

**5 and 7 Pilkington Dr, and 34, 36, 38, 40 Goulden Cres
(350 Danforth Rd) – Part Lot Control Application – Final
Report**

Date:	June 3, 2008
To:	Scarborough Community Council
From:	Director, Community Planning, Scarborough District
Wards:	Ward 35 – Scarborough Southwest
Reference Number:	08 146122 ESC 35 PL

SUMMARY

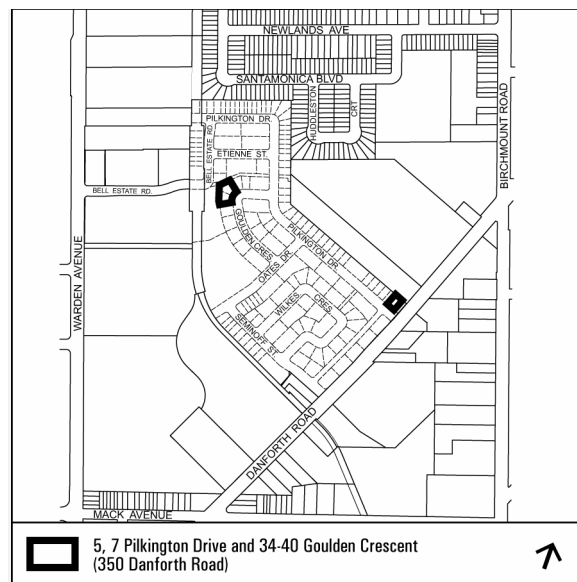
This application was made on or after January 1, 2007 and is subject to the new provisions of the Planning Act and the City of Toronto Act, 2006.

An application has been submitted to permit exemption from part lot control for 5 and 7 Pilkington Drive, and 34, 36, 38 and 40 Goulden Crescent (part of the larger property known as 350 Danforth Road), to allow the development of 6 semi-detached dwelling units. This report recommends that a part lot control exemption by-law be enacted for a period of one year.

RECOMMENDATIONS

The City Planning Division recommends that:

1. City Council enact a part lot control exemption by-law with respect to the subject property for Lots 2, 61 and 62 of Plan 66M-2437, to be prepared to the satisfaction of the City Solicitor and to expire one year from the date of its passing.



2. City Council require the Owner to provide staff with proof of payment of all current property taxes for the subject lands prior to the enactment of the part lot control exemption by-law.

Financial Impact

The recommendations in this report have no financial impact.

DECISION HISTORY

The related Official Plan and Zoning By-law Amendment Application 03 035270 ESC 35 OZ and Draft Plan of Subdivision Application 04 117084 ESC 35 SB sought approval for the development of the overall site at 350 Danforth Road with a residential subdivision including a public park. These applications were appealed to the Ontario Municipal Board (OMB). A settlement was reached between the Owner and the City, and residential zoning and a plan of subdivision for 350 Danforth Road were approved by the OMB in a series of decisions issued in 2005 and 2007. A subdivision agreement between the City and the Owner was executed on October 25, 2006. The subdivision was registered as Plan 66M-2437 on April 13, 2007.

ISSUE BACKGROUND

Proposal

The lots front onto new public roads within the 350 Danforth Road property, and are municipally addressed as 5 and 7 Pilkington Drive (Lot 2), 34 and 36 Goulden Crescent (Lot 62), and 38 and 40 Goulden Crescent (Lot 61). (Refer to Attachment 4 for the project data).

The application seeks exemption from part lot control in order to enable the division of land to create parcels conveyable as separate ownerships for 6 semi-detached dwellings.

Site and Surrounding Area

The subject property is situated on the north side of Danforth Road between Warden Avenue and Birchmount Road. Construction of the approved residential subdivision has commenced. The portions of 350 Danforth Road which are the subject of the current application for part lot control exemption include lots in the interior of the site.

The property at 350 Danforth Road is bounded on the east by the TTC Birchmount Bus Garage and on the north by an existing residential neighbourhood. Industrial uses, the proposed residential subdivisions at 300 Danforth Road and 671 Warden Avenue, and the historic Bell Estate house are located west of the site. Industrial uses in the Oakridge Employment District are located on the south side of Danforth Road.

