

TORONTO STAFF REPORT

August 18, 2006

To: North York Community Council

From: Director, Community Planning, North York District

Subject: Final Report
Rezoning Application 06 137612 NNY 23 OZ
Applicant: Benjamin Schultz
Architect: Benjamin Schultz
1 & 3 Kenton Drive
Ward 23 - Willowdale

Purpose:

This report reviews and recommends approval of an application to amend the Zoning By-law and approve in principle the Site Plan Control Application for a 4-storey, 48-bed residential care facility located at 1 & 3 Kenton Drive.

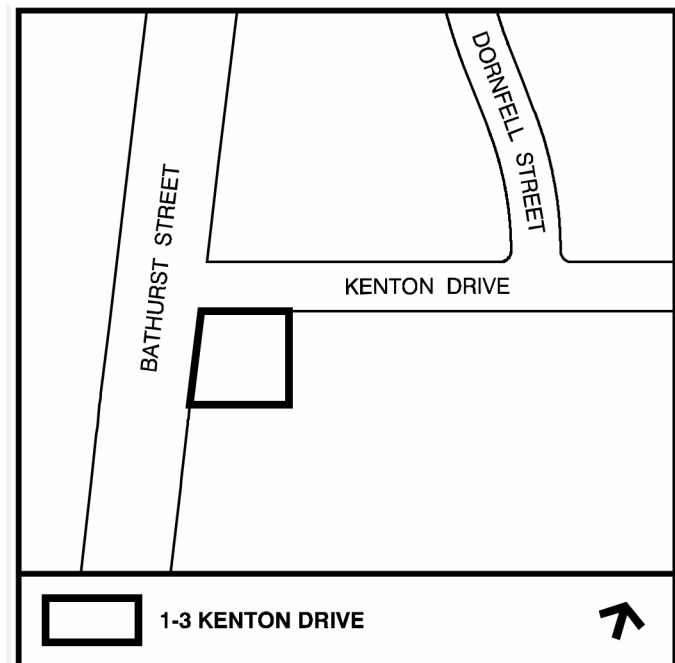
Financial Implications and Impact Statement:

There are no financial implications resulting from the adoption of this report.

Recommendations:

It is recommended that City Council:

- (1) amend the Zoning By-law 7625 for the former City of North York substantially in accordance with the draft Zoning By-law Amendment in Attachment No. 6.
- (2) authorize the City Solicitor to make such stylistic and technical changes to the draft Zoning By-law Amendment as may be required.



- (3) approve in principle the site plan as indicated on the drawings in Attachment 1 and Attachment 2, subject to the conditions of approval as listed in Attachment 9.
- (4) authorize the Chief Planner or his designate to give final approval to the site plan when the conditions to be satisfied prior to site plan approval as set out in Attachment 9 of this report have been fulfilled.

Background:

Site History

On April 15, 1992, the former North York City Council approved an Official Plan and Zoning By-law amendment application to permit the development of a three-storey office building on the subject property. North York City Council enacted the Official Plan and Zoning By-law amendments on December 2, 1992.

On February 5, 2004, the applicant applied for Official Plan and Zoning By-law amendments to alter the permitted uses for the lands known as 1 Kenton Drive in order to build a three-storey residential care facility for Alzheimer residents, containing 24 bedrooms plus common use areas. The proposal included six parking spaces at the south side of the property accessed from Bathurst Street. Toronto City Council also adopted Amendment No. 550 to the Official Plan for the former City of North York (By-Law #727-2004) and an amendment to the former City of North York Zoning By-law 7625 (By-Law #728-2004) as amended on July 22, 2004.

The owner of 1 Kenton Drive has recently acquired abutting lands known municipally as 3 Kenton Drive, and wishes to consolidate these lands and revise their residential care facility proposal.

Proposal

The applicant is proposing a 48 bed, Alzheimer's Residential Care Facility for the site known as 1 and 3 Kenton Drive. The proposed facility would have 4 stories on the Bathurst Street frontage and be reduced to 2 and 1 storey respectively at the eastern portion of the property along Kenton Drive. Parking for 12 vehicles as well as loading and refuse storage is on the southerly portion of the site which borders a Hydro utility corridor. Vehicular access is via a driveway accessing directly onto Bathurst Street. The facility would have its primary building entrance on the Bathurst Street frontage and a secondary entrance on Kenton Drive. The facility would accommodate approximately 10 staff on site during the day, and 4 overnight.

Site and Surrounding Area

The subject lands are comprised of two parts; 1 Kenton Drive on which the former dwelling has been demolished and 3 Kenton Drive upon which is presently situated a vacant single detached dwelling. This structure would also require demolition to accommodate the proposed facility.

The surrounding land uses are as follows:

North: vacant lands at 2 Kenton Drive, and single detached houses fronting on Kenton Drive;

South: Hydro utility corridor;

East: single detached houses fronting on Kenton Drive;

West: community and civic uses including Beth Tzdec memorial park, the North York Civic Soccer Fields and Ester Shiner Stadium.

The Planning Act, Provincial Policy Statement (PPS)

The Planning Act requires decisions under the Act to be consistent with the Provincial Policy Statement. The Provincial Policy Statement (2005) includes policies to manage and direct land use to achieve efficient development and land use patterns. The Provincial Policy Statement also requires that a range of housing types and densities are provided to meet the social, health and well-being requirements of all residents, including those with special need requirements. The Policy promotes intensification and redevelopment opportunities that allow for the efficient use of land, infrastructure and public services, including public transit.

New Toronto Official Plan

At its meeting of November 26, 2002, City Council adopted the new Official Plan for the City of Toronto. The Minister of Municipal Affairs and Housing approved the new plan, in part, with modifications. On July 6, 2006, the Ontario Municipal Board issued Order No.1928 bringing into force and effect the majority of the New Official Plan except for polices related to housing, Section 37 and floodplain “Special Policy Areas” which remain under appeal. Until the appeal of these sections is resolved the policies of the predecessor Official Plans are still applicable. All other policy, maps and schedules contained within the former Official Plans are repealed.

The New City of Toronto Official Plan designates the subject lands as “Neighbourhoods”. Neighbourhoods are generally considered physically stable areas and contain a full range of residential uses within lower scale buildings. Parks, local institutions, and other uses including cultural and recreational facilities and small scale retail, service and nursing homes and long-term care facilities, among other uses, are permitted in the “Neighbourhoods” land-use designation. Among other policies the Official Plan contains criteria for dealing with the integration of new development within Neighbourhoods.

