

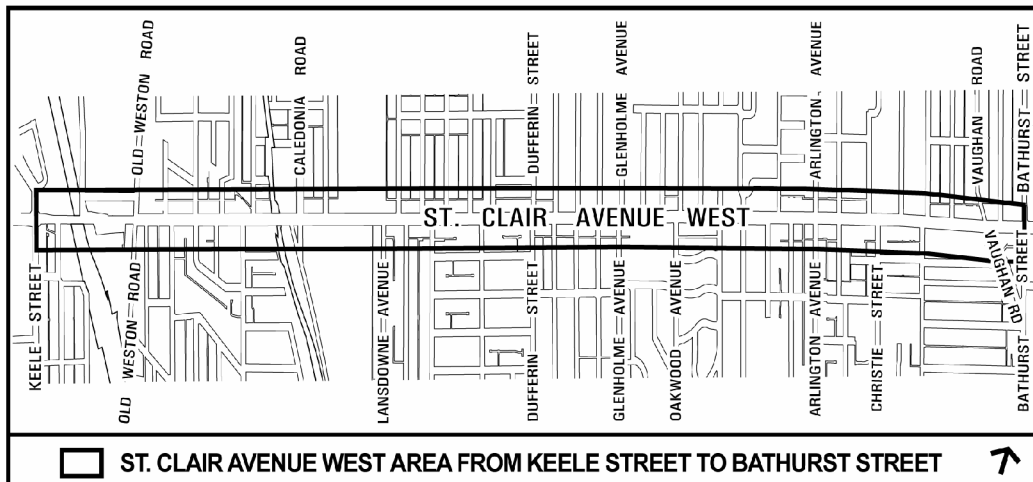
**City Initiated Avenue Study for St. Clair Avenue West
between Bathurst Street and Keele Street – Final Report**

Date:	May 11, 2009
To:	Planning and Growth Management Committee
From:	Chief Planner and Executive Director, City Planning Division
Wards:	Ward 11 – York South Weston Ward 17 – Davenport Ward 21 – St. Paul's
Reference Number:	File Nos. 05-189781 WET 11 TM and 06-115914 SPS 00 TM p:\2009\cluster B\pln\pg090028

SUMMARY

This City-initiated Official Plan amendment and Zoning By-law amendment are subject to the new provisions of the *Planning Act* and the *City of Toronto Act, 2006*.

This report recommends approval of amendments to the Official Plan and the former City of Toronto Zoning By-law 438-86 to implement the findings and recommendations of the St. Clair Avenue Study conducted for the segment between Bathurst Street and Keele Street as shown in Attachment 1. The report also recommends adoption of Urban Design Guidelines and outlines implementation strategies to achieve, over time the revitalization of St. Clair Avenue West within this Avenue segment.



The proposed initiatives and recommendations contained in this report support the Avenue policies of the Official Plan. They will assist in creating opportunities for the reurbanization along St. Clair Avenue West to encourage redevelopment, new housing and job opportunities while improving the pedestrian environment.

The amendments to the Official Plan and Zoning By-law are intended to help facilitate intensification that supports the existing and future retail uses along St. Clair Avenue West, as well as encourage transit usage. The desired built form for St. Clair Avenue West is intended to create a balance between new developments on the *Avenue* and the low-rise *Neighbourhoods* to the north and south of St. Clair Avenue West. This planned balance is designed to help mitigate impacts that new developments would have on the *Neighbourhoods*.

As part of the study process two consultant teams were retained to assist City staff. Office for Urbanism in association with MSAi Architects and Marshall Macklin Monaghan conducted the study for the segment between Keele Street and Glenholme Avenue. Brook McIlroy Planning + Urban Design/Pace Architects in association with MSAi Architects and Marshall Macklin Monaghan conducted the study for the segment between Bathurst Street and Glenholme Avenue. Copies of the consultants' Final Reports were posted on the City's website for each respective study area.

RECOMMENDATIONS

The City Planning Division recommends that:

1. City Council direct the Directors of Community Planning in both Toronto and East York and Etobicoke York Districts to report back, in two years from the date at which the By-laws come into force and effect, to their respective Community Councils on the status of development within their respective segments of St. Clair Avenue West;
2. City Council amend the Official Plan substantially in accordance with the draft Official Plan Amendment attached as Attachment No. 2;
3. City Council amend Zoning By-law 438-86 for the former City of Toronto substantially in accordance with the draft Zoning By-law Amendment attached as Attachment No. 3;
4. City Council authorize the City Solicitor to make such stylistic and technical changes to the draft Official Plan Amendment and draft Zoning By-law as may be required.
5. City Council adopt, in principle, the Urban Design Guidelines for St. Clair Avenue West between Bathurst Street to Glenholme Avenue as provided in Section 4, pages 36 to 45 of the Final Consultant Report (dated December 2007), attached as Attachment No. 4;

6. City Council adopt, in principle, the Urban Design Guidelines for St. Clair Avenue West between Keele Street to Glenholme Avenue, attached as Attachment No. 5;
7. City Council direct City Planning staff to examine, either through a Local Area Study or as part of the 5-year Official Plan Review, the long term feasibility of the existing land use designations and uses for the Keele Street Node and Old Weston Road Node and to report back to Council on the findings of their review;
8. City Council direct the Chief Planner and Executive Director, City Planning in consultation with the General Manager, Economic Development, Culture and Tourism to report back on the feasibility of expanding the geographic area of the St. Clair Avenue West Community Improvement Plan as it relates to façade improvement.
9. City Council adopt the findings contained in the Community Services and Facilities Review set out in Attachments 6 and 7.
10. City Council adopt the St. Clair Avenue West Action Plan set out in Attachment No. 8, and direct the Chief Planner and Executive Director, City Planning to work with City staff to implement this Plan.

Financial Impact

The recommendations in this report have no financial impact.

DECISION HISTORY

At its meeting on June 14, 15 and 16, 2005, City Council endorsed three Avenue studies, two of which were to be undertaken along the length of St. Clair Avenue West, between Keele Street and Bathurst Street. The City retained two consulting firms to conduct two studies along St. Clair Avenue West where the dividing intersection between the two studies is Glenholme Avenue. Brook McIlroy Planning + Urban Design/Pace Architects conducted the study for the east portion of the study area, while Office for Urbanism conducted the study for the west portion. Both planning consultancies utilized the services of MSAi Architects and Marshall Macklin Monaghan as their sub-consultants.

ISSUE BACKGROUND

Selection of St. Clair Avenue West for an Avenue Study

The Official Plan identifies St. Clair Avenue West as an Avenue, which are areas intended to accommodate additional growth and intensification. The growing popularity of the surrounding residential areas, increasing demand for city living, recent improvements in the retail businesses, the need for residential housing choices and access to higher order public transportation, makes this area a prime candidate for a plan to help realize its full development potential. Given the 30-metre width of the St. Clair right-of-

way, the street can accommodate higher buildings than what is currently permitted under the Zoning By-law. A plan for St. Clair is needed to guide growth, in the form of mid-rise developments that provides an appropriate transition to the nearby neighbourhoods and reflects quality urban design and architecture. Any built form recommendations for St. Clair Avenue West ought to seek a balance between new developments and the need to mitigate impacts on existing low-rise Neighbourhoods to the north and south of St. Clair Avenue West.

St. Clair Streetcar Right-of-Way

At its meeting on September 28, 29, 30 and October 1, 2004, City Council approved the Preferred Design Concept for the St. Clair Avenue West Transit Improvements Class Environmental Assessment study process. This inter-divisional study process resulted in design recommendations for the build-out of the combined streetcar and road right-of-way along St. Clair Avenue West in the study area.

The staff report identified several reasons justifying the need for a dedicated right-of-way on St. Clair Avenue West, including, the streetcar tracks were at the end of their usable service life, the need to provide more reliable on-time service to TTC riders, the City's Official Plan designation of St. Clair Avenue as a surface transit priority route and a potential higher order transit link, and others. The report can be accessed at this link www.toronto.ca/legdocs/2004/agendas/committees/plt/plt040913/it001.pdf.

Through the Environmental Assessment process and related studies, Council also adopted streetscape design components for St. Clair Avenue West. These components consisted of sidewalk treatments, planters, streetcar platform designs, and other streetscape elements. As of the date of this report, construction of the streetcar right-of-way had commenced but is not complete.

The Avenue studies, therefore, focused on developing a built form that could implement the Official Plan policies of reurbanizing St. Clair Avenue West while working with the Council adopted streetscape design for area.

Lack of Development on St. Clair Avenue West

The north-west quadrant of Bathurst Street and St. Clair Avenue West is the only portion within the study area that has experienced any recent development. Throughout the consultation process, City staff heard that the lack of development interest along the remaining portion of the study area may be an indication that the current MCR zoning provisions do not provide sufficient incentive and flexibility to generate and accommodate development.

