



## STAFF REPORT ACTION REQUIRED

### Application for Encroachment Agreement 2 Oakwood Avenue

<b>Date:</b>	August 23, 2007
<b>To:</b>	Etobicoke York Community Council
<b>From:</b>	Curtis Sealock, District Manager, Municipal Licensing and Standards
<b>Wards:</b>	Ward 17, Davenport
<b>Reference Number:</b>	Folder Number: 07 143528 RAW 00 IR

#### **SUMMARY**

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To report on an encroachment application, submitted by the owner's agent, Daniels Parkside Corporation to maintain existing and proposed encroachments.

The encroachments involve the existing bay window and foundation wall and the proposed roof re-construction, involving an eaves overhang, and the proposed construction of a concrete landing and stairs leading to the building entrance, all projecting into the Oakwood Avenue Road Allowance.

The Etobicoke York Community Council has delegated authority from City Council to make a final decision for this matter.

#### **RECOMMENDATIONS**

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**Municipal Licensing and Standards recommends that the Etobicoke York Community Council approve the application for the existing and the proposed encroachments on the Oakwood Avenue road allowance, subject to the following conditions:**

1. the City Solicitor to be authorized to prepare an Encroachment Agreement for the existing and proposed encroachments, Attachments 2, 3 and 4;
2. the owner to return the signed agreement to the City along with the required Certificate of Insurance, evidencing a third party bodily and property damage

insurance in the amount of \$2,000,000.00 or such other coverage and greater amount as the City may require, and naming the City of Toronto as an additional insured party under the policy, and should an annual fee be required in the future the applicant shall be subject to said fee;

3. to renew the said Certificate of Insurance and submit a copy thereof to Municipal Licensing and Standards on an annual basis for the life of the encroachments;
4. to repair and maintain in good condition, at all times, the encroaching elements including the bay window, foundation wall, concrete landing and stairs leading to the entrance, as well as the roof components of the eaves overhang, and carry out all necessary precautionary measures to avoid roof drainage from being discharged on the sidewalk, causing loss, damage or injury , Attachments 2, 3, 4, 6 and 7; and
5. to comply at all times with the regulations set out in the former Chapter 313 of the Former City of Toronto Municipal Code, Streets and Sidewalks, as amended.

### **Financial Impact**

There are no financial implications resulting from the adoption of this report.

### **ISSUE BACKGROUND**

The property is located at the northwest corner of Oakwood Avenue and Davenport Road. The bay window and foundation wall are encroaching by approximately 0.17 of a metre on the Oakwood Avenue road allowance. The roof eaves overhang will project 0.51 of a metre into the Oakwood Avenue road allowance. The proposed concrete entrance walkway, landing and stairs will project 1.66 metres into the Oakwood Avenue road allowance, Attachments 1,2, 3, 4, 5, 6 and 7;

This application will permit the owner to maintain the existing and proposed encroachments, subject to entering into an Encroachment Agreement the City of Toronto.

### **COMMENTS**

This application was circulated to Transportation Services, Urban Forestry Services, Toronto Fire Services and various utility companies for comments, with no negative responses being received.

