

609 Avenue Road – Official Plan, Zoning, Site Plan, Applications – Supplementary Report

Date:	June 25, 2007
To:	Toronto and East York Community Council
From:	Director, Community Planning, Toronto and East York District
Wards:	St. Paul’s – Ward 22
Reference Number:	File Nos. 05-193926 STE 22 OZ and 06-103544 STE 22 SA

SUMMARY

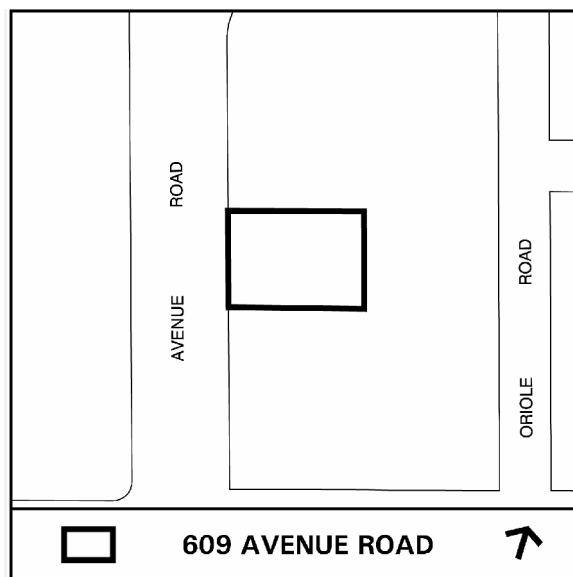
This application was the subject of a previous Planning Staff Report dated May 22, 2007, in which staff recommended a settlement position before the Ontario Municipal Board. Community Council deferred consideration of this item to its June 26, 2007 meeting.

The purpose of this report is to respond to Community Council’s request for further information with respect to building design, Green Development Standards, and consultation with the applicant and Ward Councillor.

RECOMMENDATIONS

The City Planning Division recommends that:

1. City Council direct the City Solicitor to appear at the Ontario Municipal Board to support the revised applications to amend the Official Plan and Zoning By-law and the associated Site Plan application respecting the construction of a 16-storey residential condominium at 609 Avenue Road as set out in the Planning Staff report dated May 22,



2007, subject to:

- (a) revisions to Map 1 of the draft zoning by-law as shown in Attachment 1 to this report; and
 - (b) additional conditions of Site Plan Approval requiring the applicant to submit revised plans, as appropriate, to reflect adherence to the Green Development Standard, as detailed in Attachment 2 to this report; and
2. City Council authorize the entering into and execution of an agreement pursuant to Section 37 of the Planning Act to secure, as a legal convenience, building materials, site plan and construction details and other appropriate measures to implement the Toronto Green Development Standard as detailed in this report, in addition to previously identified community benefits.

Financial Impact

The recommendations in this report have no financial impact.

DECISION HISTORY

At its meeting of May 29, 2007, Toronto and East York Community Council deferred consideration of the development applications for 609 Avenue Road and requested that:

- the Director, Urban Design, City Planning in consultation with the Ward Councillor, work with the applicant on the design of the building to ensure that it responds consistently with the existing conditions on Avenue Road, and that building materials and design details be secured through a Section 37 Agreement, and report to the June 26, 2007 Toronto and East York Community Council meeting; and
- the Director, Community Planning, Toronto and East York District work with the applicant to improve the performance of the project against the Green Development Standard and report to the June 26, 2007 Toronto and East York Community Council meeting.

COMMENTS

City Planning staff have responded to Community Council's requests and offer the following comments for consideration.

Building Design

City Planning and Urban Design staff initiated a meeting with the applicant to discuss the potential redesign of the building to better respond to its architectural context. The corridor of apartment buildings on Avenue Road between Lonsdale and St. Clair Avenue

West is characterized by a primarily modernist aesthetic with minimal ornamentation and a high proportion of glazing.