Purpose of the Study

The City's Official Plan identifies selected corridors along major streets as 'Avenues' where transit-supportive re-urbanization can create new jobs and housing while improving local streetscapes, infrastructure and amenities. Section 2.2.3 of the Official Plan establishes the policy objectives of Avenue studies. Among these policy objectives the Plan directs that both a vision and implementation plan be developed to demonstrate

how the streetscape and pedestrian environment can be improved; where new public open space can be created and existing parks improved; where trees should be planted, and how the use of the road allowance can be optimized.

The framework for redevelopment of the Avenues through an implementation strategy that includes performance standards prescribed in an area specific Zoning By-law and Urban Design Guidelines created in consultation with the local community. These studies seek to create opportunities for growth and redevelopment supported by high quality transit services, along with urban design and traffic engineering practices that promote a street that is safe, comfortable and attractive for pedestrians and cyclists.

To date, the City has initiated 17 Avenue Studies, including the two St. Clair Avenue West Avenue Studies. Eleven of the studies are completed and 6 are in various stages of completion. There are numerous opportunities or 'soft sites' within the St. Clair Avenue West study area for reurbanization to implement the objectives of the Official Plan.

Study Objectives

At the early phases of the study process, City Planning staff and the retained consultants devised very similar study objectives for each respective segment of St. Clair. Below are eight study objectives, which both studies sought to accomplish:

1. Create a vision for St. Clair that identifies key opportunities for reurbanization.
2. Make recommendations for future developments and open spaces.
3. Determine appropriate height and massing for new buildings.
4. Introduce transition strategies between new development and existing neighbourhoods.
5. Identify potential public realm improvements.
6. Make zoning recommendations to effectively accommodate future growth.
7. Provide parking strategies for St. Clair Ave. West and the surrounding neighbourhoods.
8. Develop urban design guidelines for the area.

Study Process

Although separate and distinct consultant reports were prepared, the study process under which they were undertaken ran concurrently with one another. The transportation and architectural sub-consultants were the same for the two project teams, which allowed for another level of consistency between the two studies. The final two consultant reports were submitted to the City on December 2007 (Bathurst Street to Glenholme Avenue) and August 2008 (Keele Street to Glenholme Avenue).

Since the submission of the final consultant reports, City Planning staff from Toronto and East York District and Etobicoke York District have merged the studies into one and coordinated additional analysis to test the consultants' recommendations. Staff tested the

consultant recommendations through 3D analysis and modeling, shadow studies, extensive internal and interdivisional consultation, comparison of other Avenue Study recommendations, detailed lot analysis, precedent study of mid-rise buildings and further community consultation. Staff held additional meetings with the respective Local Advisory Committees and hosted two community consultations meetings that were both well-attended.

Community Consultation

City Planning staff worked closely with the consultants to design and execute a concurrent consultation process for both segments of St. Clair Avenue West. The consultation strategy included community meetings, workshops and the establishment of Local Advisory Committees (LACs). The LAC membership comprised local residents, property and business owners, tenants, developers and the local ward councillors, who all provided input on specific topics and issues in the study area.

Throughout the course of the study, City staff maintained web sites where visitors to the sites could access background information, view public meeting materials, and make contact with the area planner to voice their concerns and opinions. The website links are www.toronto.ca/planning/stclairwest_bathurst.htm and www.toronto.ca/planning/stclairwest_keelee.htm.

The following community consultation events were held in the Toronto and East York (TEY) and Etobicoke York (EY) Districts:

1. Kick-off Meeting and Public Workshop (March 8, 2006-TEY; March 1, 2006-EY),
2. Community Design Workshop (May 3, 2006-TEY; April 19, 2006-EY),
3. Public Meeting (June 22, 2006-TEY; June 29, 2006-EY),
4. Implementation Public Meeting (February 16, 2009-TEY; February 17, 2009-EY),
and
5. Meetings of the Local Advisory Committee (Approx. 12 meetings held throughout the study process).

All public meetings and workshops were well attended. Comments received informed both the consultant's recommendations to the City as well as staff's recommendations contained in this report.

The proposed amendments to the Official Plan and Zoning By-law as well as the accompanying Urban Design Guidelines were generally well received by the members of Local Advisory Committee, residents and property owners who attended the consultation meetings. As part of the consultation process, staff from other City divisions and agencies were also requested to provide input.

Site and Surrounding Area

A defining feature of St. Clair Avenue West is its public right-of-way which, at 30-metres, is wider than the typical former City of Toronto main street. The TTC dedicated

streetcar right-of-way along St. Clair Avenue is currently under construction with a targeted completion date at the end of 2009.

St. Clair Avenue West between Bathurst Street and Keele Street is a diverse and eclectic street made up of a mix of building types, accommodating a range of business, institutional and residential uses. There exists a great diversity of building heights from one-storey commercial buildings to eight-storey mixed use buildings. A majority of the existing stock consists of one to three-storey high buildings.

Behind most blocks, there exists a rear laneway that is on average, 3-metres wide. Immediately to the north and south of the laneways, residential uses prevail. Closer to Caledonia Road and Old Weston Road, the adjacent uses are predominantly industrial.

Recent Redevelopment Approvals and Proposals

The following development proposals have either been approved or submitted to the City since the commencement of this study:

500 St. Clair Avenue West

At its meeting on September 28, 29, 30 and October 1, 2004, City Council adopted staff's recommendations to approve the 22-storey mixed use building at 500 St. Clair Avenue West. In April 2009, the Committee of Adjustment approved an application for an additional storey, raising the approved building to 23-storeys in height.

524 to 534 St. Clair Avenue West

City staff received an application, on July 25, 2008 to rezone the properties, immediately west of 500 St. Clair Avenue West, for a 22-storey mixed use building. Staff are currently in the process of reviewing a revised application on this site that proposes a lower 19-storey building.

50 Caledonia Park Road

An application was received on December 23, 2009 to amend the Official Plan and former City of Toronto Zoning By-law to permit 52 stacked townhouses on lands currently designated *Utility Corridors* and zoned for industrial uses. Staff are currently in the process of reviewing this application.

Provincial Policy Statement and Provincial Plans

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems and cultivating a culture of conservation.

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise use and management of resources; and, protecting public health and safety. City Council's planning decisions are required to be consistent

with the PPS. The PPS includes policies (Section 1.0) directing municipalities to manage and direct land uses in order to achieve efficient development patterns. In particular, PPS Policy 1.1.3.3 states that:

Planning authorities shall identify and promote opportunities for intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.

Section 4.5 further states the Official Plan is the most important vehicle for the implementation of the Provincial Policy Statement.

The implementation strategy for St. Clair Avenue West is consistent with these PPS policies, given that it is an area identified by the Official Plan for reurbanization. The proposed amendments to the Official Plan and Zoning By-law set out development standards that are intended to promote intensification and redevelopment in a mid-rise building form that is contextually appropriate for the area and minimizes adverse impacts on surrounding areas and uses. As well, by promoting a more intensified built form than what is currently permitted, the St. Clair implementation strategy may result in an increased level of ridership on the recently improved streetcar line, whose dedicated right-of-way is due for completion in 2009. As a companion to the proposed Zoning By-law and Official Plan amendments, Urban Design Guidelines are also intended to guide redevelopment along St. Clair Avenue West.

The recommendations and implementation strategy proposed for St. Clair Avenue West are consistent with the Growth Plan and Provincial Policy Statement.

Official Plan

The Official Plan identifies the entire stretch of St. Clair Avenue West between Bathurst Street and Keele Street as an Avenue on Map 2: Urban Structure, with the exception of the Earls Court Park and Prospect Cemetery, which are identified as part of the Green Space System. Avenues are intended to be transformed incrementally, changing building by building over a number of years. However not all Avenues or all segments of an Avenue will experience reurbanization.

Official Plan policies provide the vision for redevelopment of the Avenues, while site specific Zoning By-laws and Urban Design Guidelines implement this vision through the prescribed performance standards for new buildings. Redevelopment plans will be established by a new Zoning By-law and Urban Design Guidelines created in consultation with the local community. The growth and redevelopment of the Avenues should be supported by high quality transit services, along with urban design and traffic engineering practices that promote a street that is safe, comfortable and attractive for pedestrians.

The properties in the study area, fronting onto St. Clair Avenue West, with the exception of Earls court Park, Prospect Cemetery and lands from west of Caledonia and west of Old Weston Road to Keele Street, are designated *Mixed Use Areas* in the Official Plan. The *Mixed Use Areas* are made up of a broad range of commercial, residential and institutional uses, in single-use or mixed-use buildings, as well as parks and open spaces and utilities.