Zoning

The former City of North York Zoning By-law No. 7625 zones the lands known as 1 Kenton Drive as Multiple-Family Dwellings Sixth Density Zone (RM-6). The site specific zoning permits only a residential care facility to be located on the lands. The abutting land known as 3 Kenton Drive, which is proposed to be added to the project, is designated as One-Family Detached Dwelling Fourth Density (R4). Permitted uses are single detached dwellings and accessory structures.

Site Plan Control

The applicant has submitted a concurrent site plan control application (06-137613 NNY 23 SA). The approval of this site plan control application will be required prior to the issuance of a building permit for the proposed development.

Reasons for the Application

The applicant is seeking an amendment to the Zoning By-law as the current zoning permissions do not allow the proposed 4-storey residential care facility. The applicant wishes to establish zoning regulations for the site that permit the proposed use and development standards.

Community Consultation

A community consultation meeting to discuss the revised proposal was held on June 19, 2006. The meeting was attended by the local Councillor's representative, Planning staff, the applicant and owner, and approximately 15 members of the community. 4 persons who are neighbours of a sister facility located at 147 Elder Street were also in attendance and offered their support for the proposal.

Issues raised by area residents in discussion of the proposal, which have been considered in the review of the application, are generally related to the following matters:

- compatibility of the proposed use with adjacent residential uses;
- proposed building height, density and setbacks;
- shadowing, privacy and impact on views from adjacent properties;
- location and amount of parking for the facility;
- potential parking and traffic impacts on Kenton Drive;
- location of driveway access to the facility and location of garbage storage and pick-up;
- proposed landscaping and fencing;
- proposed sidewalk along the south side of Kenton Drive.

Agency Circulation

The application was circulated to all appropriate agencies and City Departments. Responses received have been used to assist in evaluating the application and to formulate appropriate by-law standards.

Comments:

Land Use:

The land use and built form characteristics of the proposed 48-bed residential care facility have been evaluated in light of the policies of the new City of Toronto Official Plan. The Plan encourages a range of residential uses, including locally focused institutional facilities for residents with special needs that are compatible with stable residential areas. The Plan also envisions a range of housing types including apartment buildings no higher than 4 storeys in height, which respect and reinforce the general physical patterns, characteristics and stability of established neighbourhood communities.

Neighbourhood Characteristics:

The “Neighbourhood” policies of the new City of Toronto Official Plan requires that re-development be sensitive, gradual and compatible to the existing physical character of the area. New development will respect and reinforce existing neighbourhood characteristics, such as massing, scale, setbacks and landscaped open space. The surrounding neighbourhood context consists of the following:

- High density apartment residential to the north along Bathurst Street;
- Medium density residential apartments and neighbourhood commercial uses to the south;
- Low density residential to the east;
- Community and civic uses including Beth Tzdec memorial park, the North York Civic Soccer Fields and Ester Shiner Stadium to the west across Bathurst Street.

The subject lands have frontage on two streets: Bathurst Street, which is a major arterial road; and Kenton Drive which provides local access to the adjacent low density residential community. The 4-storey portion of the proposed development is located on the Bathurst Street frontage. From west to east along Kenton Drive the building mass gradually steps down from 4 to 2, and 1 story in height. A landscaped area provides additional privacy and distance to the adjacent single family dwelling to the east.

This site’s location along Bathurst Street lends itself to consideration for uses that are more intensive than single family dwellings and that are also compatible with adjacent residential uses.

Height and Density:

The proposed residential care facility would have a density of 1.8 Floor Space Index (F.S.I.). The applicant has provided a redesigned building style that offers an opportunity to define the corner of Kenton Drive and Bathurst Street as well as create an entrance into the established residential community.

The tapering down of the building height to a one storey greenhouse with a large garden and green space area where the property abuts the residential property to the east is a significant reinforcement of the low density character of the neighbourhood. The proposed built form and

landscaping for the site will also create a distinctive pedestrian friendly street-edge along both Bathurst Street and Kenton Drive.

Landscaping and Building Entrance:

The applicant is proposing landscaping along both the Bathurst Street and Kenton Drive frontages. Tree plantings, hedges and shrubs as well as a wood privacy fence along the eastern property line will provide additional screening and beautification. The facility's house-form design and character is appropriate for the proposed residential use and for its location adjacent to a stable residential neighbourhood. The proposed building is oriented towards Bathurst Street and has its primary pedestrian entrance located at-grade on the Bathurst Street façade at the south-west corner of the building. A secondary pedestrian entrance to the building on the Kenton Drive frontage will add animation and interest to Kenton Drive and help contribute to the residential character of the building.

Access, Parking and Traffic

The vehicular access to the proposed Alzheimer Residential Care Facility is exclusively via Bathurst Street at the south end of the site. The location of this driveway is shown on the site plan (Attachment 1) and will be secured through Site Plan Approval. The two existing driveways along Kenton Drive will be required to be closed. Twelve parking spaces, which meet the requirements of Zoning By-law 7625, are proposed to be located at the rear of the site abutting the Hydro corridor, and will be used by staff and visitors, as the residents of the facility do not drive.

It is expected that the additional traffic generated by the proposed development will be minimal, and generally occur in non-peak hours, weekends and holidays. The site is also provided with TTC bus service on Bathurst Street with a stop located immediately in front of the site. The applicant has also advised that the majority of their daytime staff will be using public transit.

Development Charges

As per the City of Toronto Development Charges By-law No. 547-2004, section 415-6, the subject lands qualify for an exemption from development charges as non-profit housing.

Conclusions:

Planning staff recommend that the proposed Zoning By-law amendment for a 48-bed residential care facility at 1 and 3 Kenton Drive be approved, and that the Site Plan Control application be approved in principle. City staff have undertaken a detailed review of the proposed development and based on the analysis outlined above, are of the opinion that the revised project is appropriate for the site, and will not detract from the stability of the low density residential community.