The proposed design for the development at 609 Avenue Road represents a more traditional form of architecture with punched windows, arched features and heavy cornice detailing. The applicants have submitted a revised elevation that proposes to maintain its traditional style, while changing the colours of the building materials from earth tones to a black-and-white palette (see Attachment 3). It also proposes to project balconies from the front building face, which is unacceptable. It is staff's opinion that this revision does not represent a meaningful change in the spirit of Community Council's request and cannot be recommended.

However, as there is no legislative authority to regulate architectural style, this assessment does not affect the recommendations contained in the Planning Staff report dated May 22, 2007.

City staff also convened a meeting with the applicant, Ward Councillor's office and neighbouring residents on June 22, 2007. One of the residents' representatives in attendance tabled an alternative building envelope for consideration by the applicant as a potential settlement position. The applicant has since responded that they have opted not to alter the building envelope and will be pursuing the same scheme as detailed in the May 22, 2007 staff report.

Green Development Standard

The applicant has submitted a revised checklist indicating greater regard for the Green Development Standard.

The proposed development now intends to achieve 28 of the 35 minimum requirements, increased from 19. The applicant has also indicated an intention to achieve 15 enhanced targets, increased from 5. Among the additional standards listed in the applicant's checklist are:

- 20% of locally-sourced materials;
- dedicated parking spaces for carpooling/car sharing and ultra low emission vehicles;
- minimizing emissions of air, dust and Volatile Organic Compounds during construction and demolition;
- green roof installed with at least 50% coverage of the roof, with the remainder to be covered with light-coloured roofing materials;
- light coloured materials for at least 50% of hardscaping at grade;
- 70% of developer-supplied appliances to be Energy Star compliant; and
- provision of user-friendly and accessible handling and storage facilities provided for organic waste.

Planning staff recommend that, where appropriate, the applicant be required to submit revised plans to demonstrate adherence to the Green Development Standard, as a pre-condition of Site Plan Approval. Additional Conditions of Approval recommended to be added to the May 22, 2007 report are detailed in Attachment 2 to this report. Outstanding targets related to building construction details can be secured as a legal convenience in the Section 37 agreement related to this development.

Revised Zoning By-law

Staff are recommending a technical change to the draft zoning by-law attached to the Planning staff report dated May 22, 2007. The effect of the change is to remove the zoning designation from Map 1, so that its purpose is only to define the subject site, consistent with standard practice.