For *Mixed Use Areas*, the Official Plan (Section 4.5.2), sets out that development will, among other things:

- a) create a balance of high quality commercial, residential, institutional and open space uses that reduces automobile dependency and meets the needs of the local community;
- b) provide for new jobs and homes;
- c) locate and mass new buildings to provide a transition between areas of different development intensity and scale as necessary to achieve the objectives of the Official Plan, through such means as providing appropriate setbacks and/or a stepping down of heights, particularly towards lower scale *Neighbourhoods*;
- d) locate and mass new buildings so as to adequately limit shadow impacts on nearby *Neighbourhoods*, particularly during the spring and fall equinoxes;
- e) locate and mass new buildings to frame the edge of streets and parks with good proportion and maintain sunlight and comfortable wind conditions for pedestrians on adjacent streets, parks and open spaces.

Developments in *Mixed Use Areas* are intended to create an attractive, comfortable and safe pedestrian environment. They are to have access to nearby schools, parks, community centres, libraries and childcare, and take advantage of nearby transit services. New developments are to provide good site access and circulation and an adequate supply of parking for residents and visitors, locate and screen service areas, ramps and garbage storage to minimize the impact on adjacent streets and residences, and provide for indoor and outdoor recreation space for building residents in every significant multi-unit residential development.

The plan also contains policies for developments in *Mixed Use Areas* that are adjacent to or close to *Neighbourhoods*. In this case, much of the study area abuts lands with a *Neighbourhoods* designation. These policies are outlined in Section 2.3.1 Healthy *Neighbourhoods*. Developments in *Mixed Use Areas* that are close to *Neighbourhoods* will:

- a) be compatible with those *Neighbourhoods*;
- b) provide a gradual transition of scale and density, as necessary to achieve the objectives of this Plan through the stepping down of buildings towards and setbacks from those *Neighbourhoods*;
- c) maintain adequate light and privacy for residents in those *Neighbourhoods*; and

- d) attenuate resulting traffic and parking impacts on adjacent neighbourhood streets so as not to significantly diminish the residential amenity of those *Neighbourhoods*.

The Official Plan designates Earls court Park as *Parks and Open Space Areas - Parks* and Prospect Cemetery as *Other Open Space Areas – Other Open Space Areas*. In these areas, development is generally prohibited except for recreational and cultural facilities, conservation projects, cemetery facilities, public transit and essential public works and utilities where supported by appropriate assessment. As such, the implementing by-law and Official Plan amendment will not apply to these lands.

The Official Plan designates the St. Clair Avenue West properties west of Caledonia Road and Caledonia Park Road and from Old Weston Road to Keele Street as *Employment Areas*. These *Employment Areas* are not within an Employment District as shown on Map 2: Urban Structure. *Employment Areas* are places of business and economic activity. Uses that detract from the economic function of these lands will not be permitted to locate in *Employment Areas*. Similar to the *Parks and Open Space Areas - Parks* and *Other Open Space Areas – Other Open Space Areas* designated lands within the study area, the implementing Official Plan and Zoning by-law amendments will not apply to the *Employment Areas*. These areas are to be the subject of special area studies discussed later in this report.

Existing Zoning Provisions

The entire study area falls within the former City of Toronto boundaries, where By-law 438-86 applies. The majority of the properties fronting onto St. Clair Avenue West in the study area are zoned Mixed Commercial Residential (MCR), and have varying building height permissions and density allowances. A variety of commercial and residential uses are permitted in a MCR zone. Properties are permitted a maximum overall building height of 16 metres (or 5-storeys) and a combined density of 3.0 times the area of the lot. Residential uses are permitted at a maximum density of 2.5 times the area of the lot, while commercial uses are permitted a maximum density of 1.0 times the area of the lot.

Properties located between Bathurst Street and Vaughan Road have slightly higher permitted building heights of 18 metres with a maximum allowable density of 3.0 times the area of the lot.

There are also a number of properties that fall within different zoning categories. Earls court Park and the Prospect Cemetery are zoned as Park Districts (G), while properties at Caledonia Road and those west of Old Weston Road to Keele Street are zoned for Industrial uses (I). These industrially zoned lands have varying building height and density permissions and restrict residential uses.

Community Improvement Plan

A Community Improvement Plan (CIP) exists for the study area and was adopted by City Council in July 28, 2003 by By-law Number 259-2003, for the area between Glenholme Avenue and the CN Rail corridor west of Old Weston Road. The purpose of the CIP was

to implement a range of public and private property improvement projects. In particular, the CIP was intended to facilitate the Commercial Façade Improvement Program, administrated by the City's Economic Development, Culture and Tourism Division.

The City's Façade Improvement Program provides grants to commercial building owners whose properties are located in designated areas covered by Community Improvement Plans in order to improve the front of the commercial buildings through restoration, renovation and redesign. A number of property owners in the study area have taken advantage of this program to rehabilitate their front facades.

Concurrent Mid-rise Building Study

In 2008, the City retained Brook McIlroy Planning + Urban Design/Pace Architects to conduct a mid-rise building typology study that is intended to provide the City with recommended actions that would help encourage mid-rise development along the City's Avenues.

In addition to the recommendations contained in the consultant's final report, and the comments received from the public, staff considered the initial findings of the Mid-rise Building Study in drafting the site-specific Zoning By-law amendment attached as Attachment 3.

Agency Circulation

The recommendations presented in this report have been developed in consultation with all the appropriate agencies and City divisions.

COMMENTS

To achieve the reurbanization of St. Clair Avenue West, clear guidance is needed as to the appropriate built form for new developments to promote a vibrant pedestrian realm and experience. The implementation strategy is intended to encourage an intensified and transit-oriented urban environment which reflects quality urban design and respects the immediate neighbourhoods to the north and south of St. Clair Avenue West. In generating performance standards for new developments, staff have been very mindful of both identifying their potential impacts and proposing policies that would help mitigate them and protect the low-rise *Neighbourhoods*.

The following sections outline and describe the implementation strategy for the St. Clair Avenue West study area which includes a vision for St. Clair Avenue West, site and area specific amendments to the Official Plan and Zoning By-law as well as the adoption of Urban Design Guidelines. While most of the consultants' recommendations are supported and reflected in the following sections, some of their recommendations have not been carried over into the Official Plan amendment and implementing Zoning By-law.

The St. Clair Vision

Through the concurrent consultation processes for each segment, area residents, business and property owners, and other stakeholders were able to provide input into the study. Based on this input, each consultant team generated a vision, for the respective study segments along for St. Clair Avenue West. Planning staff were mindful of these distinct visions when drafting the recommendations and implementation strategies contained in this report.

Bathurst Street to Glenholme Avenue: 9 Guideline Goals

1. Encourage revitalization and intensification
2. Build on area distinctiveness
3. Plan for redevelopment that is economically viable
4. Encourage high quality mixed-use developments
5. Plan a vibrant pedestrian streetscape environment
6. Create new public amenity spaces
7. Provide for reasonable access to sunlight
8. Make environmental sustainability a priority
9. Protect and enhance heritage buildings

Keele Street to Glenholme Avenue: 13 Guiding Principles

1. **Mix & Variety of Land Uses** - Enable an intensified mixed use environment that protects existing employment opportunities yet attracts visitors, local residents, and new businesses that add to street life and promote St. Clair Avenue West's ongoing commercial viability.
2. **Built Form** - Encourage appropriately scaled redevelopment and revitalization of underutilized sites in such a way as to contribute to the pedestrian scale and fine-grain rhythm of uses and visual interest at the street edge.
3. **Massing** - The scale and height of new buildings should respect, be compatible with and provide transition to nearby low-rise residential neighbourhoods.
4. **Streets & Sidewalks** - Promote beautification and safety to enhance and improve the pedestrian experience on St. Clair Avenue West to encourage pedestrianism and active transportation.
5. **Environmental Sustainability** - Encourage development that enhances the quality of the natural environment including air quality and energy efficiency.
6. **Built Heritage & Character** - Identify and promote the preservation of landmark heritage buildings and encourage building designs that contribute to the distinct character of the area.

