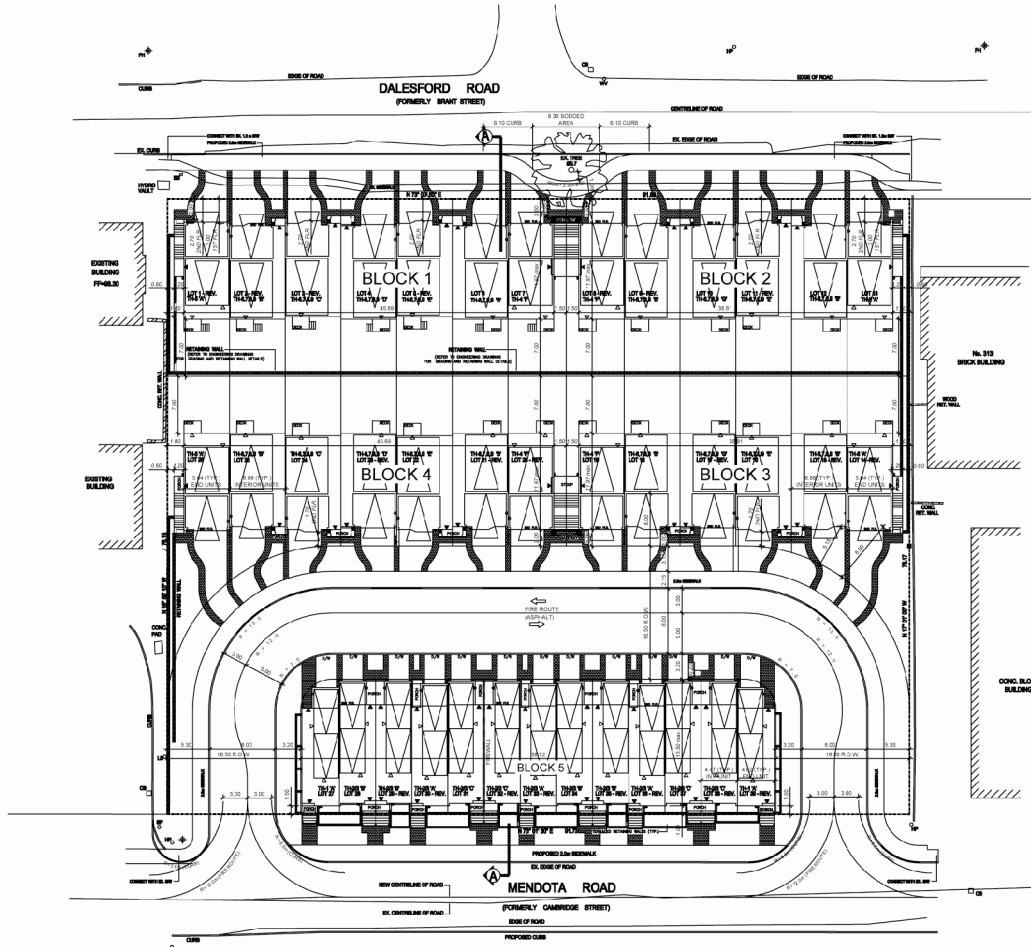
Attachment 6: Landscape Plan

Attachment 7: Zoning

Attachment 8: Application Data Sheet

Attachment 9: Draft Zoning By-law

# Attachment 1: Site Plan



## Site Plan

Applicant's Submitted Drawing

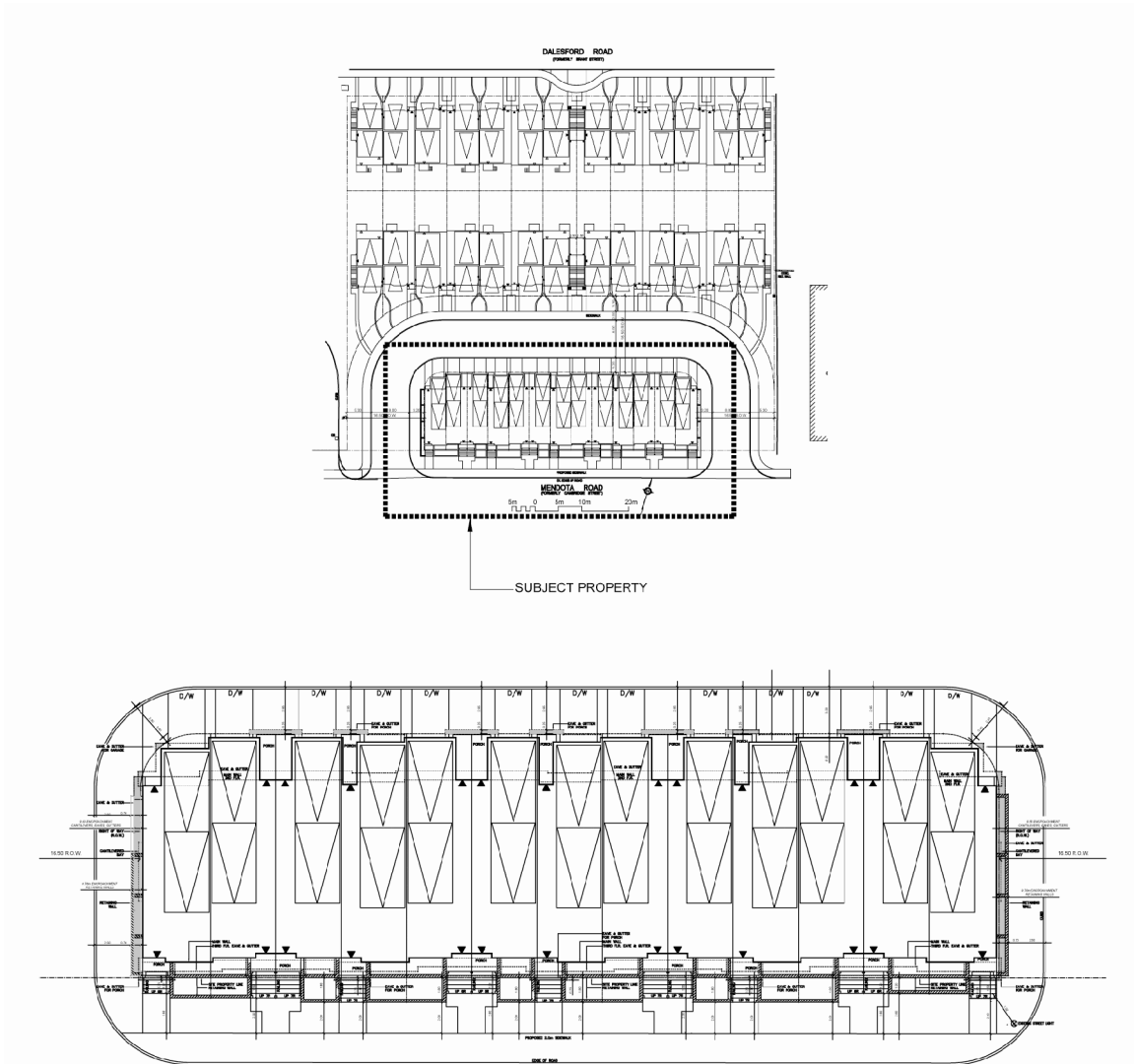
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## 315-325 Dalesford Road

File # 06\_127508