## **CONTACT**

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Municipal Licensing and Standards  
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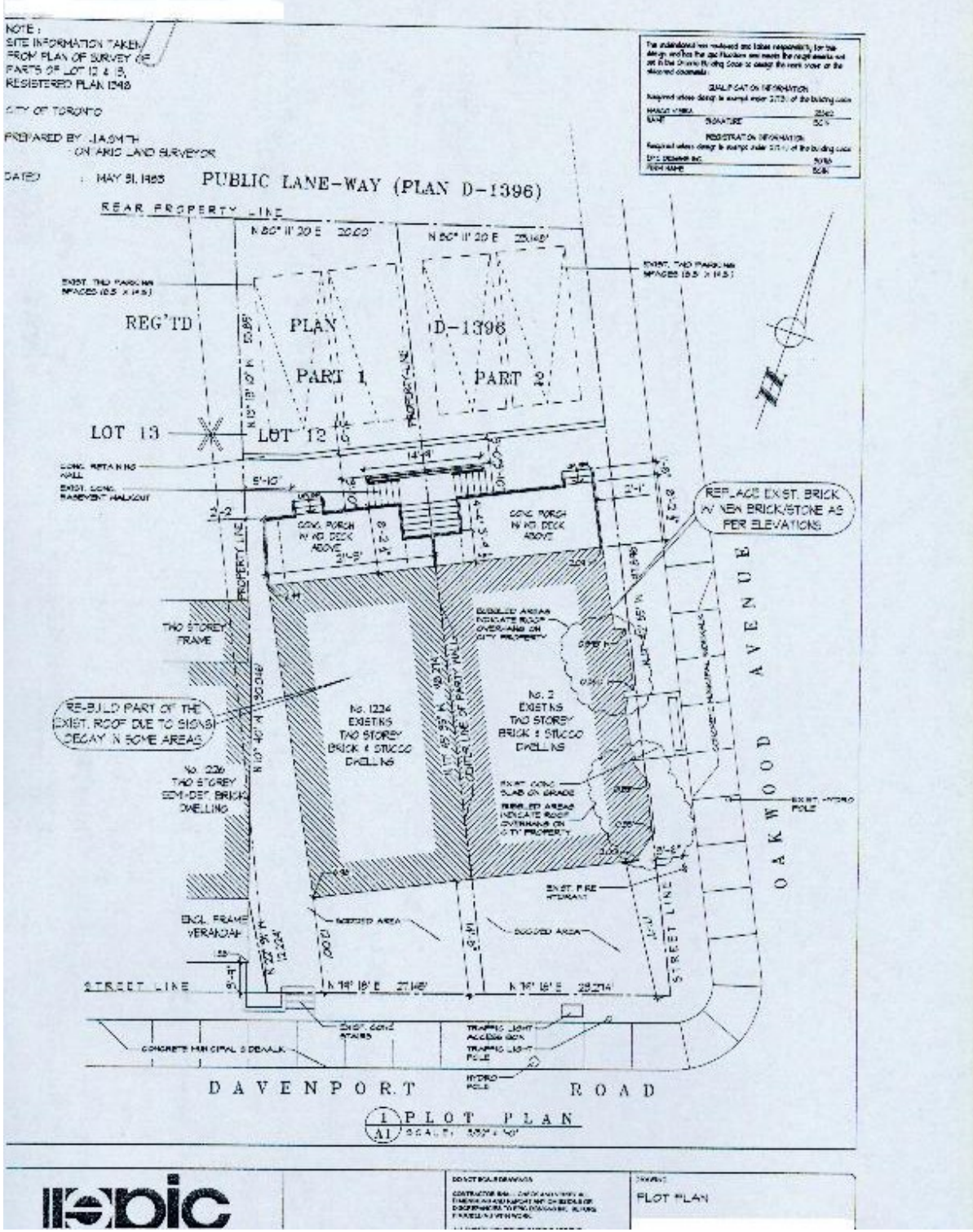
## **SIGNATURE**