7. **Quality of Life & Identity** - Ensure that planned changes enhance the amenity and distinction of St. Clair Avenue West for residents/tenants and merchants, and that they reinforce the destination qualities for visitors to the area.
8. **Trees & Landscaping** - Enhance and expand the “green” aspects (such as trees and landscaping) of the public realm including St. Clair Avenue, adjacent local streets and open spaces.
9. **Gateways & Views** - Celebrate view corridors and landmark buildings that distinguish the area and announce one’s arrival to St.
10. **Meeting & Gathering Spaces** - Provide for a variety of new passive and active gathering spaces along St. Clair Avenue West in such a way that complements existing open spaces.
11. **Visual & Physical Connections** - Enhance and complete visual and physical connectivity across St. Clair Avenue West and adjacent neighbourhoods, including pedestrian and cyclist linkages.
12. **Parking & Traffic Management** - Meet new parking supply demands in a balanced manner while meeting urban design objectives of the area.
13. **Community Engagement** - Formally involve area residents and tenants, property and business owners, and interested individuals in the ongoing evolution of the St. Clair

Based on the St. Clair vision generated through public consultation, staff are proposing a built form that is generally seven to nine-storeys in height, acknowledging areas that can accommodate greater building heights, given their specific area context and attributes. For example, lands within walking distance from the St. Clair subway station, west of Bathurst Street to just west of Vaughan Road are proposed to have building height permissions that transition downwards from the 22-storey tower that is currently under construction at the north west corner of Bathurst Street and St. Clair Avenue West. The proposed building height permissions are intended to provide a transition to the seven and nine storey building heights along the majority of St. Clair Avenue West. Given existing lot depths that may accommodate higher buildings, staff are proposing building heights of 12-storeys on the north side of St. Clair Avenue West on either side of Alberta Avenue and on the south side between Ford Street and Osler Street. On the north and south side of St. Clair Avenue West at Dufferin Street, staff are also proposing 12-storey building heights as this is a prominent intersection in the study area.

Through the application of angular planes and building step-backs, the built form performance criteria are intended to optimize sunlight on the north sidewalk. The proposed angular planes are also intended to provide a transition towards the nearby low-rise residential *Neighbourhoods* and to limit shadow impacts.

A large part of the St. Clair Avenue West vision is encouraging a quality pedestrian environment with wider sidewalks that are safe. As such, new developments are encouraged to locate their servicing and loading functions at existing or new laneways.

This will have the effect of minimizing pedestrian and vehicle conflicts on St. Clair Avenue West. Other performance standards, including building setbacks, street walls and build-to lines will also add to the quality of the building design and the public realm.

To create a balance between developments on St. Clair Avenue West on nearby low-rise residential *Neighbourhoods*, staff are proposing an enhancement “zone” that will act as a buffer and is intended to accommodate rear lanes, short-term commercial parking and a landscape strip.

Proposed Official Plan Amendment

The Official Plan identifies St. Clair Avenue West between Bathurst Street and Keele Street as an Avenue where reurbanization is anticipated and encouraged to create new housing and job opportunities while improving the pedestrian environment, look of the street, shopping opportunities and transit usage. Official Plan policies provide the framework for redevelopment of the Avenues and state that this reurbanization will be achieved through the preparation of an Avenue Study (Policy 1 and 2, Section 2.2.3). Such a study is to result in a vision and implementation plan that is developed in consultation with local residents, business owners and stakeholders.

Consistent with the policies of the Official Plan, the St. Clair Avenue Study has resulted in an area specific vision and an implementation strategy tailored to suit this segment of St. Clair Avenue West that fall within a *Mixed Use Areas* designation. The implementation strategy includes an Official Plan Amendment, Zoning By-law Amendment and Urban Design Guidelines. It represents a balanced approach to the reurbanization of the area that accommodates appropriate redevelopment while minimizing adverse impacts on the public realm and surrounding uses.

The OPA is designed to provide the incentive necessary to facilitate mid-rise developments along St. Clair Avenue West, while at the same time, mitigating impacts generated by these developments, most directly upon the nearby lands with a Neighbourhood designation.

The study area and adjacent lands have several different Official Plan designations, which add to the uniqueness of this area. The varying designations are *Mixed Use Areas*, *Neighbourhoods*, *Apartment Neighbourhoods*, *Parks and Open Space Areas – Parks*, *Other Open Space Areas – Other Open Space Areas* and *Employment Areas*. The complex nature of the land uses in the area – especially towards Old Weston Road – requires a vision and implementation plan that is comprehensive and responds directly to the St. Clair context.

“Area A” Lands

The Official Plan Amendment describes and identifies, through mapping, the proposed “Area A” lands (see maps A and B of Attachment 2) for certain properties with a Neighbourhood designation to the north and south of St. Clair Avenue West. The “Area A” lands, also referred to as Enhancement zones in the proposed Zoning By-law

Amendment, generally consist of parcels of land containing a single detached home or two adjacent parcels of land containing two adjacent and attached semi-detached dwellings. These lands are intended to be used in conjunction with a development on St. Clair Avenue West. These lands would be free of any buildings or structures and would essentially act as a buffer between the rear of a St. Clair development and the side yard of a residential property.

The “Area A” lands are intended to protect the character of the nearby low-rise *Neighbourhoods* by distancing new developments on St. Clair Avenue West from existing *Neighbourhoods*. These lands would include a minimum 2.5 metre landscape strip to help soften the transition between a main street development and the low-rise residential property. These lands are intended to prevent the destabilization of existing *Neighbourhoods* from further encroachment. They are also intended to minimize the shadow impacts on nearby *Neighbourhoods*.

From a development perspective, the “Area A” lands will help facilitate and encourage mid-rise buildings to be developed on St. Clair Avenue West with building heights generally between seven and nine storeys. Given that many St. Clair properties do not have the sufficient lot depth to accommodate a mid-rise building, complete with a 6-metre laneway or driveway, sufficient servicing, underground parking and other technical considerations, these lands are able to provide the rear yard setback that would otherwise be required on the development site. Should a landowner consolidate sufficient properties fronting on St. Clair Avenue, he/she may benefit from the further consolidation of lands within these lands in order to achieve the maximum building heights for the property with frontage on St. Clair Avenue West as prescribed by the proposed site and area specific Zoning By-law. In part, these maximum building heights are dictated by the required angular planes set out in the proposed site specific Zoning By-law.

From a functional vantage point, the “Area A” lands are intended to be used for widening existing public laneways or to create new laneways or private driveways (where appropriate) to the rear of developments fronting on St. Clair Avenue West. Locating the vehicular access and required servicing and loading activities to the rear laneways, would ensure that these ‘back-of-house’ functions do not interfere with the pedestrian experience on St. Clair Avenue West. Furthermore, by utilizing the rear laneways for vehicular access, new developments would not require curb cuts on St. Clair Avenue West, which would present vehicular/pedestrian conflicts. Acting as a buffer, the “Area A” lands have the potential to screen the required servicing and loading activities that will occur in the existing or newly created rear lanes.

In certain instances, “Area A” lands would be able to accommodate the required minimum 2.5-metre landscape strip, a 6-metre laneway, and have residual land. Staff are proposing that this additional land be used for short-term customer parking, where space permits. Staff is recommending as part of this study that the Toronto Parking Authority (TPA) consider providing and maintaining these spaces as part of their parking stock. Planning staff will consult with TPA officials at the pre-application stages of any new development on St. Clair Avenue West. Throughout the consultation process, area

residents and merchants reported that any loss of parking spaces would affect businesses and that spill-over parking onto neighbouring streets would result. The “Area A” lands are not intended to be severed from the ownership of a new development on St. Clair Avenue West, given that the “Area A” lands and the St. Clair Avenue West properties are separated by the public lanes.

“Area A” Lands Criteria

In their reports, both consultants noted that the majority of the lots fronting St. Clair Avenue West did not have sufficient lot depths to accommodate a mid-rise building that would be as high as St. Clair right-of-way width (30 metres or 9-storeys). As a recommendation in their respective reports, each consultant suggested creating larger lot depths to facilitate development. One consultant suggested a minimum required lot depths of 50-metres for the north side of St. Clair and 38-metres on the south side, while the other consultant recommended a minimum required lot depth of 50-metres for both the north and south side of St. Clair Avenue West. The 50-metre lot depths is intended to contain a 30 to 32-metre building depth, which is required to achieve a functional underground parking garage, a 6-metre laneway and a 12-metre ‘impact zone’, which the consultant suggested should include parking and landscaping.

In testing the consultants’ recommendations, staff found that property lot depths along St. Clair Avenue West are predominantly at or near 30-metres deep. Therefore, the consultant recommendations of 50-metres would require, in some areas, the consolidation of upwards to three and four residential properties to the north and south of St. Clair Avenue West. In staff’s opinion this level of encroachment is unacceptable.

To create implementing tools for St. Clair Avenue West that are in keeping with the Official Plan Neighbourhood protection policies, while at the same time encouraging mid-rise developments, staff conducted an extensive block-by-block analysis focusing on existing St. Clair Avenue West property depths and residential property widths to the north and south of St. Clair Avenue West.