Contact:

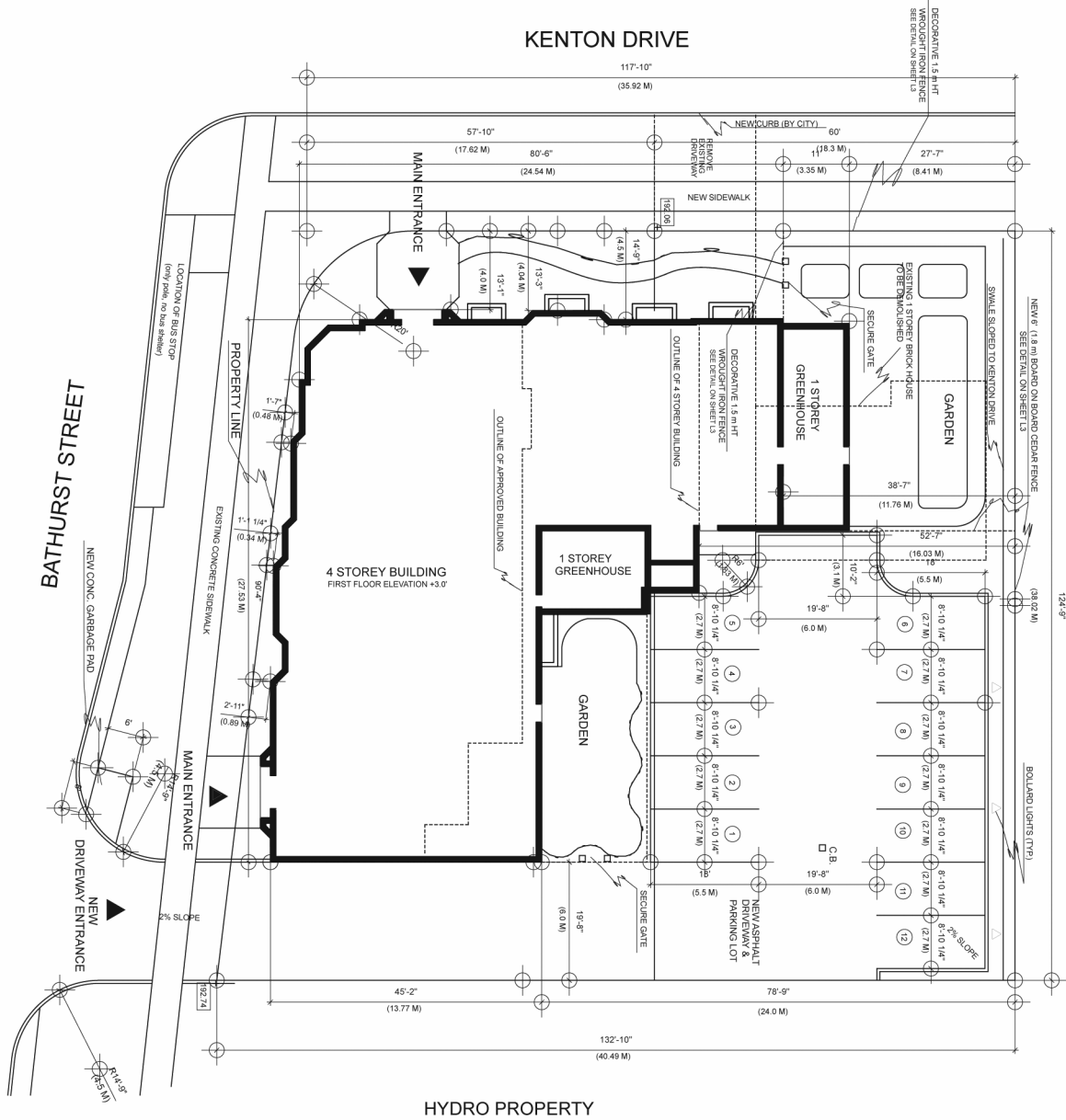
Ben DiRaimo, Planner
Ph: (416) 395-7119
Fax:
Email: bdiraimo@toronto.ca

Thomas C. Keefe
Director, Community Planning, North York District

List of Attachments:

Attachment 1: Site Plan
Attachment 2: Elevations
Attachment 3: Zoning
Attachment 4: Application Data Sheet
Attachment 5: Official Plan Map
Attachment 6: Draft Zoning By-law Amendment
Attachment 7: Draft Zoning By-law Amendment, Schedule 1
Attachment 8: Draft Zoning By-law Amendment, Schedule 2
Attachment 9: Conditions of Site Plan Approval

Attachment 1: Site Plan



Site Plan

Applicant's Submitted Drawing

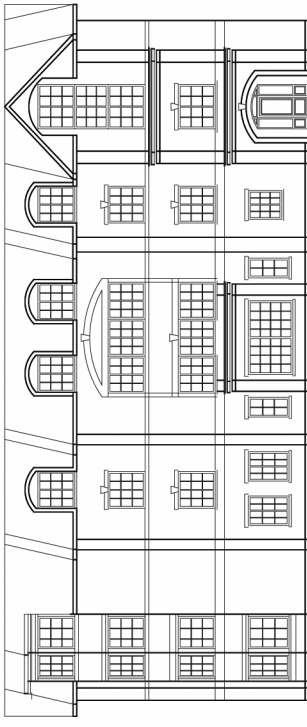
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07/31/06