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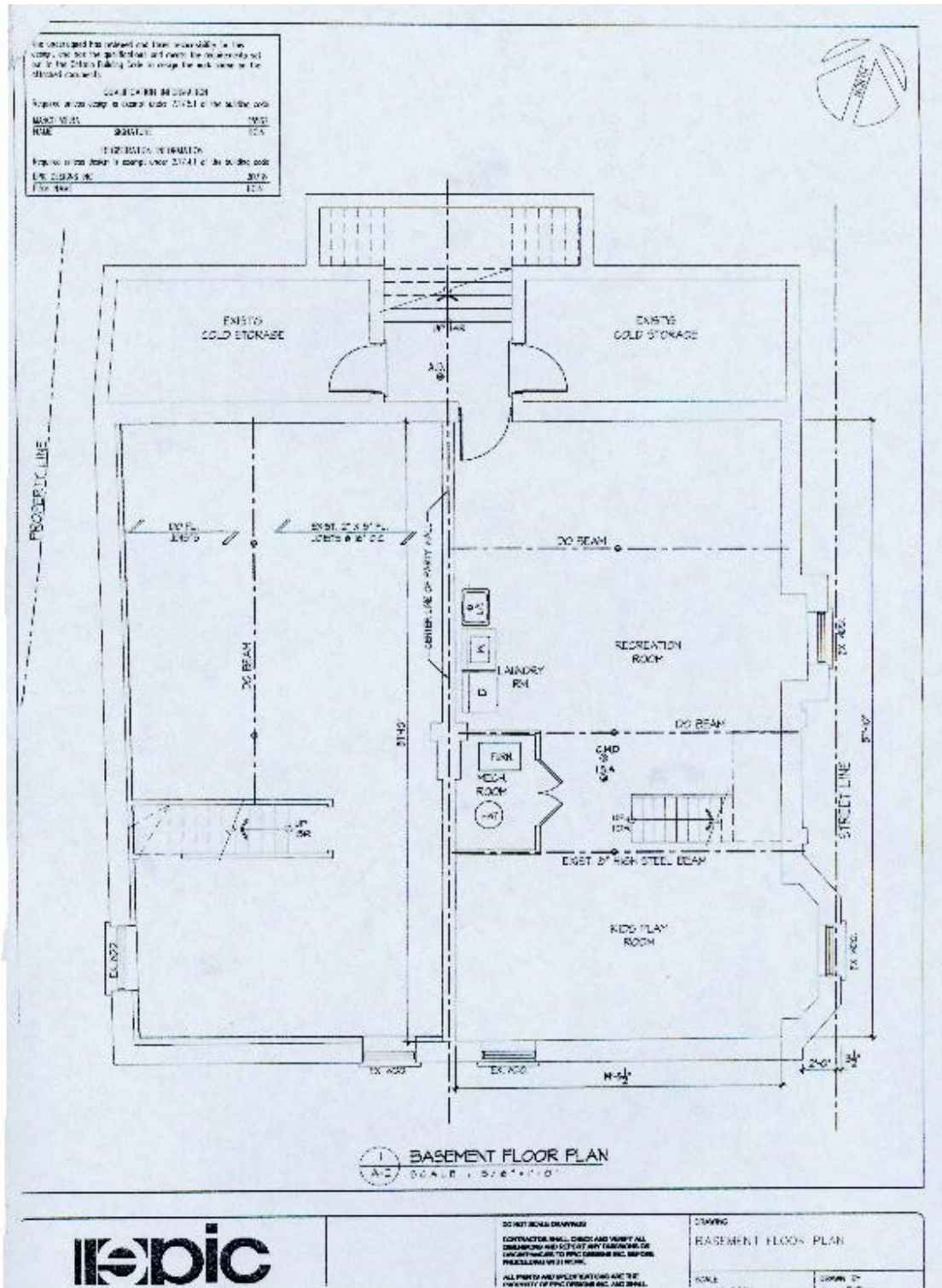
Curtis Sealock, District Manager  
Etobicoke York District  
Municipal Licensing and Standards