The “Area A” lands identified in the site and area specific Official Plan Amendment and Enhancement Zones identified in Zoning By-law Amendment were selected, applying the following criteria:

- a) The residential properties must have frontage on streets running perpendicular to St. Clair Avenue West. Residential properties with a back-to-back relationship with St. Clair Avenue West properties were not selected, given that it would require the consolidation of an unacceptable number of residential properties to facilitate development on St. Clair Avenue West.
- b) The residential properties must not be existing rental apartment buildings. In keeping with the City’s rental housing policies, staff eliminated the existing three and four storey walk up apartments from the “Area A” lands.
- c) The residential properties must not be a line of row housing or a townhouse complex containing three or more dwelling units.

- d) The residential properties must not be a place of worship, public building (i.e., fire hall), or a Heritage designated building.
- e) The residential property depth(s) closely line up with the St. Clair Avenue West side lot lines.
- f) The residential properties must either create a logical rear lane system, extend or widen an existing laneway, or provide sufficient space for a private driveway to the rear of the St. Clair Avenue West properties.
- g) The residential properties must be part of a generally uniform lot pattern within the block and would not result in erratic lot configurations.

There are two exceptions along the study area, where the “Area A” lands include property containing more than one detached dwelling or one pair of semi-detached dwellings. These exceptions include properties on the west side of Vaughan Road, the east side of Dufferin Street and on the west side of Westmount Avenue. At Vaughan Road, the Mixed Commercial-Residential (MCR) zoning extends one property north beyond the laneway and the first residential property is a pair of semi-detached dwellings. For Dufferin and Westmount Streets, there are three properties on either street abutting an existing parking lot and place of worship to the north, which creates a natural buffer between a potential development site on St. Clair Avenue West and the Neighbourhood to the north.

Proposed Zoning By-law Amendment

The proposed Zoning By-law amendment shown on Attachment 3 contains detailed land use permissions and regulations to guide new development within the study area. The amendment sets out contextually appropriate as-of right zoning that includes provisions related to permitted uses, maximum density and height, and others described below. The proposed Zoning By-law Amendment only applies to properties fronting on St. Clair Avenue that are zoned Mixed Commercial Residential with the exception of those properties at the northwest corner of St. Clair Avenue West and Caledonia Park Road which are part of a separate study that is recommended in this report. Properties zoned Industrial are to be dealt with through Special Area Studies discussed later in this report.

The attached Zoning By-law will become a permissive exception to the former City of Toronto’s Zoning By-law 438-86. Key components of the proposed Zoning By-law Amendment and Urban Design Guidelines for the study area are summarized below.

Zoning Changes

In consultation with existing property owners and City departments, staff is recommending that two areas within the study area be rezoned to more adequately reflect their current uses and to ensure that they are protected from any adverse impacts resulting from the development of adjacent properties in an MCR Zone. The zoning changes are proposed for the following properties:

- a. The properties at 11A, 11B, 13A and 13B Robina Avenue are recommended to be rezoned from Mixed Commercial Residential to Residential District 2 in keeping with the surrounding neighbourhood and consistent with the abutting semi-detached dwellings at 15A & 15B and 17A & 17B Robina Avenue immediately to the north.
- b. The St. Clair Gardens parkette at the northeast corner of St. Clair Avenue West and Prescott Avenue is recommended to be rezoned from Mixed Commercial Residential to Parks District (Gh).

Permitted Uses

Much of the study area is currently zoned MCR (Mixed Commercial Residential). The proposed by-law does not intend to remove the existing zoning category land use permissions. However, there are certain uses that are currently permitted that this amending Zoning By-law proposes to exclude. These uses will neither result in a mid-rise building form nor contribute to a vibrant pedestrian streetscape, in keeping with the Official Plan policies and the vision for St. Clair Avenue West. The uses include, low rise residential uses such as a converted house, detached house, duplex, row house, rowplex, semi-detached duplex, semi-detached triplex, and triplex, and auto oriented uses, including, automobile service and repair shop, automobile service station, car washing establishment, and motor vehicle repair shops Class A. There are a few car repair shops along St. Clair Avenue West that would become legal non-conforming.

Density

The current MCR zoning allows for a total combined density of three times the area of the lot, achieved through a mix of both residential and commercial uses. As a single use building, a landowner would not be able to achieve the two times coverage.

The proposed Zoning By-law allows for greater densities, ranging from 5.0 and 5.5 times coverage for the majority of the properties. This would result in residential uses having a density of 4.0 or 4.5 times the area. There are particular areas identified in the proposed by-law along St. Clair Avenue West that warrant greater densities, given their proximity to the St. Clair West subway station, the location of existing taller buildings that would act as buffer between new developments on St. Clair Avenue West and the low-rise neighbourhoods, deeper than normal lot depths, and other context specific details.

In the case of commercial uses, staff recommends that their permitted densities be increased from 1.0 times the lot area to 2.0 times the lot area with the objective of encouraging additional commercial uses that can be located on the first and/or second floor of a new development.

Building Height

The current MCR zoning allows buildings to have a maximum height of 5 storeys (16 metres). Most buildings along St. Clair Avenue West are two to three storeys in height.

In their recommendations, the consultants applied the general rule that a mid-rise building should be no taller than the street is wide. As St. Clair Avenue West has a 30-metre right-of-way, the consultants recommended a 9-storey maximum building height permission (or 30 metres) for the majority of the study segment with select sites identified for additional heights of 12 storeys, 15 storeys or 22 storeys.

Staff tested the consultant's height recommendations by conducting a detailed analysis of existing lot dimensions, potential impact to the nearby low-rise neighbourhoods, angular plane requirements, sun/shadow analysis, and concluded that not all properties could accommodate the proposed buildings heights. As a result, staff are recommending a range of building heights between 7 and 9-storeys along the majority of the Avenue segment.

Additional height variations were also being recommended at a number of locations throughout the study areas. Buildings up to 12-storeys in heights are to be permitted at certain locations on the north side of St. Clair Avenue West on either side of Alberta Avenue, on the south side between Ford Street and Osler Street, and on the north and side at Dufferin Street and Westmount Avenue. Staff are also proposing that buildings with heights of 15 storey and 22 storey buildings be permitted in the area identified as a Height Transition Zone (described below), given that this area is within a 500 metre walking distance of the St. Clair West subway station and has an existing local context of taller buildings. These proposed heights take into consideration the right-of-way width, lot patterns, property dimensions and the existing local context and are intended to minimize adverse impacts on the low-rise residential neighbourhoods.

Both consultants recommended that building over 5-storeys in height only be permitted when specific lot dimensions and sufficient depth exist in an MCR property. In most cases property consolidation along St. Clair Avenue West would be required. As part of the proposed Zoning By-law amendment, the proposed higher building heights and densities will only be permitted when a development proposal complies with specific performance criteria, such as minimum lot dimensions. Should a new development not meet the performance criteria, the prevailing Zoning By-law permissions of 5-storey building heights shall apply.

Height Transition Zone

The Zoning By-law amendment identifies a Height Transition Zone for the lands between Bathurst Street and just west of Vaughan Road. These properties fall within a 500-metre radius of the St. Clair West subway station. In proposing the Height Transition Zone, both City staff and retained consultants acknowledge the approvals for a 22-storey tower at the north-west corner of Bathurst Street and St. Clair Avenue West. The purpose of the Height Transition Zone is to regulate building heights so that they step downwards and westwards. The Height Transition Zone would ensure that all new buildings would create a height transition from the St. Clair subway station towards the 7 and 9-storey height permissions along St. Clair Avenue West. On April 22, 2009, the Committee of Adjustment approved minor variances permitting a 23rd storey at the development on the north-west corner of Bathurst Street and St. Clair Avenue West. Staff is of the opinion

that the additional storey still provides the intended transition – downwards and westbound – given that on the east side of Bathurst Street (outside the study area) the City approved two 25-storey towers.

Minimum Ground Floor Ceiling Height

To help achieve a main-street character for those properties fronting on St. Clair Avenue West and to provide an opportunity for commercial uses, a minimum ground floor-to-floor height of 4.5 metres is recommended for all new developments.

Setbacks

The current MCR zoning allows a new building to be developed directly adjacent to a street line and contains no provisions regulating front or side yard setbacks.

As a result of the construction of the TTC dedicated streetcar right-of-way along St. Clair Avenue West, many of the public sidewalks in the study area have been reduced in width in order to accommodate streetcar platforms and the realignment of the street. Members of the public indicated that increased sidewalk widths were essential to creating a vibrant pedestrian environment along St. Clair Avenue West. Staff share this sentiment to allow for a larger publicly accessible boulevard and to achieve streetscaping improvements such as patios and areas for tree planting and street furniture, staff recommend that new buildings be set back from the St. Clair front lot line so as to achieve a minimum 4.5 metre wide public sidewalk. In addition, staff recommend that new buildings be set back 1.5 metres from the side property line for corner lot properties to accommodate wider public sidewalks.