## Attachment 2: Site Plan – Encroachments



### Site Plan -Encroachments

315-325 Dalesford Road

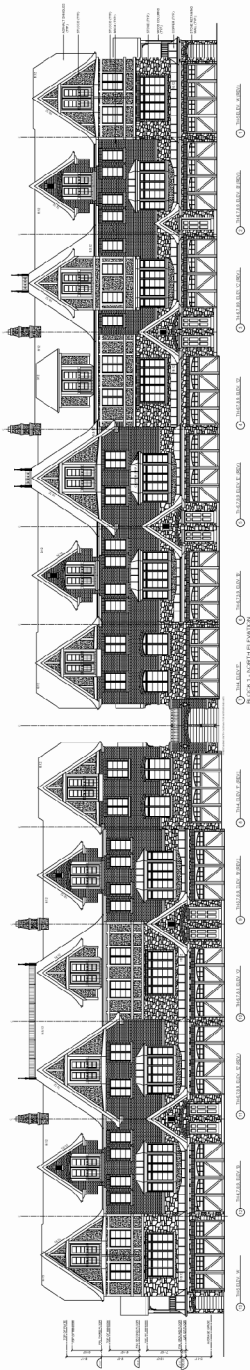
Applicant's Submitted Drawing

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04/23/07

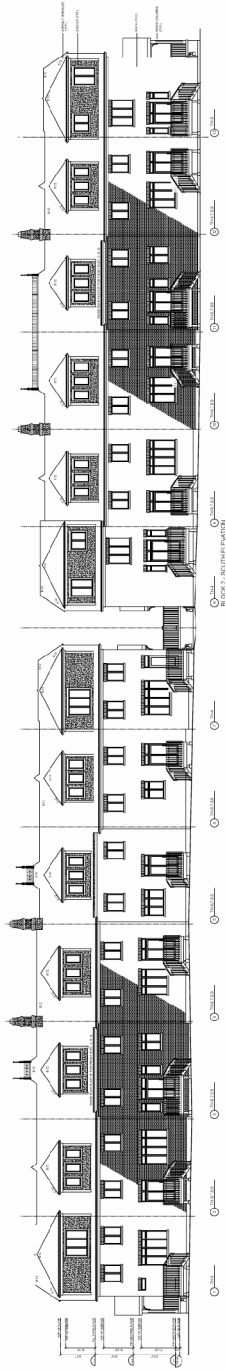


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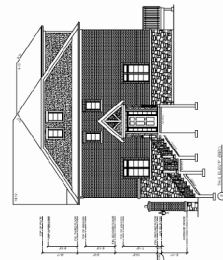
Attachment 3: Elevations (Block 1 & 2)