## **ATTACHMENTS**

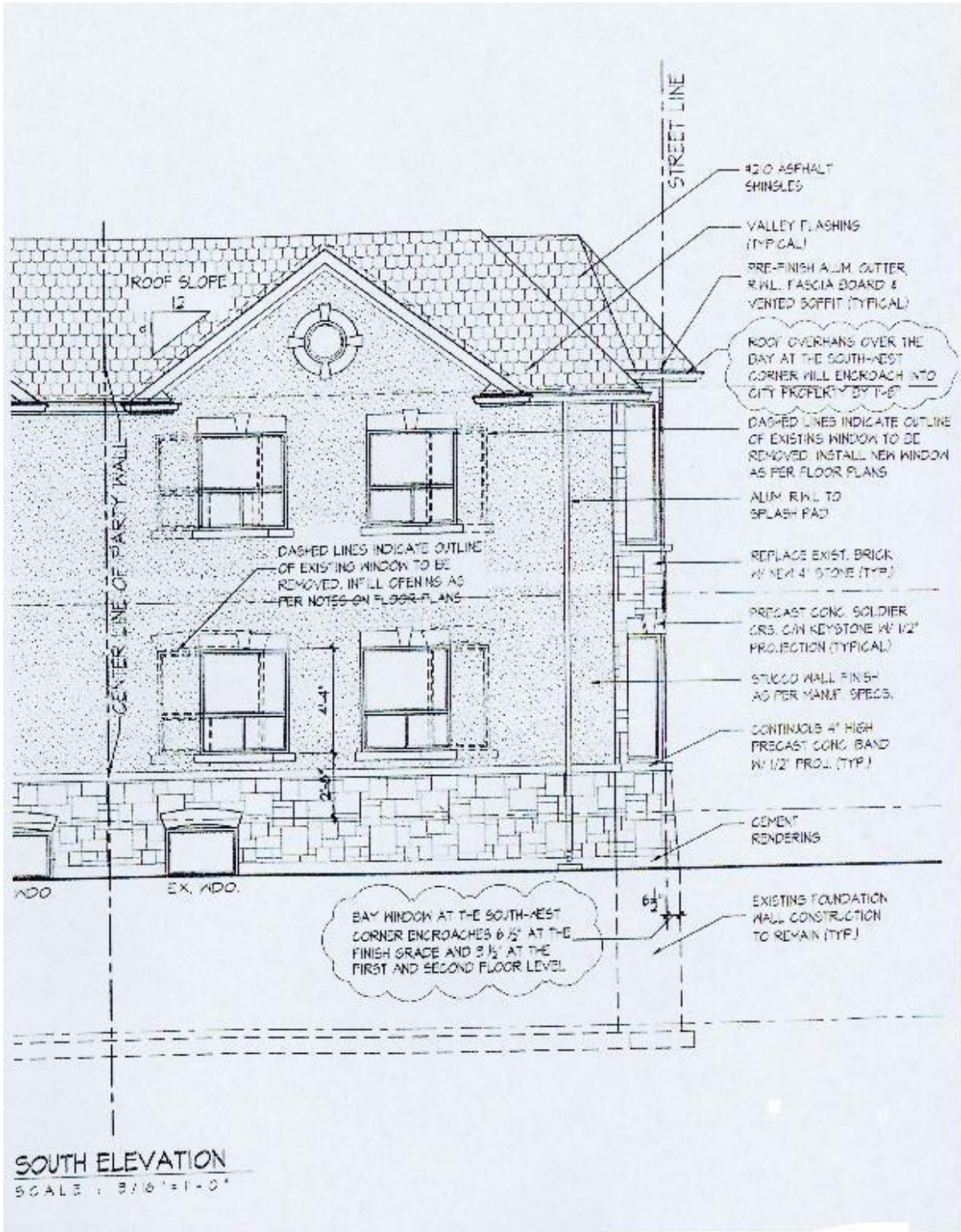
Attachment 1: Plot Plan  
Attachment 2: Basement Plan showing the encroaching bay window and foundation wall  
Attachment 3: South Elevation showing the eaves overhang and the foundation encroachments  
Attachment 4: Front Entrance Plan  
Attachment 5: Photograph of the dwelling  
Attachment 6: Photograph of the dwelling