A minimum rear yard setback of 7.5 metres is proposed for all properties that abut a residential zone. Within this rear yard setback, a minimum 1.5 metre landscape strip will be required.

Angular Planes and Street Walls

Buildings are fundamental to the public realm because they frame and give a sense of enclosure to streets and open spaces. In *Mixed Use Areas*, the visual interest and comfort of pedestrians on the street and in public spaces hinges on how the buildings and their uses interface with these spaces.

In order to maintain adequate sun penetration to the street, open spaces and residential areas, staff are recommending that angular planes be applied to regulate the building mass. These angular plane provisions are intended to create a transition in height to nearby residential properties and to minimize shadow and wind impacts. While the current MCR zoning contains angular planes provisions, staff are recommending changes to these provisions to more specifically address the St. Clair Avenue West context.

Both consultants acknowledged the importance of creating a consistent street wall by regulating the height and proximity of the building wall that frames the street. The character and scale of the street wall is important because it is the part of the building that

is most visible and defines the quality of the pedestrian experience. The proposed Zoning By-law amendment will require that new front or flanking walls along St. Clair Avenue West step-back above the 5th storey and above the 7th storey.

Build-to-line

Continuous building walls on either side of street help to define a main-street as an urban space. The more continuous the enveloping wall, the more complete the space becomes. Staff recommend minimum 'build-to' standards for lots having a frontage or flankage along St. Clair Avenue West. Depending on the overall building height, the main wall of the first three storeys or five storeys of a building fronting or flanking on St. Clair Avenue must occupy a minimum of 80% of the length of the frontage or flankage of lots on St. Clair Avenue West. These build-to-lines are intended to discourage strip plazas and other uses that do not contribute to the pedestrian experience.

Parking

The proposed Zoning By-law amendment carries over the existing MCR parking requirements from the former City of Toronto Zoning By-law (438-86) for residential uses. These ratios require a range of vehicle parking spaces from 0.50 spaces per unit to 0.75 spaces per unit, depending on the unit-make up of a development. Visitor parking spaces will also be required.

Staff are also proposing a carsharing provision, which would allow a developer moderate relief from the required number of parking spaces, if the development includes a dedicated parking space for carsharing vehicle(s). The intent of carsharing provision is to reduce automobile dependency, given that a residential development which features access to a shared car may attract purchasers or renters who do not own a car. This provision has a spin-off effect of potentially increasing transit ridership, should automobile ownership reduce.

Access

Where a development site has access to a rear laneway or abuts a side street, staff are proposing that all vehicular access points not be located off of St. Clair Avenue West. The intent of this provision is to minimize pedestrian and vehicular conflict along the sidewalks and encourage ground floor retail uses. It is intended that loading and servicing would also occur at these rear or side access points and would help to alleviate traffic congestion on St. Clair Avenue West.

Enhancement “Zones”

The proposed Zoning By-law amendment includes detailed provisions for the use of enhancement “zones” in conjunction with a development proposal on a lot in a MCR District as described in the Official Plan Amendment section of this report. The Official Plan amendment identifies the enhancement zones as “Area A” lands. The intent and purpose of the enhancement “zones” are to add a layer of protection to the nearby low-rise neighbourhoods and to facilitate the proposed mid-rise built form on St. Clair Avenue West. The concept of an enhancement “zone” is being considered for St. Clair

Avenue West given the analysis and public consultation achieved through the Avenue Study process and its unique local context. This context includes a right-of-way width (30 metres) that is larger than most main streets, substandard size laneways and public sidewalks, and lots fronting onto St. Clair Avenue West that are very shallow and narrow which make redevelopment difficult as some lots are not large enough to accommodate a mid-rise building. In identifying the proposed enhancement “zones”, staff conducted a detailed block-by-block and lot-by-lot analysis ensuring that recommendations for enhancement “zones” were in keeping with the intent of the City’s Official Plan policies.

Development proposals that do not comply with the enhancement “zone” provisions will require applications to amend both the Official Plan and Zoning By-law, as amended. Staff will discourage development that does not comply with the enhancement “zone” provisions or the policies related to “Area A” lands.

Urban Design Guidelines

The Urban Design Guidelines shall provide detailed guidance on the design and organization of the built environment for lands with frontage along St. Clair Ave West between Old Weston Road and Bathurst Street. These guidelines shall address site planning, built form as well as public realm improvements within the adjacent public lands. Consideration will be given to these guidelines, as identified below, during reviews of development applications within the study area.

The Urban Design Guidelines will become a companion document to the Official Plan and set out all the design recommendations in the study. They include recommendations to enhance the streetscape through tree planting and landscaping, provide distinctive architectural details, and identify the historic buildings in the area. Where the Urban Design Guidelines and the Zoning By-law Amendment and Official Plan Amendment conflict, the Zoning By-law and Official Plan Amendments shall prevail

Special Study Areas

Within the study area, there are a number of properties fronting on St. Clair Avenue West that are designated *Employment Areas* by the Official Plan. These properties are not within *Employment Districts* as shown on Map 2: Urban Structure.

These properties are located in three general locations; on the west side of Caledonia Road and Caledonia Park Road; between Old Weston Road and the rail corridor; and the area east of Keele Street and on south side of St. Clair Avenue West. During the study



process, staff and the consultants have referred to these lands as the Caledonia Node, the Old Weston Road Node and the Keele Street Node as shown in the map below.

As part of the study process, residents in the area indicated that a number of these properties contain traditional industrial uses that are no longer compatible with the area or contribute to creating a vibrant streetscape. The consultant's final report recommended that these areas be studied at a later date as they have additional planning considerations and complexities that could not be addressed through the Avenue Study process which deals primarily with urban design and built form issues.

Given the analysis required by the policies of the Growth Plan and Provincial Policy Statement in relation to the study of *Employment Areas*, staff is recommending that these studies be undertaken as a separate process. Planning staff have commenced a study of the Caledonia Node and expect to report to June 9th, 2009 meeting of the Etobicoke York Community Council. The study of the remaining areas will be undertaken in the near future as either a Local Area Study or as part of the 5-year Official Plan Review.

Parking and the Public Realm

The St. Clair Streetcar project proposed and implemented improvements both to the transit infrastructure, light standards, sidewalks, curbs and planting. Given this level of analysis, design and construction that has been conducted by the TTC, this Avenue Study did not look at improvements to the infrastructure, beyond parking and the locations of potential Toronto Parking Authority parking lots and the enhancements to St. Clair oriented public spaces adjacent to community facilities, schools and open spaces. The proposed Enhancement Zones are intended, where appropriate, to contain short-term, off-street public parking.

Rental Housing Demolition and Conversion By-law

The Rental Housing Demolition and Conversion By-law (885-2007) implements the City's policies protecting rental housing contained within the Official Plan, and established Municipal Code 667 concerning demolition permits for residential rental properties. These policies include providing and maintaining a full range of housing, within neighbourhoods as well as across the City. A full range of housing includes rental and ownership as well as a range of affordability, and other special housing needs. Official Plan policy 3.2.1.6 provides that where development would remove six or more rental housing units, approvals should require the replacement of rental units and an acceptable tenant relocation and assistance plan. Should a landowner consolidate a number of St. Clair Avenue West properties, he/she may face the requirement to replace the existing rental units that are above the shops on the ground floor. Staff understand that the consolidation of main street properties having 6 or more rental dwellings may present a constraint to the potential reurbanization of St. Clair Avenue West. However, replacement of rental housing units would be considered as part of any new development proposal.

Heritage

In a staff report (dated September 27, 2007); Planning staff recommended that City Council include nine properties on the City of Toronto Inventory of Heritage Properties. The properties were identified as part of the St. Clair Avenue West Church Survey. The inclusion of the nine properties on the City's heritage inventory would enable staff to monitor any changes to the sites and encourage the retention of their heritage attributes. Five of the nine places of worship are located either in or adjacent to the area of study. The staff report can be accessed at this link:

<http://www.toronto.ca/legdocs/mmis/2008/te/minutes/2008-01-15-te12-mn.pdf>.

In a report to the Planning and Growth Management Committee of City Council (dated August 20, 2008), Planning staff identified 96 potential Heritage Conservation Districts (HCD) within the City. Of the 96 potential HCDs, three fall within the area of study, they are Regal Heights, Hillcrest and Humewood. Amendment number 38 to the Official Plan identifies all the potential HCDs and additions to the list of potential HCDs that are eligible for Section 37 benefits would require an amendment to the Official Plan. The report can be accessed at this link:

<http://www.toronto.ca/legdocs/mmis/2008/pg/bgrd/backgroundfile-15304.pdf>.