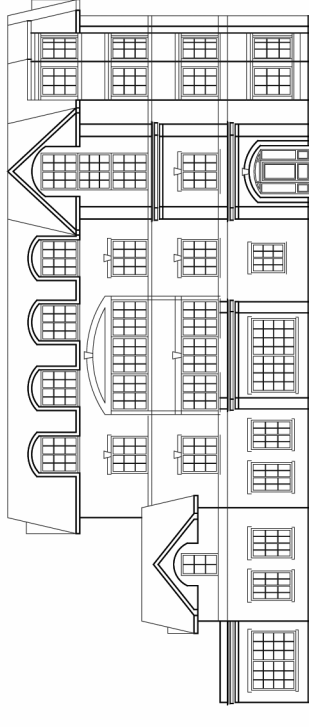
1-3 Kenton Drive

File # 06_137612

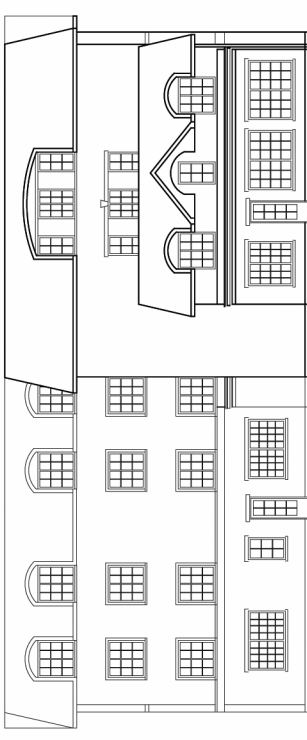
Attachment 2: Elevation 1



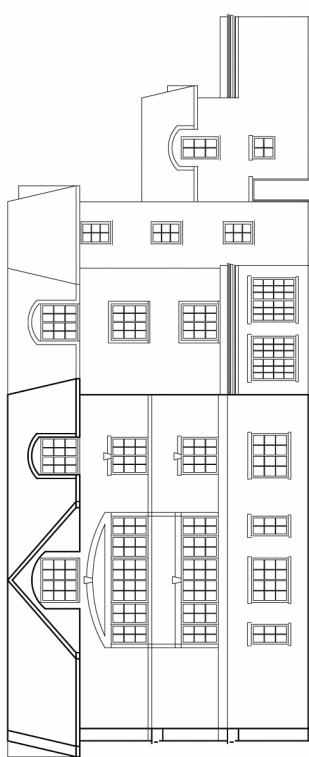
West Elevation



North Elevation



East Elevation



South Elevation

Elevations

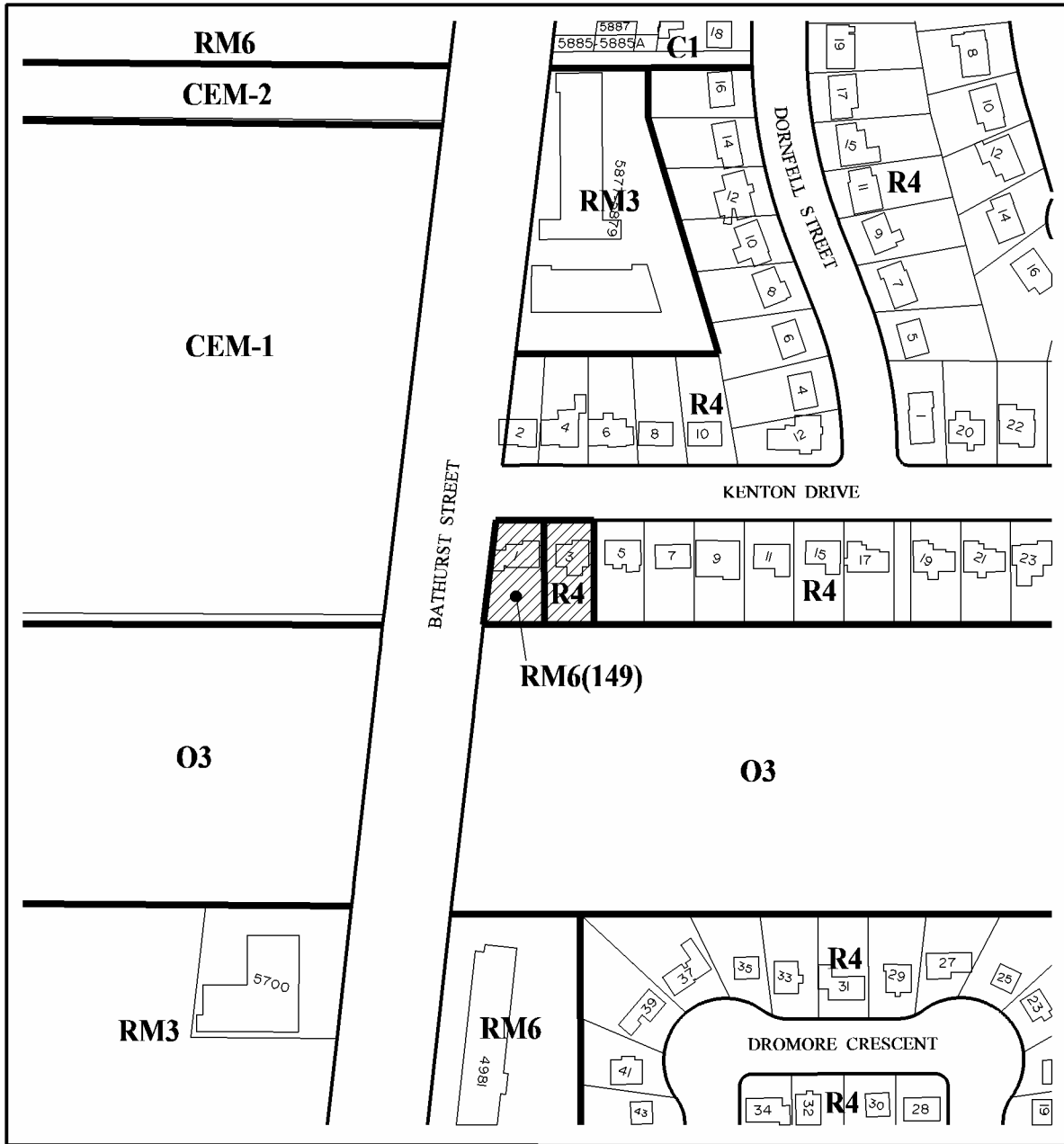
Applicant's Submitted Drawing

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07/31/06

1-3 Kenton Drive

File # 06_137612

Attachment 3: Zoning (Map)



1-3 Kenton Drive

File # 06_137612

- R4 One-Family Detached Dwelling Fourth Density Zone
 - RM3 Multiple-Family Dwellings Third Density Zone
 - RM6 Multiple-Family Dwellings Sixth Density Zone
 - C1 General Commercial Zone
 - O3 Semi-Public Open Space Zone
 - CEM-1 General Cemetery Zone
 - CEM-2 Restricted Cemetery Zone
- NOTE: Numbers in Brackets Denote Exceptions to the Zoning Category



Not to Scale
Zoning By-law 7625
Extracted 05/26/06

Attachment 4: Application Data Sheet

APPLICATION DATA SHEET

Application Type	Rezoning	Application Number:	06 137612 NNY 23 OZ
Details	Rezoning, Standard	Application Date:	May 19, 2006

Municipal Address: 1 KENTON DR, TORONTO ON

Location Description: PLAN 4311 LOT 92 **GRID N2301

Project Description: Proposed institutional use for an Alzheimer's Residential Care Facility. The property at 1 Kenton Drive received Official Plan Amendment; Site Plan approval (see 04-107621 NNY 23 OZ) and Building Permits in 2005. This application proposes to add 3 Kenton Drive to the project and increase the bed-count from 24 to a total of 48.