**Attachment 1: Plot Plan**

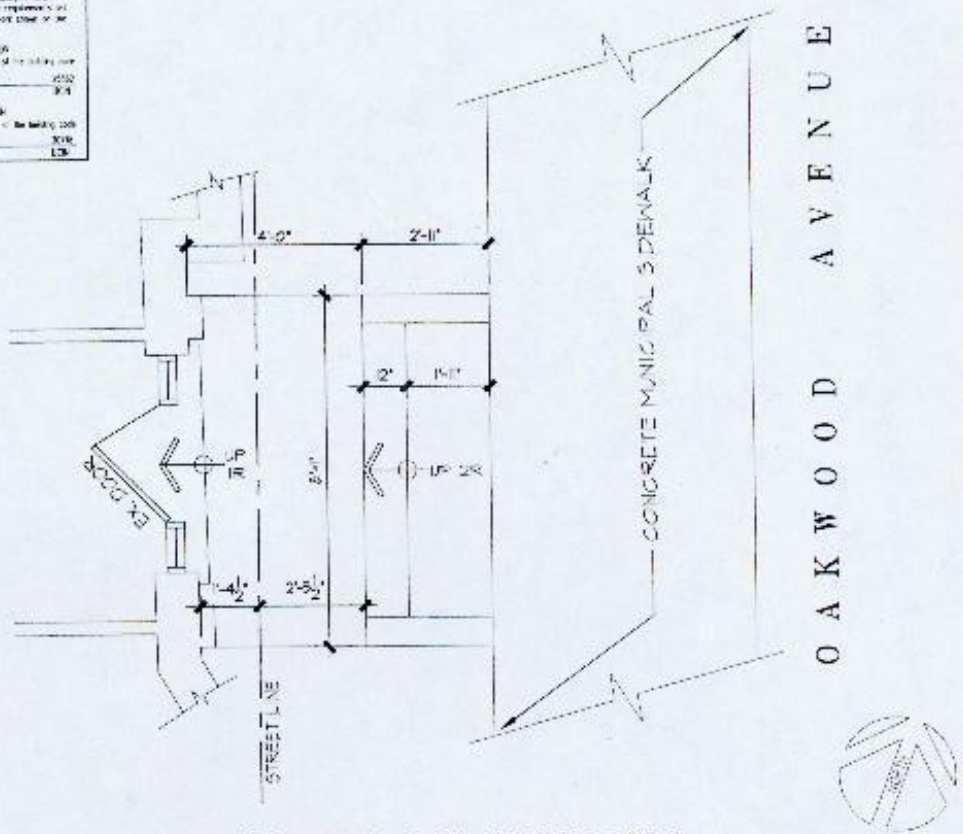


**Attachment 2: Basement Plan showing the encroaching bay window and the foundation wall**

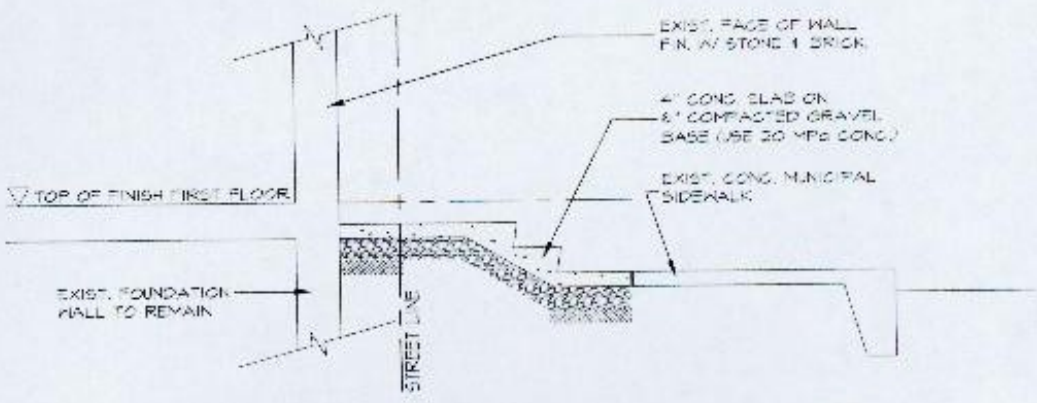


**Attachment 3: South Elevation showing the eaves overhang and the foundation encroachments**

<small>THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ARCHITECT AND THE QUALITY OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE QUALITY OF THE WORK OR THE SAFETY OF THE STRUCTURE.</small>		
<b>PROJECT DATA</b>		
Project name, location, and owner	2 OAKWOOD AVENUE	2020
Architect	ARCHITECT	2020
Engineer	ENGINEER	2020
Contractor	CONTRACTOR	2020
City/County	CITY/COUNTY	2020
Scale	SCALE	1/8" = 1'-0"



1 PARTIAL PLAN @ FRONT ENTRANCE  
 A-10 SCALE: 3/8" = 1'-0"



2 PARTIAL SECTION @ FRONT ENTRANCE  
 A-10 SCALE: 3/8" = 1'-0"

**Attachment 4: Front entrance Plan**



**Attachment 5: Photograph looking north on Oakwood Avenue  
Showing the foundation wall and front entrance encroachment**

Staff report for action on an Application for an Encroachment Agreement for 2 Oakwood Avenue





**Attachment 6: Photograph looking south on Oakwood Avenue  
Showing the foundation wall front entrance and roof encroachments**