Official Plan

The subject property is designated as Neighbourhoods in the Warden Woods Community Secondary Plan. These areas are considered physically stable areas made up of residential uses in lower scale buildings such as detached houses, semi-detached houses,

duplexes, triplexes and townhouses, as well as interspersed walk-up apartments that are no higher than four storeys.

Zoning

The subject portions of 350 Danforth Road are zoned Semi-Detached Residential (SD). The uses permitted in the SD zone include semi-detached dwellings, correctional group homes in single detached dwellings only on lots that front onto certain arterial roads including Danforth Road, and group homes, as well as domestic or household arts and private home day care as ancillary uses.

Agency Circulation

The application was circulated to all appropriate City divisions. No issues were identified as a result of the circulation.

COMMENTS

Section 50(7) of the Planning Act authorizes Council to adopt a by-law exempting lands within a registered plan of subdivision from part lot control. The release of part lot control would allow for the conveyance of each residential unit. In order to ensure that part lot control is not lifted indefinitely, it is recommended that the exempting by-law expire one year after being enacted.

The lifting of part lot control on the subject lands and the proposed by-law will enable the sale of the subject residential units in a manner that fully complies with the Official Plan and zoning by-law, and is considered appropriate for the orderly development of the lands.

CONTACT

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SIGNATURE

Allen Appleby, Director
Community Planning, Scarborough District

ATTACHMENTS

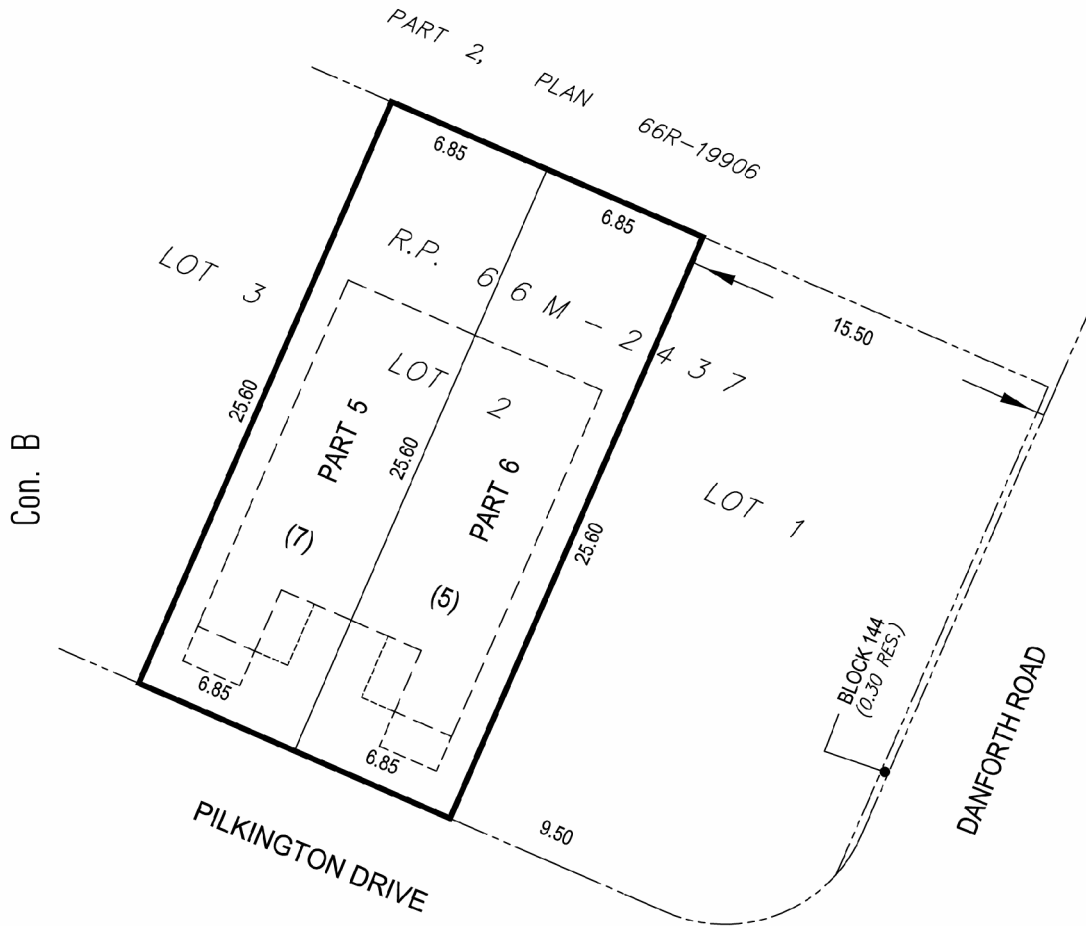
Attachment 1: Part Lot Control Exemption Plan (Schedule '1')
Attachment 2: Part Lot Control Exemption Plan (Schedule '2')