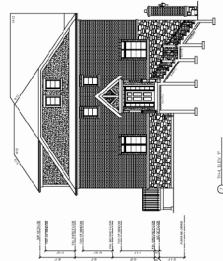
BLOCK 2 - NORTH Elevation



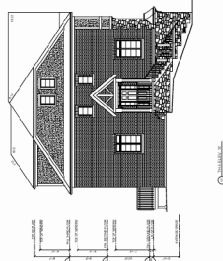
BLOCK 1 - SOUTH Elevation



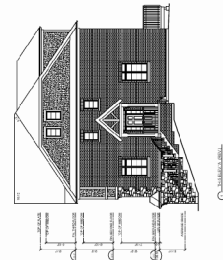
BLOCK 2 - WEST Elevation



BLOCK 1 - EAST Elevation



BLOCK 2 - EAST Elevation



BLOCK 1 - WEST Elevation

Block 1 & 2 Elevations

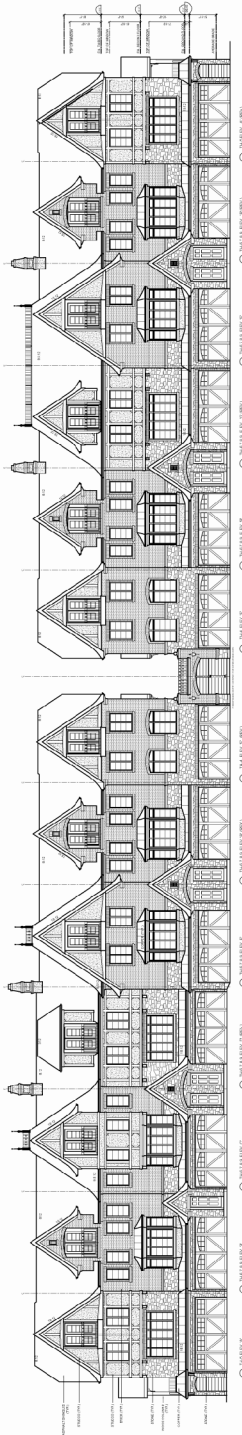
Applicant's Submitted Drawing

Not to Scale  
04/19/07

315-325 Dalesford Road

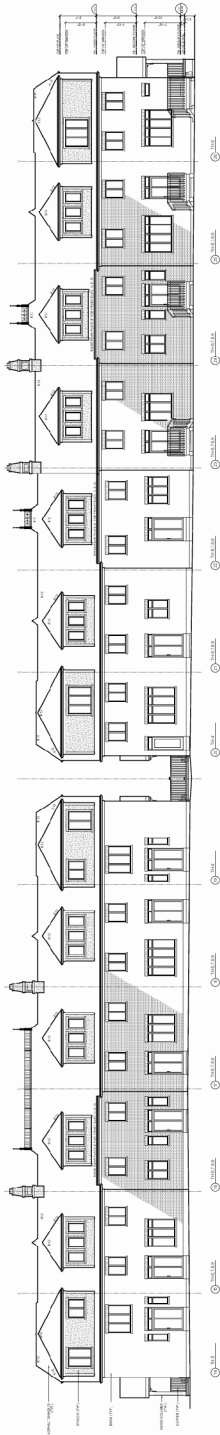
File # 06\_127508

Attachment 4: Elevations (Block 3 & 4)