CONTACT

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SIGNATURE

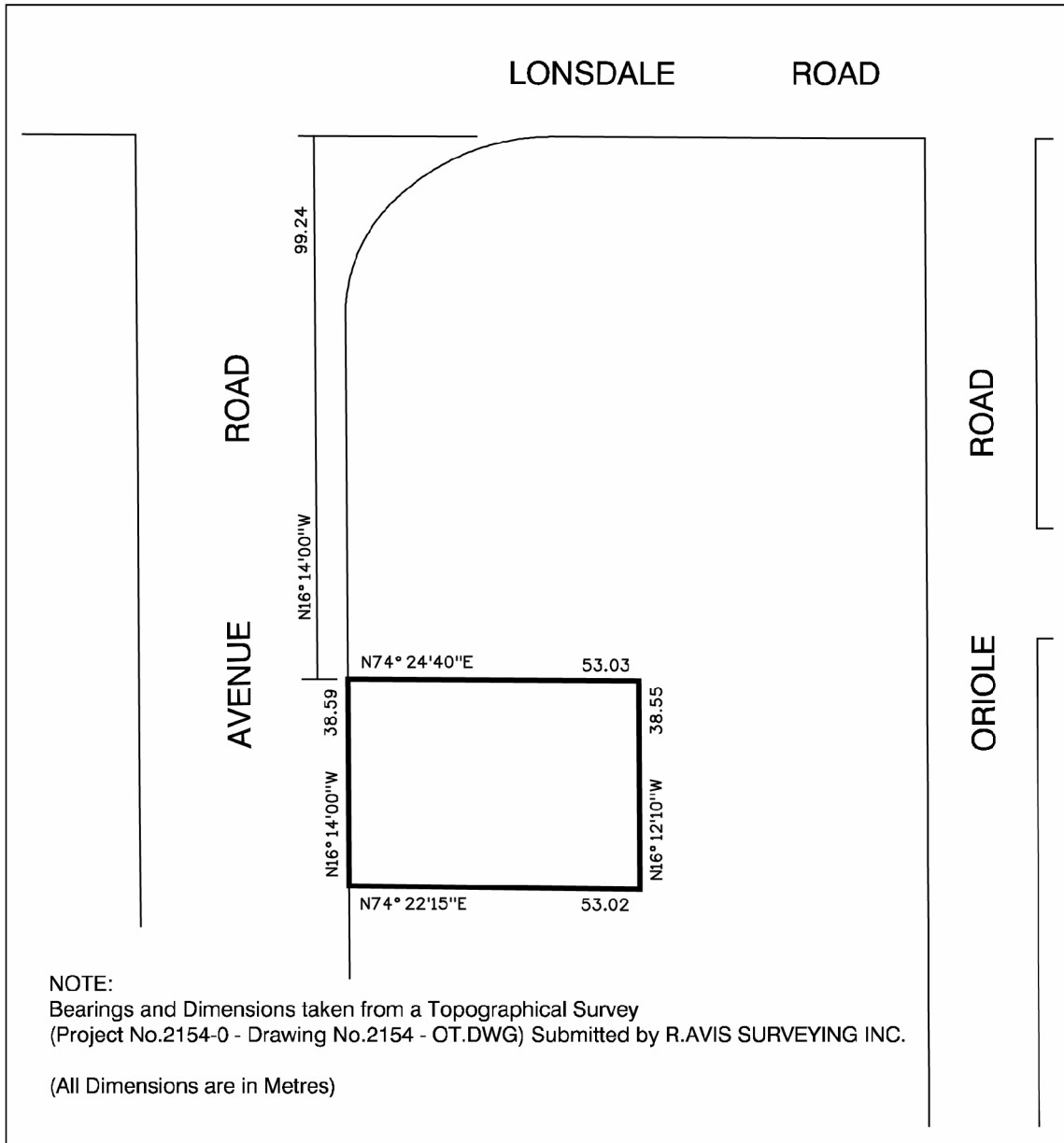
Gary Wright, Director
Community Planning, Toronto and East York District

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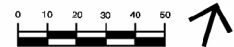
ATTACHMENTS

Attachment 1: Revised Draft Zoning By-law – Map 1
Attachment 2: Revised Conditions of Approval
Attachment 3: Applicant's Revised Elevation

Attachment 1: Revised Draft Zoning By-law - Map 1



NOTE:
 Bearings and Dimensions taken from a Topographical Survey
 (Project No.2154-0 - Drawing No.2154 - OT.DWG) Submitted by R.AVIS SURVEYING INC.
 (All Dimensions are in Metres)



Attachment 2 – Additional Conditions of Site Plan Approval

The following conditions are recommended to be added to Section B (1) of Attachment 2: “Recommended Conditions of Approval” as detailed in the Planning Staff Report dated May 22, 2007:

B. (1) Prior to Site Plan Approval, the applicant shall submit revised plans, studies and/or documentation to the satisfaction of the Chief Planner and Executive Director, City Planning Division, the General Manager of Parks, Forestry and Recreation and the Executive Director of Technical Services, as may be required, to illustrate and/or note the following:

- (r) dedicated parking spaces for carpooling or car sharing;
- (s) dedicated parking spaces for ultra low emission vehicles;
- (t) a combination of green roof and light coloured roofing materials installed for 75% of the roof;
- (u) light coloured materials for at least 50% of all hardscape, including surface parking, walkways and other areas; and
- (v) the use of drought-resistant plant materials in soft landscaping on site.

Attachment 3: Applicant's Revised Elevation