Attachment 3: Zoning
Attachment 4: Application Data Sheet

Attachment 1: Part Lot Control Exemption Plan (Schedule '1')

Schedule '1'

Lot 31



Part Lot Control Exemption

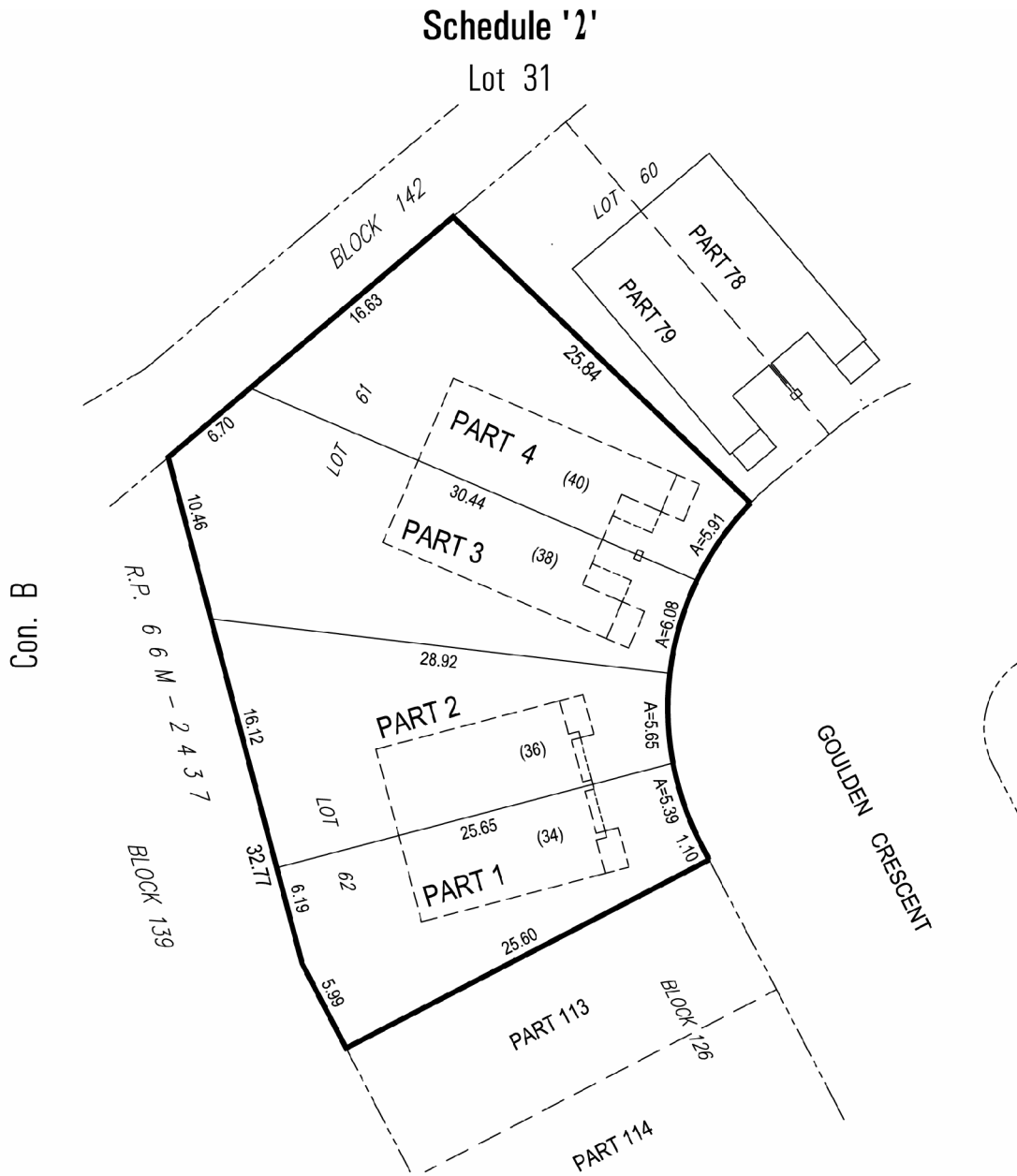
5 and 7 Pilkington Drive
 (350 Danforth Road)
 File # 07 271623 PL