Community Services and Facilities

Community Services and Facilities (CS&F) are vital resources that help meet the everyday needs of local residents and make the area attractive for future development. A CS&F study was undertaken by staff for the study area (see Attachment 6 and 7). The review focussed on schools, child care facilities, libraries and community and recreation centres, arenas, swimming pools. The programs and services provided locally by human service agencies were also examined. The purpose of the review was to identify the range of available community services and facilities and emerging priorities for additional community resources that should be considered when planning for growth within the Study Area. The CS&F review covered a larger geographic area than the Avenue Study as service areas vary widely. An inventory was compiled of existing community services and facilities.

Based on information obtained from Children's Services staff, the report found that child care should be a top priority to service any future growth in the area. The findings also suggested that staff should consider options for increasing local parkland. School facilities overall are adequate for current school enrolment and the Boards have advised that arrangements are available to accommodate additional students. With respect to TCDSB students, these arrangements may involve transportation by bus to schools outside of the immediate community. Library Board staff reported that there is excellent service coverage across the St. Clair Avenue West study area. Staff should also consider additional multi-purpose space if the opportunity presents itself in the future to help address a city-wide shortage of affordable programming and administration space for smaller service agencies and local community groups. Planning staff will be mindful of these findings as new development applications are submitted to the City.

Toronto Green Development Standard

The Toronto Green Development Standard is a set of performance measures that promote sustainable development. They represent Toronto's approach to greening development practices in multi-unit highrise residential buildings, institutional, commercial and industrial buildings and low-rise residential and non-residential development, which was adopted by City Council in 2006.

After a two-year review of the Toronto Green Standard, Planning staff reported (dated October 30, 2008) on the new and revised, two-tiered Green Standard for new construction and the supporting results from an extensive legal review and the Toronto Green Standard Cost-Benefit Study to the Planning and Growth Management Committee. The report can be accessed at this link:

<http://www.toronto.ca/legdocs/mmis/2008/pg/bgrd/backgroundfile-16862.pdf>.

As part of the site plan process, Staff will require developers to apply the Toronto Green Standard for all new developments on St. Clair Avenue West.

Further City Actions

Through the community consultation process, a number of issues were identified that cannot be dealt with as part of this study. These issues require actions from other department and City agencies.

This report includes recommendations directing City staff to report back to Council on some of the following issues:

1. the feasibility of creating a Wychwood Promenade (Recommendation No. 8),
2. opportunities and locations for additional tree planting along St. Clair (Recommendation No. 9),
3. the feasibility of improvements to the Earls court Park and the J.J. Piccininni Centre (Recommendation No. 10),
4. considering St. Clair as a priority area for the coordinated street furniture (Recommendation No. 11),
5. the possibility of transforming rail overpasses to include art (Recommendation No. 12),
6. the feasibility of expanding the existing BIAs and Community Improvement Plan areas and program scope (Recommendations Nos. 13 and 14), and
7. adopting the Community Services and Facilities Review findings (Recommendation 15).

Planning staff is recommending that Council adopt the St. Clair Avenue West Action Plan (Attachment 8), which lists further actions that staff from City Planning and other City Divisions can apply to help realize the Vision for St. Clair Avenue West.

Conclusion

The objectives of staff's recommendations and implementation strategy contained in this report are to guide future development along St. Clair Avenue West between Keele Street and Bathurst Street that are in keeping with the Avenue policies of the Official Plan, support existing and future retail, encourage intensification that reflects a mid-rise form and mitigates impacts of these new developments on the nearby low-rise residential *Neighbourhoods*.

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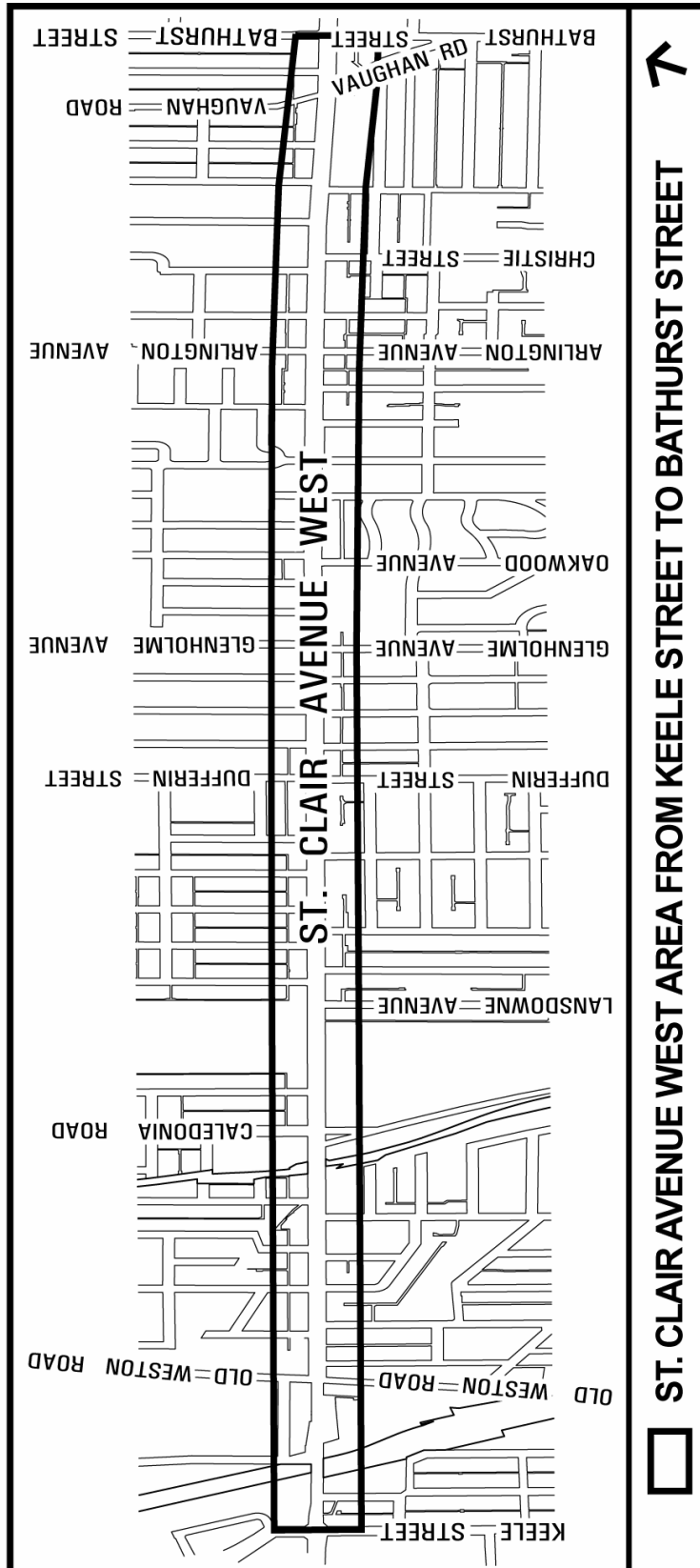
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Gary Wright
Chief Planner and Executive Director,
City Planning Division

ATTACHMENTS

1. Study Area
2. Draft Official Plan Amendment
3. Draft Zoning By-law Amendment
4. Urban Design Guidelines – Bathurst Street to Glenholme Avenue
5. Urban Design Guidelines – Keele Street to Glenholme Avenue
6. Community Services and Facilities Review - Bathurst Street to Glenholme Avenue
7. Community Services and Facilities Review - Keele Street to Glenhome Avenue
8. St. Clair Avenue West Action Plan

Attachment 1: Study Area



Attachment 2: Draft Official Plan Amendment

Authority: Planning and Growth Management Committee Item ~ [or Report No. ~, Clause No. ~] as adopted by City of Toronto Council on ~, 20~

Enacted by Council: ~, 20~

**CITY OF TORONTO
BY-LAW No. ~-20~**

**To adopt an amendment to the Official Plan
respecting certain lands abutting St. Clair Avenue West between
Old Weston Road and Bathurst Street**

WHEREAS authority is given to Council under the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. The attached Amendment No. 84 to the Official Plan is hereby adopted pursuant to the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

ENACTED AND PASSED this ~ day of ~, A.D. 20~.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS,
City Clerk

(Corporate Seal)