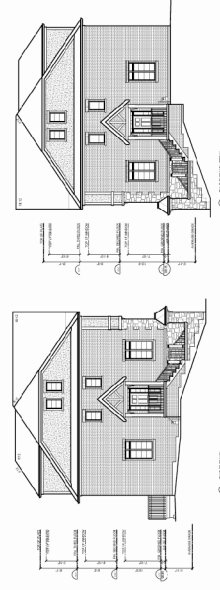
BLOCK 4 - SOUTH Elevation

BLOCK 3 - SOUTH Elevation



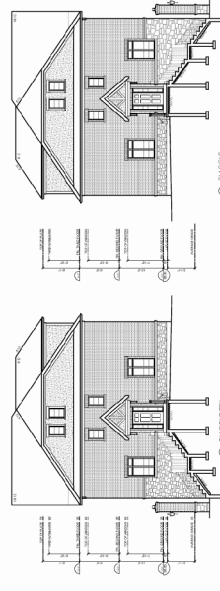
BLOCK 4 - NORTH Elevation

BLOCK 3 - NORTH Elevation



BLOCK 4 - EAST Elevation

BLOCK 3 - EAST Elevation



BLOCK 4 - WEST Elevation

BLOCK 3 - WEST Elevation

**Block 3 & 4 Elevations**

Applicant's Submitted Drawing

Not to Scale  
04/24/07

**315-325 Dalesford Road**

File # 06\_127508

## Attachment 5: Elevations (Block 5)



**BLOCK 5 - SOUTH Elevation**



**BLOCK 5 - NORTH Elevation**



**BLOCK 5 - WEST Elevation**



**BLOCK 5 - EAST Elevation**

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### Block 5 Elevations

Applicant's Submitted Drawing

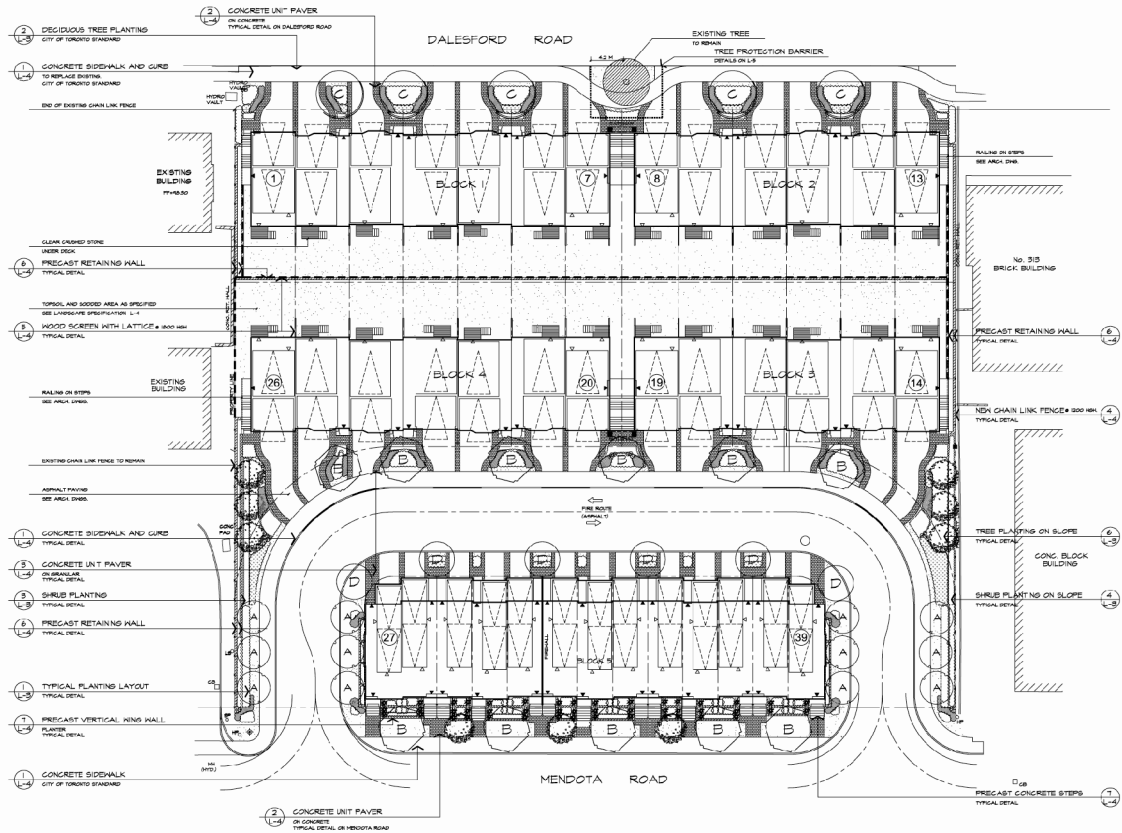
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315-325 Dalesford Road

File # 06\_127508

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# Attachment 6: Landscape Plan



## Landscaped Plan

Applicant's Submitted Drawing

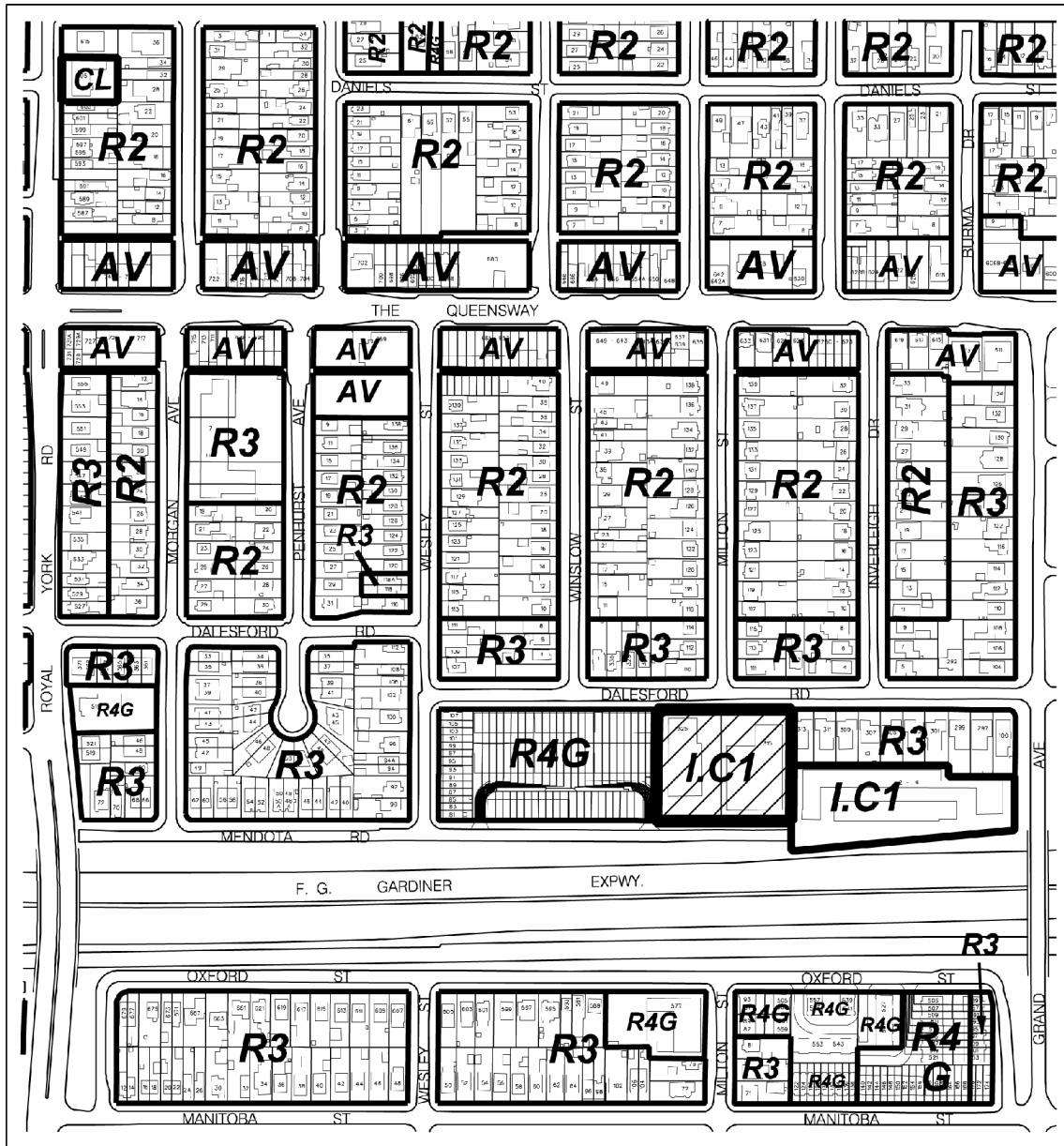
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04/19/07