Applicant:
BENJAMIN SCHULTZ

Agent:

Architect:
BENJAMIN SCHULTZ

Owner:
B'NAI BRITH
FOUNDATION
DISTRICT 22

PLANNING CONTROLS

Official Plan Designation: RD4

Site Specific Provision:

Zoning: RM6

Historical Status:

Height Limit (m):

Site Plan Control Area: Y

PROJECT INFORMATION

Site Area (sq. m): 1452.52

Height: Storeys: 4

Frontage (m): 35.92

Metres: 12.65

Depth (m): 38.02

Total Ground Floor Area (sq. m): 559.85

Total

Total Residential GFA (sq. m): 2518.16

Parking Spaces: 12

Total Non-Residential GFA (sq. m): 0

Loading Docks 0

Total GFA (sq. m): 2518.16

Lot Coverage Ratio (%): 38

Floor Space Index: 1.73

DWELLING UNITS

FLOOR AREA BREAKDOWN (upon project completion)

Tenure Type: Rental, Other

Above Grade **Below Grade**

Rooms: 48

Residential GFA (sq. m): 2518.16 0

Bachelor: 0

Retail GFA (sq. m): 0 0

1 Bedroom: 0

Office GFA (sq. m): 0 0

2 Bedroom: 0

Industrial GFA (sq. m): 0 0

3 + Bedroom: 0

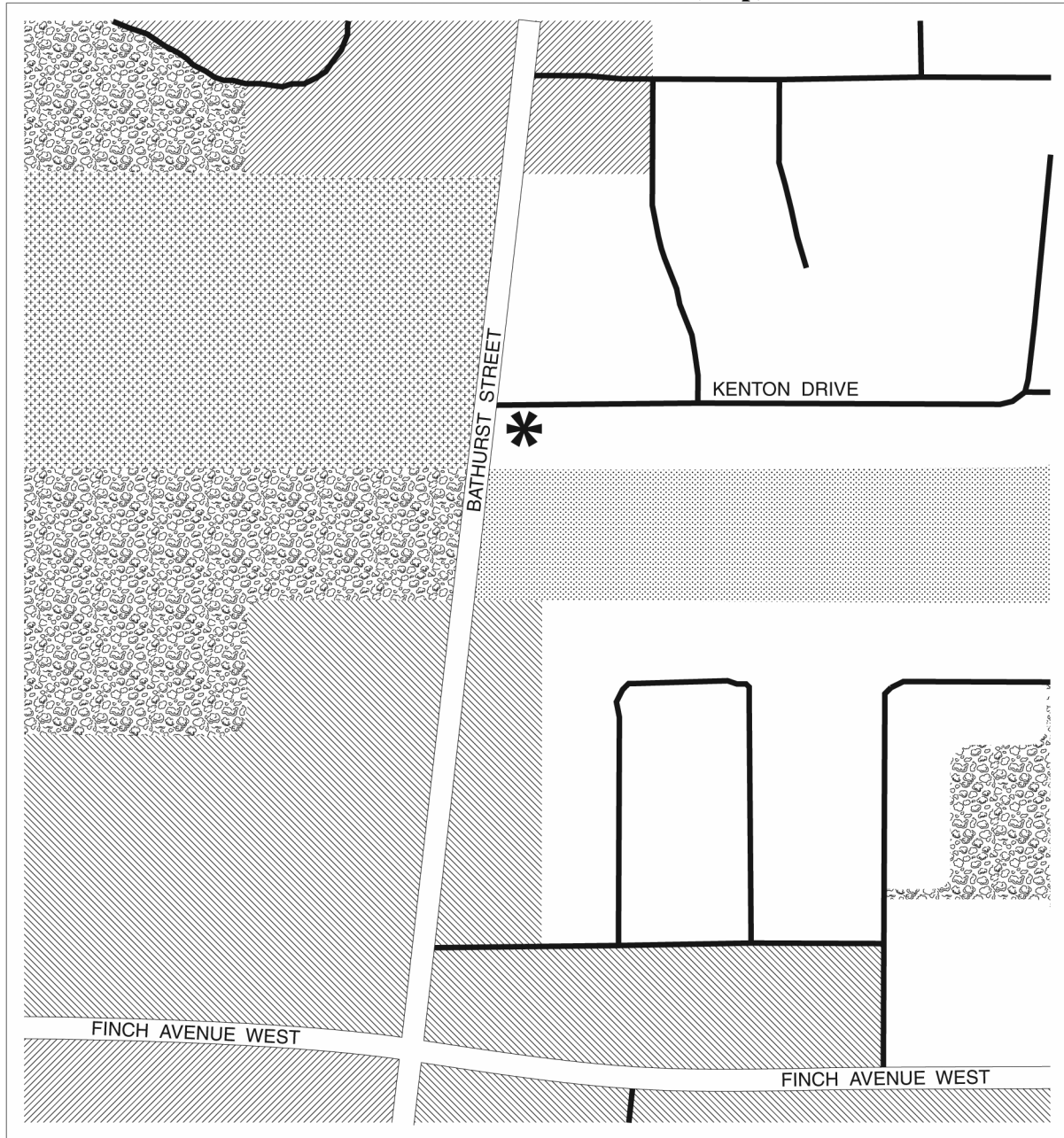
Institutional/Other GFA (sq. m): 0 0

Total Units: 48

CONTACT: PLANNER NAME: Ben DiRaimo, Planner

TELEPHONE: (416) 395-7119

Attachment 5: Official Plan (Map)



 **Toronto** City Planning
Division
Official Plan

1-3 Kenton Drive

File # 06_137612

- | | |
|--|--|
|  Site Location |  Parks |
|  Neighbourhoods |  Other Open Space Areas |
|  Apartment Neighbourhoods |  Utility Corridors |
|  Mixed Use Areas | |



Not to Scale
June 2006

Attachment 6: Draft Zoning By-law Amendment

Authority: North York Community Council Report No. ~, Clause No. ~,
As adopted by City of Toronto Council on ~, 2006

Enacted by Council: ~, 2006

CITY OF TORONTO

Bill No. ~

BY-LAW No. ~-2006

**To amend former City of North York Zoning By-law No. 7625, as amended,
with respect to the lands municipally known as
1 and 3 Kenton Drive**

WHEREAS authority is given to Council by Section 34 of the Planning Act, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. **City of Toronto By-law No. 728-2004 is hereby repealed.**
2. **Schedules “B” and “C” of By-law No. 7625 of the former City of North York are amended in accordance with Schedule “1” of this By-law.**
3. **Section 64.20-A of By-law No. 7625, as amended, is amended by adding the following subsection:**

“64.20-A RM6 (149)

DEFINITIONS

- (a) For the purpose of this exception, “Residential Care Facility” shall mean a Multiple Family Dwelling operated on a non-profit basis containing not more than 48 dwelling rooms with common lounge, laundry, kitchen and dining areas, for occupancy by persons having symptoms of Alzheimer disease who do not require continuous medical services. The Residential Care facility may include accessory administrative office space, shall not include a nursing home, and 24 hour medical services shall not be permitted.
- (b) For the purpose of this exception, “Dwelling Room” shall mean separate living quarter designed and intended for use by one person, with an entrance from a common hallway inside the Residential Care Facility, and which includes one room and separate sanitary conveniences but not kitchen facilities. A Dwelling Room shall be used as a principal residence of the occupant and not on a transient basis.