 Area Affected By This By-Law

Oakridge Employment District By-law
 Not to Scale
 05/05/08



Attachment 2: Part Lot Control Exemption Plan (Schedule '2')



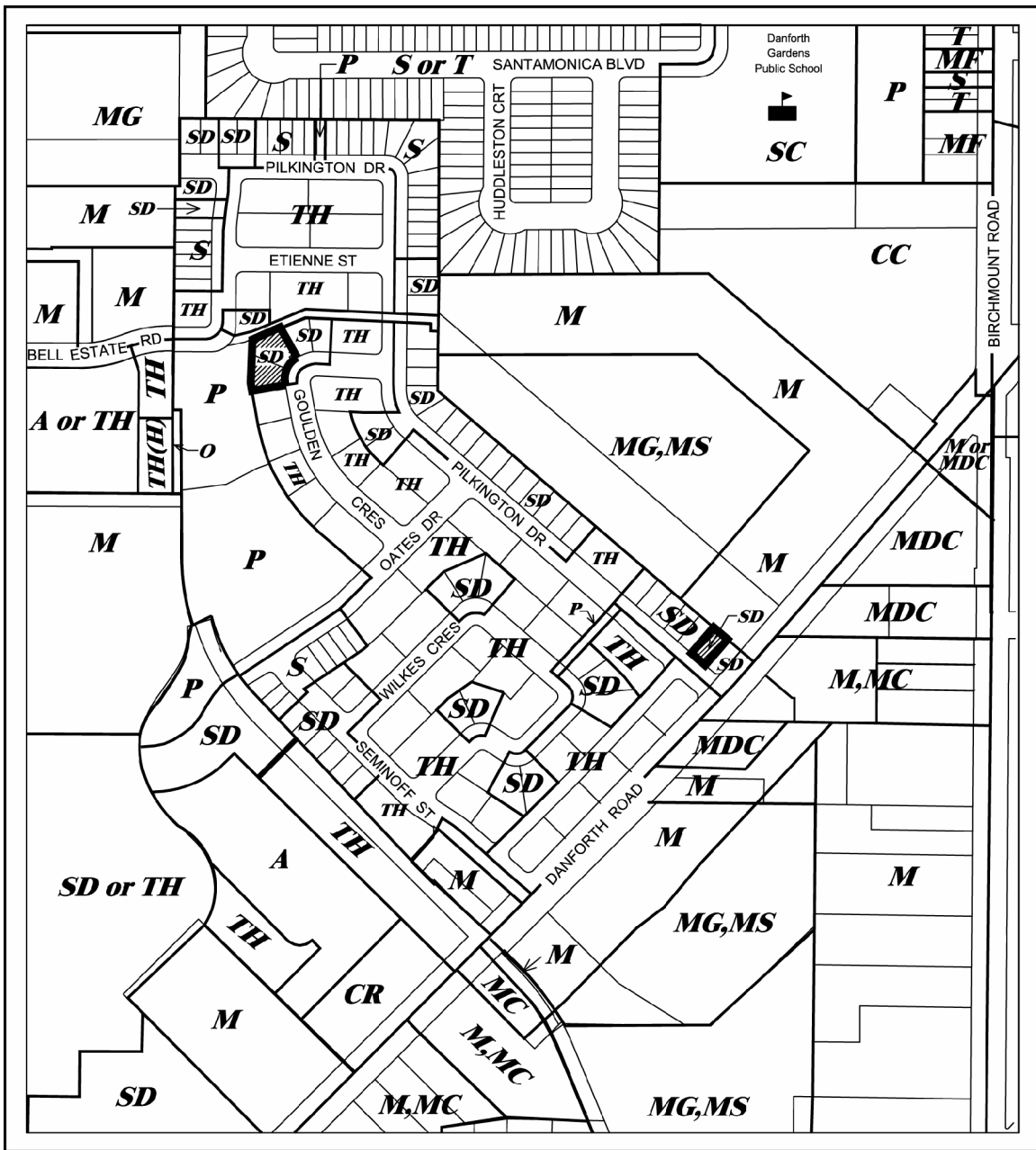
Part Lot Control Exemption

34-40 Goulden Crescent
(350 Danforth Road)
File # 07 271623 PL

 Area Affected By This By-Law

Oakridge Employment District By-law
Not to Scale
05/05/08


Attachment 3: Zoning



TORONTO City Planning Division
Zoning

5 and 7 Pilkington Drive and 34-40 Goulden Crescent
 (350 Danforth Road)
 File # 07 271623 PL

 Location of Application	TH Townhouse Residential Zone	(H) Holding Provision	MDC Industrial District Commercial Zone
S Single-Detached Residential Zone	A Apartment Residential Zone	M Industrial Zone	PU Public Utilities
SD Semi-Detached Residential Zone	CR Commercial / Residential Zone	MC Industrial Commercial Zone	I-PT Institutional - Public Transit Zone
MF Multiple Family Residential	P Park	MS Special Industrial Zone	
	CC Community Commercial	MG General Industrial Zone	

↑ Not to Scale
05/05/08

Attachment 4: Application Data Sheet

Application Type	Part Lot Control Exemption	Application Number:	08 146122 ESC 35 PL
Details		Application Date:	April 11, 2008

Municipal Address: 350 DANFORTH RD