315-325 Dalesford Road

File # 06\_127508

# Attachment 7: Zoning



**TORONTO** City Planning  
Zoning

315 and 325 Dalesford Road

File # 06\_127508

Former Etobicoke

- R2 Residential Second Density
- R3 Residential Third Density
- R4G Residential Fourth Density Group
- I.C1 Industrial Class 1
- CL Commercial Limited
- AV Limited Commercial - Avenues

Not to Scale  
Zoning By-law 11,737 as amended  
Extracted 04/19/07 - MH





## Attachment 8: Application Data Sheet

### APPLICATION DATA SHEET

Application Type	Rezoning	Application Number:	06 127508 WET 05 OZ
Details	Rezoning, Standard	Application Date:	April 20, 2006

Municipal Address: 315 DALESFORD RD, TORONTO ON  
 Location Description: PL M110 LTS 461-465 E PT MILTON ST CLOSED \*\*GRID W0509  
 Project Description: Proposal for thirty-nine 3-1/2 storey townhouse units on a .33 hectare site. The property fronts on Dalesford and Mendota Roads, and includes a proposal for a new internal public street.

#### PLANNING CONTROLS

Official Plan Designation:	Industrial	Site Specific Provision:	N/A
Zoning:	Class 1 Industrial (1.C1)	Historical Status:	N/A
Height Limit (m):		Site Plan Control Area:	Yes

#### PROJECT INFORMATION

Site Area (sq. m):	6985	Height:	Storeys:	3-1/2	
Frontage (m):	91.69		Metres:	13.5	
Depth (m):	76.17				
Total Ground Floor Area (sq. m):	2845				<b>Total</b>
Total Residential GFA (sq. m):	10,460		Parking Spaces:	78	
Total Non-Residential GFA (sq. m):	0		Loading Docks	0	
Total GFA (sq. m):	10,460				
Lot Coverage Ratio (%):	46				
Floor Space Index:	1.25				

#### DWELLING UNITS

Tenure Type:	Freehold
Rooms:	0
Bachelor:	0
1 Bedroom:	0
2 Bedroom:	2
3 + Bedroom:	37
Total Units:	39

#### FLOOR AREA BREAKDOWN (upon project completion)

		Above Grade	Below Grade
Residential GFA (sq. m):	8760	0	0
Retail GFA (sq. m):	0	0	0
Office GFA (sq. m):	0	0	0
Industrial GFA (sq. m):	0	0	0
Institutional/Other GFA (sq. m):	0	0	0

**CONTACT: PLANNER NAME: Pedro Lopes, Planner**  
**TELEPHONE: (416) 394-2608**

## Attachment 9: Draft Zoning By-law

Authority: Etobicoke York Community Council Report No.\_\_\_\_ Clause No.\_\_\_\_  
as adopted by City of Toronto Council on \_\_\_\_\_, \_\_\_\_\_ and \_\_\_\_\_, 2007  
Enacted by Council: \_\_\_\_\_, 2007

### CITY OF TORONTO BY-LAW No.\_\_\_\_-2007

**To amend Chapters 320 and 324 of the former City of Etobicoke Zoning Code, as amended, with respect to certain lands located on the south side of Dalesford Road, and on the north side of Mendota Road, municipally known as 315-325 Dalesford Road, to permit the development of 39 townhouse units.**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS the matters set out herein are in conformity with the Official Plan as adopted by the Council of the City of Toronto; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