PERMITTED USES

- (c) The only permitted use shall be a Residential Care Facility.

EXCEPTION REGULATIONS

- (d) The maximum number of Dwelling Units is 48.
 - (e) The maximum Gross Floor Area permitted on the site is 2,539 m².
 - (f) The building height shall not exceed 12.7 m above Established Grade and shall not exceed 4 storeys.
 - (g) No portion of any building or structure erected and used above Established Grade shall be located otherwise than wholly within the building envelope identified on Schedule RM6(149).
 - (h) A driveway with a width of 6.0m shall be provided on the south side of the site connecting with Bathurst Street as shown on Schedule RM6(149).
 - (i) Twelve parking spaces shall be provided on the site as shown on Schedule RM6(149).
 - (j) The maximum permitted lot coverage is 39 per cent of the site.
 - (k) The minimum yard setbacks shall be as shown on Schedule RM6(149).
 - (l) Balconies and decks shall not be permitted.
 - (m) The provisions of Section 6A (16) regarding loading spaces shall not apply.
 - (n) Notwithstanding any severance, partition or division of the site shown on Schedule "RM6(149)", the provisions of this By-law shall apply to the whole of the site as if no severance, partition or division occurred.
4. **Section 64.20-A of By-law No. 7625, is amended by adding Schedule "RM6(149)" attached to this By-law.**

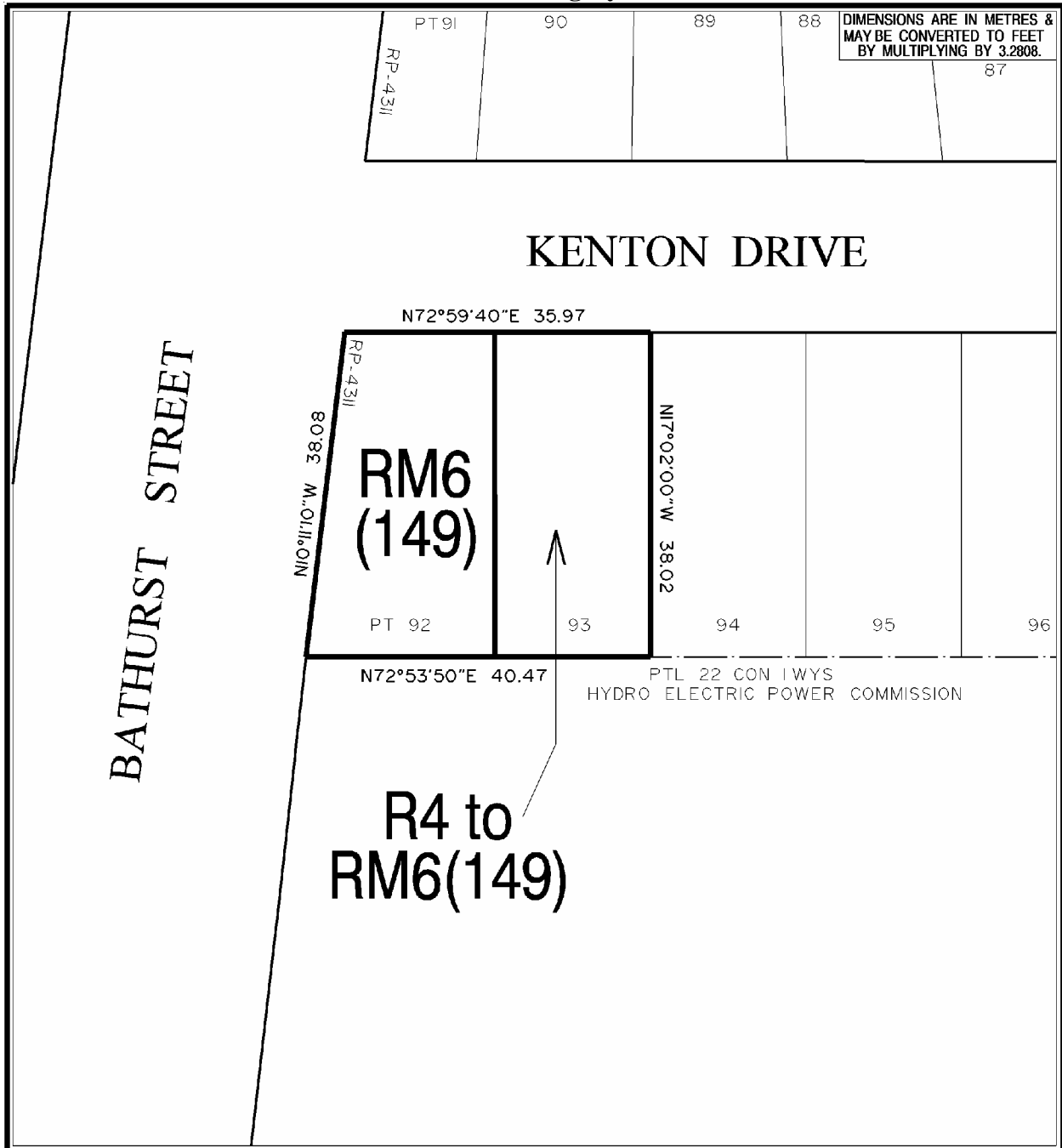
ENACTED AND PASSED this ~ day of ~, A.D. 2006.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS,
City Clerk

(Corporate Seal)