 Location Description: CON B PT LOT 31, 32 AND RP 66R3730 PART 1 PLAN M572 PT BLK A **GRID E3507
 Project Description: Part lot control exemption for Lots 2, 61 and 62 on Plan 66M-2437 to allow for the creation of 6 freehold semi-detached units at 5-7 Pilkington Drive and 34-40 Goulden Crescent (350 Danforth Road).

Applicant:	Agent:	Architect:	Owner:
MONARCH CORPORATION			ZHAVAVISH HOLDINGS LTD

PLANNING CONTROLS

Official Plan Designation:	Neighbourhoods	Site Specific Provision:	
Zoning:	SD	Historical Status:	
Height Limit (m):		Site Plan Control Area:	N

PROJECT INFORMATION

Site Area (sq. m):	1509	Height:	Storeys:	0
Frontage (m):	6.85		Metres:	0
Depth (m):	25			
Total Ground Floor Area (sq. m):	0			Total
Total Residential GFA (sq. m):	0		Parking Spaces:	12
Total Non-Residential GFA (sq. m):	0		Loading Docks	0
Total GFA (sq. m):	0			
Lot Coverage Ratio (%):	0			
Floor Space Index:	0			

DWELLING UNITS

Tenure Type:	Freehold
Rooms:	0
Bachelor:	0
1 Bedroom:	0
2 Bedroom:	0
3 + Bedroom:	0
Total Units:	6

FLOOR AREA BREAKDOWN (upon project completion)

	Above Grade	Below Grade
Residential GFA (sq. m):	0	0
Retail GFA (sq. m):	0	0
Office GFA (sq. m):	0	0
Industrial GFA (sq. m):	0	0
Institutional/Other GFA (sq. m):	0	0

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