Therefore the Council of the City of Toronto HEREBY ENACTS as follows:

1. That the Zoning Map referred to in Section 320-5 of the Zoning Code, originally attached to Township of Etobicoke Zoning Code, be and the same is hereby amended by changing the classification of the lands located in the former Township of Etobicoke as described in Schedule 'A' annexed hereto from Class One Industrial Zone (I.C1) to Group Area Fourth Density Residential (R4G), provided that the following provisions shall apply to the development of the Group Area Fourth Density Residential (R4G) lands identified in Schedules 'A' and 'B' attached hereto.
2. Notwithstanding the definition of "lot" in Section 304-3 of the Etobicoke Zoning Code, the standards of this By-law shall apply collectively to the Group Area Fourth Density Residential (R4G) lands identified in Schedule 'A' attached hereto in their entirety and nothing in this By-law shall preclude the townhouse units from being divided into individual lots within the meaning of the *Planning Act*.
3. Notwithstanding the Etobicoke Zoning Code, sub-section 304—3, 320-16, 320-18, 320-44, 320-70 and 320-71, the following development standards shall be applicable to the R4G lands described in Schedule 'A' attached hereto:
  - (a) Permitted Uses

A maximum of 39 townhouse dwelling units shall be permitted on the subject lands.

One sales and/or construction trailer on site for a period of no more than 3 years from the enactment of this By-law.

(b) Setbacks

The minimum building setbacks shall not be less than the measurements shown on Schedule 'B' attached hereto, and shall be measured from the main walls with or without windows or doors into habitable rooms of each townhouse block.

(c) Permitted Encroachments

Required building setbacks and separations shall not be obstructed by any construction other than the following:

- (i) uncovered steps to grade;
- (ii) chimney breasts, eaves, bay windows, or other projections extending a maximum of 0.6 metres from any exterior wall of a building.
- (iii) open, uncovered and/or roofed porches, verandas, porticos, decks, balconies and accessory gateway features projecting a maximum of 2.6 metres from the exterior rear walls, 1.0 metre from the exterior front walls and 1.5 metres from the exterior side walls.
- (iv) Encroachment into a public right – of – way to a maximum distance of 1.8 metres.

(d) Total Gross Floor Area

A total gross floor area of 10,460 square metres, including garages and enclosed porches is permitted within this exception.

(e) Building Coverage

The maximum building coverage shall not exceed 46% of the total site area,

(f) Landscaped Open Space

- (i) The minimum landscaped open space shall not be less than 25% of the total lot area, and shall include steps, walkways, sidewalks and retaining walls.

(g) Building Heights

(i) Block 1 and Block 2

Notwithstanding the definitions of “grade” and “height” in Section 304-3 of the Etobicoke Zoning Code, for Blocks 1 and 2 as labeled on Schedule ‘B’, the maximum height shall be 11.75 metres, measured as the perpendicular distance from the geodetic datum of 97.00 metres (representing average grade at the front wall on Dalesford Road) to the mid point of the pitched roof.

(ii) Block 3 and Block 4

Notwithstanding the definitions of “grade” and “height” in Section 304-3 of the Etobicoke Zoning Code, for Blocks 3 and 4 as labeled on Schedule ‘B’, the maximum height shall be 10.75 metres, measured as the perpendicular distance from the geodetic datum of 96.15 metres (representing average grade at the front wall on Mendota Road) to the mid point of the pitched roof.

(iii) Block 5

Notwithstanding the definitions of “grade” and “height” in Section 304-3 of the Etobicoke Zoning Code, for Block 5 as labeled on Schedule ‘B’, the maximum height shall be 10.5 metres, measured as the perpendicular distance from the geodetic datum of 96.15 (representing average grade at the front wall on Mendota Road) to the mid point of the pitched roof.

(h) Dwelling Width

The minimum dwelling width shall be 4.47 metres for units with frontage on Mendota Road and the minimum dwelling width shall be 5.64 metres for the remaining units.

(i) Parking Spaces

For each dwelling unit, a minimum of two parking spaces shall be provided. A minimum of one of the required parking spaces shall be located within an enclosed and attached garage at grade with minimum dimensions of 3.0 metres by 5.48 metres. A second indoor parking space is permitted in tandem with the same dimensions. An outdoor parking space can be located on the driveway at grade with minimum dimensions of 3.5 metres by 6.0 metres to be measured from the exterior of the main wall of the dwelling or garage to the property line.

Sections 320-44 A and 320-71 A (3), of the Etobicoke Zoning Code shall not apply to this exception.

(k) Exterior Elevations

The provision of Section 320-16 of the Etobicoke By-law shall not apply to this exception.

(l) Party Walls

The provisions of Section 320 – 71 F shall not apply for the purposes of this exception.

(m) Lot Area

Notwithstanding the definition of “Lot Area” in Section 304-3 of the Etobicoke Zoning Code, the lot area shall be the total horizontal area within the lot lines of a lot per Schedule ‘A’.