Attachment 7: Draft Zoning By-Law Schedule 1



DIMENSIONS ARE IN METRES & MAY BE CONVERTED TO FEET BY MULTIPLYING BY 3.2808.
87

This is Schedule " 1 " to By-Law _____
 passed the _____ day of _____, 20 ____

(Sgd.) _____ (Sgd.) _____
 CLERK MAYOR

Location: Part of Lot 92 and Lot 93 Registered Plan 4311, City of Toronto

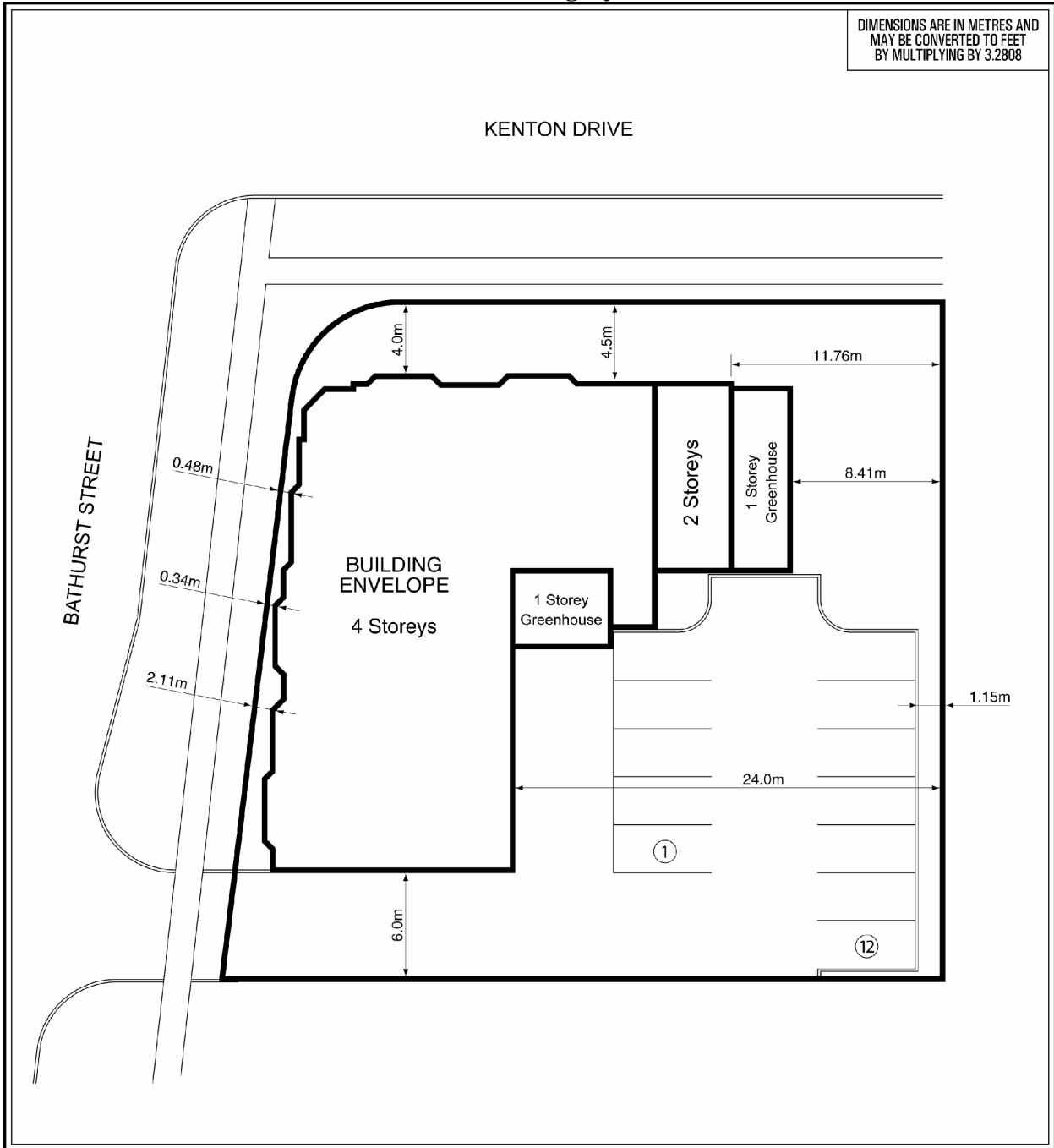
File No. 06_137612 Prepared by: A.K. Approved by: B.D. Date: August 15, 2006 Filename: RM6(149)_1

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
 Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.

TORONTO
 City Planning Division
 North District

SUBJECT PROPERTY

Attachment 8: Draft Zoning By-Law Schedule 2



<p>This is Schedule "RM6(149)" to Bylaw _____ passed the _____ day of _____, 20____</p>		<p>TORONTO Urban Development Services Community Planning North</p>
(Sgd.) _____ CLERK	(Sgd.) _____ MAYOR	
Location: Part of Lot 92 and Lot 93 Registered Plan 4311 City of Toronto		
File No: 06_137612	Drawn by: A.K.	Approved by: B.D.
Date: August, 2006	Filename: RM6(149).ai	

Subject Lands	Not to Scale
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Attachment 9: Conditions of Site Plan Approval

A 48 bed, 4-storey residential care Facility as outlined in the following plans and drawings:

Site Plan (A2) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Landscaping Plan (A3) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Basement Floor Plan (A4) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

First Floor Plan (A5) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Second Floor Plan (A6) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Third Floor Plan (A7) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Fourth Floor Plan (A8) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Front Elevation (Kenton Side) (A9) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Right Side Elevation (Bathurst Side) (A10) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Left (East) Side Elevation (A11) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Rear (South) Elevation (A12) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre,

Roof Plan (A13) dated 28.07.06 and stamped received July 31, 2006 City of Toronto Planning North York Civic Centre.

Before we can grant approval to your proposal we require that the following conditions be fulfilled:

1. The execution of a site plan agreement.
2. Submission of financial securities as detailed below.
3. The owner shall provide a tree planting financial security for tree planting in the form of an irrevocable Letter of Credit or certified cheque payable to the Treasurer, City of Toronto, in the amount of \$588.00 per tree (subject to change) for each new tree planting within the City Road allowance to guarantee the healthy growth of the tree(s) for a period of two years. The tree planting financial security in the amount of \$5,880.00 must be submitted to the attention of Harold Moffat, Supervisor of Urban Forestry Planning and Protection.
4. The Owner shall submit a cost estimate for 100% of the value of the landscaping to be located at the subject lands, and as detailed in the approved Landscaping Plan noted above. Upon verification, the Owner shall provide a letter of credit or certified cheque to the City Treasurer, for a period of two years and which shall provide for automatic renewal rights at the end of the term, for 120% of the accepted value of the landscaping.

5. Based upon Planning/Urban Design request, the owner shall deposit, prior to site plan approval, an additional letter of credit or certified cheque with the Technical Services for the estimated cost of construction and a certified cheque for the 3% Engineering review fee of the following works:
 - a) Extension and construction of the sidewalk along the 3 Kenton Drive frontage of the lot, from the previously proposed sidewalk to a point 16 metres east. The estimated cost is \$2,600.00.
 - b) \$78.00 representing the 3% engineering review fee for the above work.

The above works shall be constructed by the owner anytime after the site plan approval provided:

- i) The owner sign and adhere to the “Terms and Conditions for the Work on City of Toronto Public Rights-of-Way”;
 - ii) The owner is required to pay an engineering review fee of 3% of the estimated construction cost of the required work.
6. The owner shall convey or cause to be conveyed to the City for a nominal sum, free of all encumbrances, the following lands for dedication as public highway:
 - a) A 6.1 metre radius rounding at the corner of Kenton Drive and Bathurst Street.

Deeds for these lands, in a satisfactory form, shall be deposited with the City Solicitor and shall be registered by the City prior to the issuance of an excavation and shoring permit for the development. The owner shall provide to the Technical Services Department (Survey and Mapping Services), a draft reference plan (integrated with the Ontario Co-ordinate System), showing as parts thereof all lands to be conveyed to the City, complete with dimensions. The applicant must contact John House – Supervisor of Property Records (416-392-8338) in this regard. All registration costs and costs to prepare the reference plan(s) shall be paid by the owner.

7. Driveway curbs must be flush on either side of the sidewalk for a minimum of 0.45 metres.
8. The proposed driveway on City property must have a 2% to 6% slope positively graded towards the roadway.
9. The applicant shall restrict post-development runoff to pre-development runoff for the minor (2 year):
 - a) The permissible minor storm discharge from the subject development must be limited to the lesser of either the allowance included for the subject site in the design of the City’s existing intercepting storm sewer or to the existing pre-development site runoff resulting from a 2 year design storm. Any resulting post development runoff in excess of this permissible discharge must be controlled and detained on-site.

The maximum allowable storm water discharge rate from the subject development into the City’s intercepting storm sewers on Kenton Drive and/or Bathurst Street shall be limited to 23.4 L/s, which is derived from a 50% runoff coefficient and a 116mm/hr rainfall intensity over the site area. Any excess is to be stored on-site.

- b) The owner must submit a storm water management report and servicing plan for review by Technical Services which meets the City requirements for Storm water management, prior to site plan approval.

10. All refuse and recycling shall be contained within the building. Refuse and recycling materials shall be transported to the collection area on collection days only.
11. If the owner requests the City to collect garbage and recycling for the development, the owner will enter into an agreement with the City for such collection services. Garbage and recycling shall be collected curbside along the Bathurst Street frontage of the development.

Please note that if these conditions are not fulfilled within 2 years of the date of this notice, then this notice is no longer valid and a new submission is required unless a written request for time extension is received and granted by the Director of Community Planning.

In addition to the above, the following conditions are to be fulfilled following site plan approval and will be incorporated into a site plan agreement:

1. This approval is valid for a period of two years from the date of the approval.
2. The lands shall be developed and maintained in accordance with the approved Site Plan drawings and condition of approval. The Owner acknowledges that notwithstanding this approval, the lands shall be developed in accordance with the applicable zoning by-law(s) and that it is the responsibility of the Owner to ensure that the development is in conformity with the applicable zoning by-law(s) to the satisfaction of the Chief Building Official.
3. Above-grade electrical transformers, gas regulators, and other equipment are not permitted above grade in any yard abutting a public street unless screened from view with landscaping or fencing to the satisfaction of the Director, or his successor.
4. The municipal address is to be well-illuminated, provided in a prominent location and designed to be easily readable from adjacent streets.
5. All site illumination shall be designed to prevent the spread of light onto adjacent properties.
6. Existing drainage patterns on adjacent properties shall not be altered and storm water runoff from the subject development shall not be directed to drain on adjacent properties.
7. The applicant must comply with the Public Roads Policy, which requires a minimum pavement width of 6.0 Metres on private common driveways.
8. The owner shall plant ten new trees within the City road allowance, as shown on Landscape Plan, by Benjamin Schultz Architect, dated May 18, 2006, drawing A3, to the satisfaction of the General Manager of Parks, Forestry and Recreation and in accordance with the Planting Detail N0. 101 for Balled and Burlapped Tress in Turf Areas, dated June 2002.
9. The owner shall ensure a clearance of 1.2 metres from the edge of a tree's root ball to the edge of the underground utility(s). For clearance less than 1.2 metres but greater than or equal to 0.6 metres, a root deflector must be installed in the tree pit between the tree's root ball and the utility(s).
10. The owner shall maintain all new tree plantings within the City road allowance in good condition. Trees will be inspected at the end of the 2 year maintenance period. If the trees are in good condition at the end of the maintenance period, the City will assume maintenance and ownership of the trees.

11. The owner shall be responsible for the maintenance and/or replacement of all new tree plantings within the City road allowance during the 2 year maintenance period. In the event that the trees are not in good condition, require maintenance or require replacement, following the 2 year maintenance period, the owner will be responsible for rectifying the problem as determined by and to the satisfaction of the General Manager of Parks, Forestry and Recreation.
12. Sidewalks must extend across all unsignalized access driveways in accordance with municipal Standards, to the satisfaction of the General Manager of Transportation Services, at no cost to the City of Toronto.
13. The applicant is required to provide parking spaces on-site, at a rate of 0.25 spaces per bed.
14. Where a turn around area is required, a depth of at least 2.7m must be provided for the turn around space and permits vehicles to reverse from the parking spaces and exit in a forward direction. All turnaround areas must be hatched out with painted line markings prohibiting parking in the space.
15. The width of the access driveway and parking aisle must be maintained at 6.0m, as per Zoning By-law 7625, so as to facilitate vehicular traffic into and out of the site.
16. All regular parking spaces provided must be maintained at a minimum of 2.7m by 5.5m as per By-law 7625.
17. As per By-law 7625, the access driveway must maintain a width of 6.0m and the corresponding curb radii at 4.5m, respectively, for the Bathurst Street access.
18. The applicant must enter into an encroachment agreement with Right-of-Way Management, with regards to any pedestrian walkways, from the subject site, that encroaches into the municipal Right-of-Way, namely along Kenton Drive and Bathurst Street.
19. Any encroachments within Municipal Road Allowances will not be permitted unless they are explicitly approved by the Right-of-Way Management section of Transportation Services. The applicant is required to contact the section through the permit approval process to obtain the exact particulars of these requirements. For further information, please contact the Right-of-Way Management Section, Toronto North District at (416) 395-7112.
20. Snow must be stored on site such that the driving aisle widths are not reduced and vehicular sightlines are not affected. Snow which cannot be adequately stored on site must be cleared and removed from the site by the owner/building management after each snowfall.
21. All accesses must be at least 1.0 metres from existing utilities and must be explicitly shown on site plan drawings. If required, the relocation of any public utilities (utility poles and their guy wires, etc.) would be at the cost of the developer and shall be subject to the approval of the applicable governing agencies.
22. In accordance with Zoning By-law 7625, all on-site driveways and parking areas must be surfaced and maintained with asphalt, concrete, or interlocking stone.
23. All existing redundant curb cuts must be closed and restored to the satisfaction of the Executive Director of Technical Services.