(n) Front Yard Requirements

(i) Provide driveway widths to each townhouse unit that do not exceed a width of 3.0m, measured at the curb line.

(ii) The remaining front yard shall consist of landscaping, 75 per cent of which shall consist of 'soft' landscaping. Walkways and hard surface landscaping and paving shall be separated from driveways by means of continuous poured raised concrete curb.

(o) Internal Garage Area

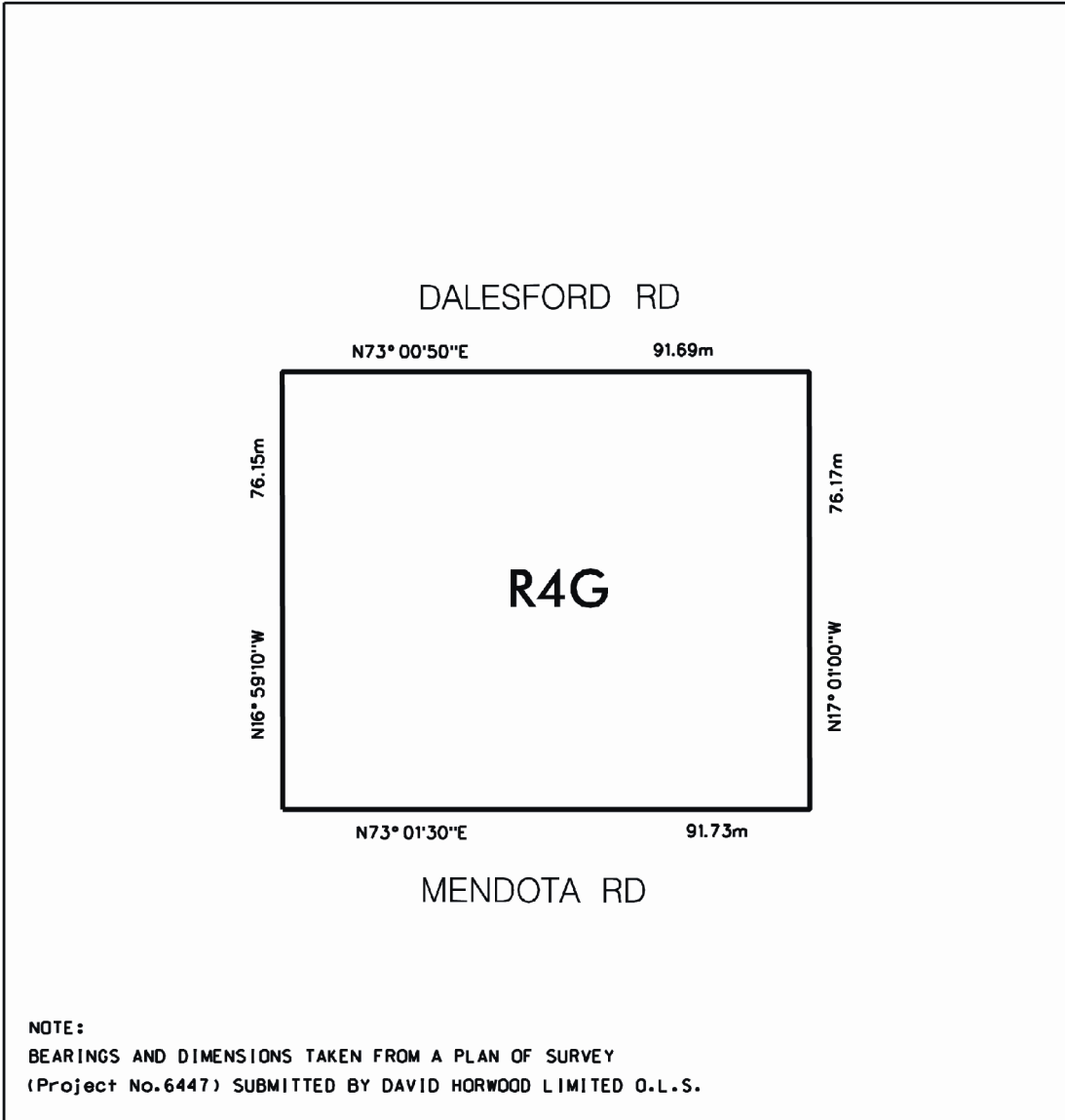
Provide a minimum internal garage area of 18m<sup>2</sup>, with a minimum internal width of 3.0m for the proposed attached garages in Blocks 1, 2, 3 and 4. Provide a minimum internal garage area of 33m<sup>2</sup>, with a minimum internal width of 3.0m for the proposed attached garages in Block 5

4. Where the provisions of this By-law conflict with the provisions of the Etobicoke Zoning Code, the provisions of this By-law shall apply.



5. Chapter 324, Site Specific, of the Etobicoke Zoning Code, is hereby amended to include reference to this By-law by adding the following to Section 324-1, Table of Site Specific By-laws.

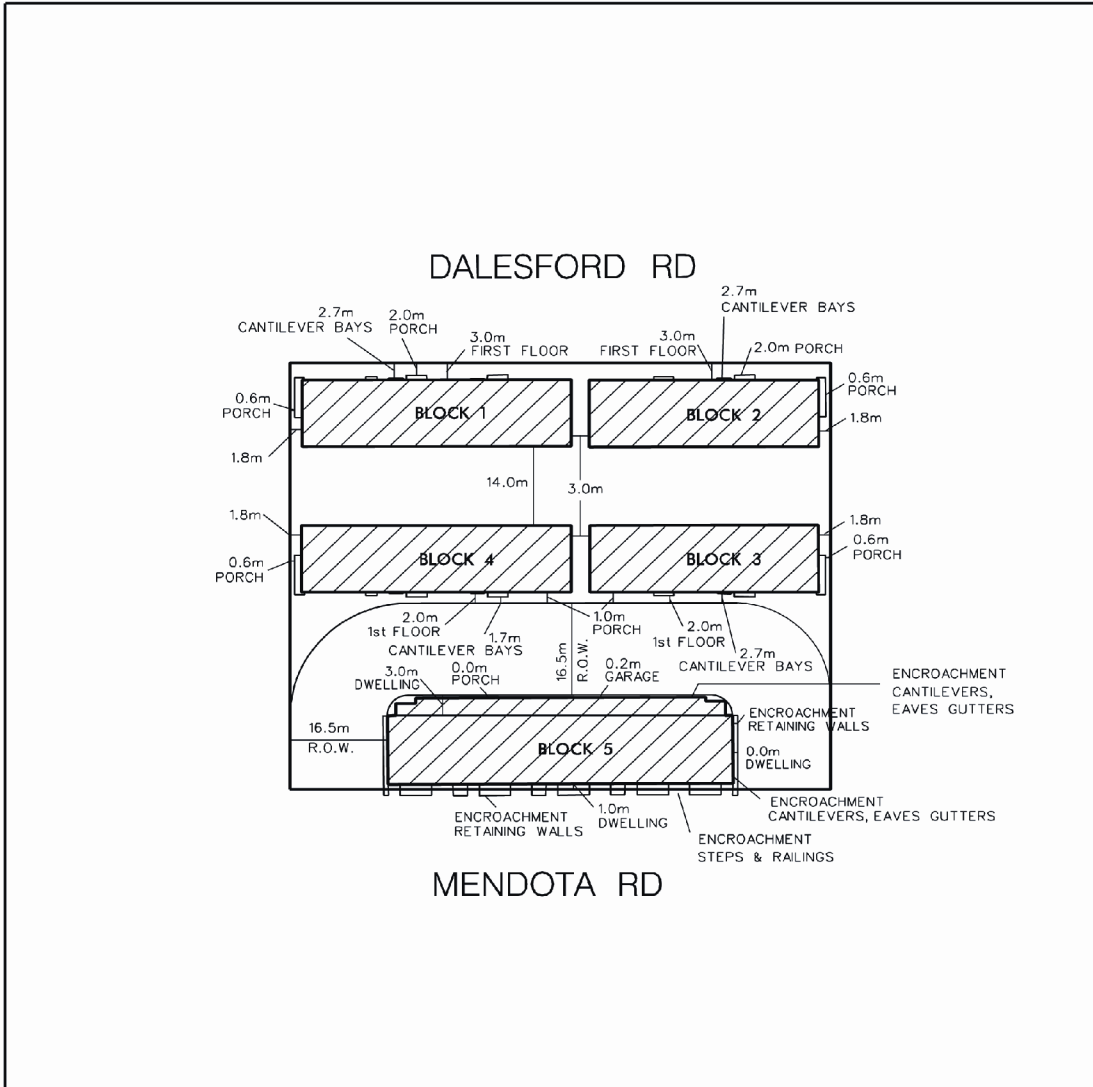
<b>BY-LAW NUMBER AND ADOPTION DATE</b>	<b>DESCRIPTION OF PROPERTY</b>	<b>PURPOSE OF BY-LAW</b>
By-Law Date	Lands located on the south side of Dalesford Road,	To rezone the lands From Class One Industrial Zone

	north of Mendota Road, west of Grand Avenue, municipally known as 315-325 Dalesford Road.	(I.C1) to Group Area Fourth Density Residential (R4G) to permit 39 townhouse units, Subject to site specific development standards
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**PART OF LOTS 316 TO 320, ALL OF LOTS 461 TO 465  
 AND PART OF MILTON STREET (CLOSED)  
 REGISTERED PLAN M-110 CITY OF TORONTO**

<b>Applicant's Name:</b>	WESTON CONSULTING GROUP INC.		
<b>Assessment Map</b> C10	<b>Zoning Code Map/s</b> C10S		scale:  m 
File No. 06_127508	Drawing No. 06_127508_DZ1	Drawn By: K.P.	



**PART OF LOTS 316 TO 320, ALL OF LOTS 461 TO 465  
AND PART OF MILTON STREET (CLOSED)  
REGISTERED PLAN M-110 CITY OF TORONTO**

Applicant's Name:		WESTON CONSULTING GROUP INC.	
Assessment Map C10	Zoning Code Map/s C10S	scale:  m	
File No. 06_127508	Drawing No. 06_127508_DZ2		