AMENDMENT NO. 84 TO THE OFFICIAL PLAN

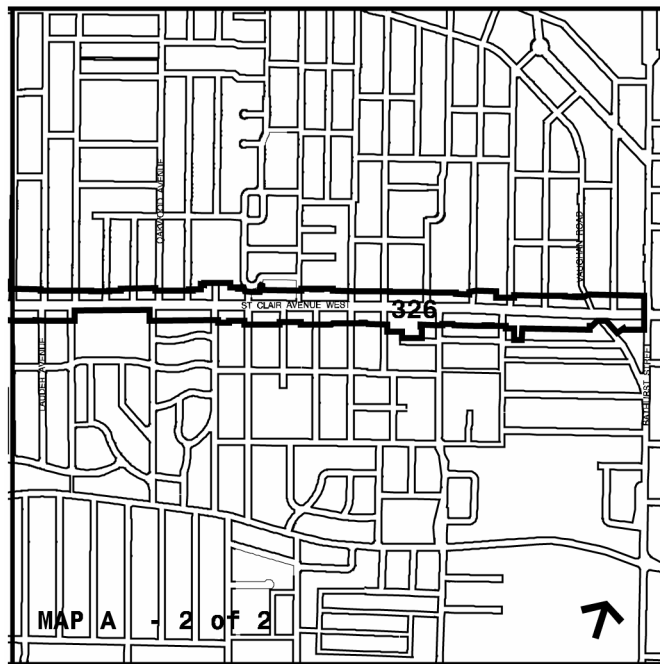
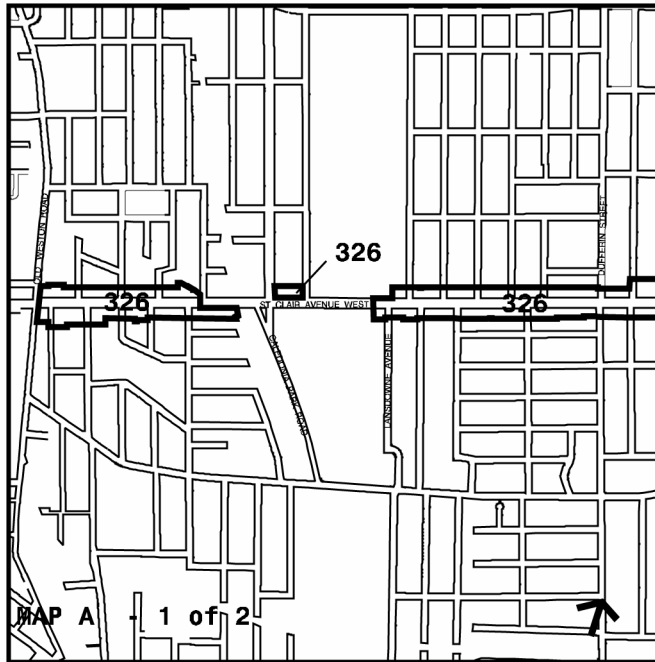
Certain lands abutting St. Clair Avenue West between Old Weston Road and Bathurst Street

The Official Plan of the City of Toronto is amended as follows:

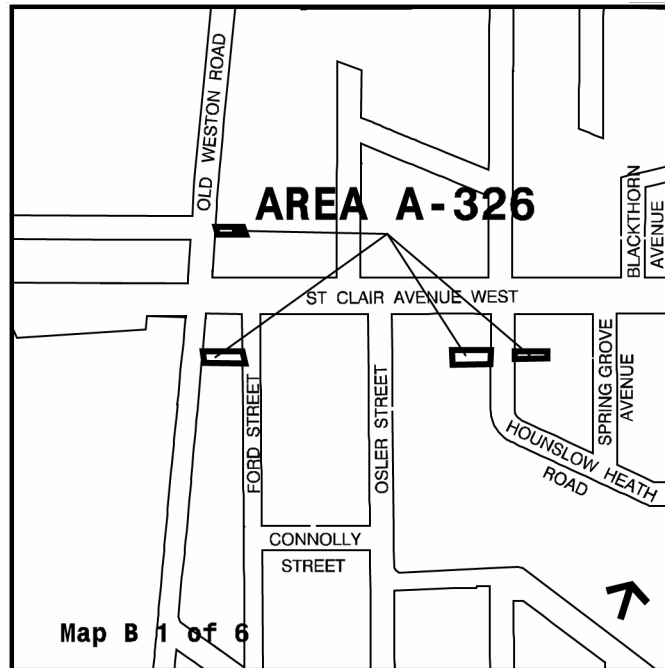
1. Chapter 7, Site and Area Specific Policies, is amended by adding Site and Area Specific Policy No. 326 to certain lands abutting St. Clair Avenue West between Old Weston Road and Bathurst Street, as follows:
 - “326. **Certain lands to the north and south of and fronting on St. Clair Avenue West between Old Weston Road and Bathurst Street as identified on Map A:**
 - a) All development along St. Clair Avenue West between Old Weston Road and Bathurst Street shall conform with the overall vision for change as identified through the St. Clair Avenue Study. This vision encourages an intensified, transit-oriented urban environment which promotes a vibrant pedestrian realm and experience. This goal shall be achieved through the implementation of:
 - i) An area specific zoning by-law and Urban Design Guidelines.
 - b) Those lands identified on Map B as “Area A” generally contain only a single detached dwelling or a pair of attached semi-detached dwellings which, when cleared of structures, facilitate through mitigation by the introduction of open space and distance, mid-rise buildings with heights between 7 storeys (24 metres) and 9 storeys (30 metres) on lands designated *Mixed Use Areas* and identified on Map A.
 - c) The intent and purpose of “Area A” lands are to prevent the destabilization of lands designated *Neighbourhoods* and their character from encroachment by mixed use developments by:
 - (i) Securing a minimum standard of open space, distance and sky view from nearby lands designated *Neighbourhoods* and 7 to 9 storey (24 to 30 metres) developments on the lands identified on Map A;
 - (ii) significantly minimizing shadow impacts of development on nearby lands designated *Neighbourhoods*;
 - (iii) providing a visible, soft-landscaped delineation between mixed use developments with frontage on St. Clair Avenue West and nearby lands designated *Neighbourhoods*;

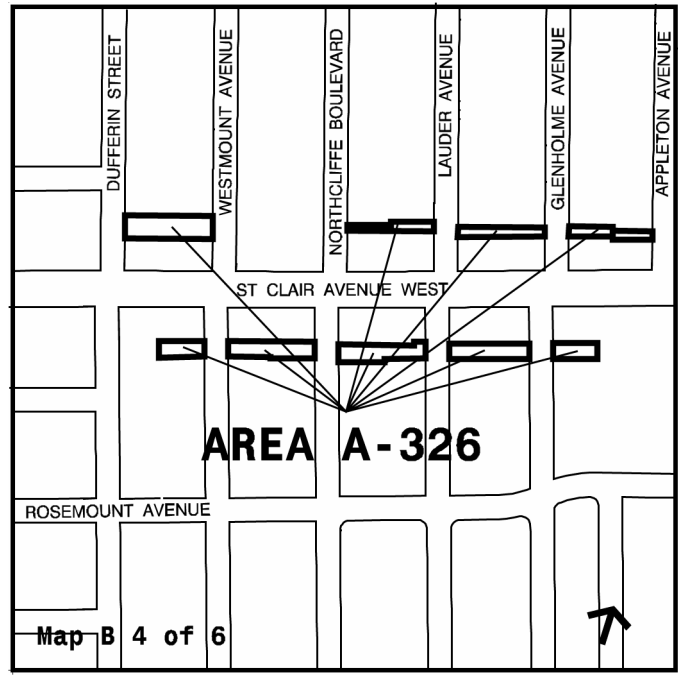
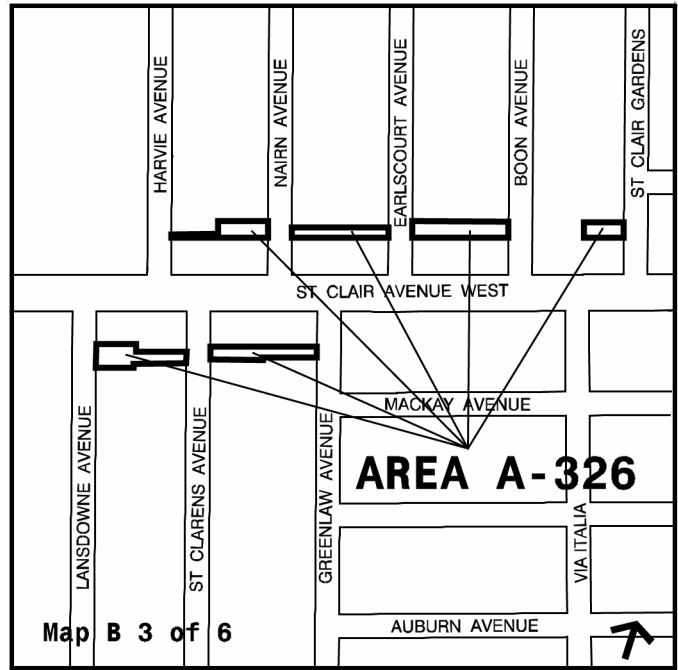
- (iv) creating rear lanes where servicing, loading, and vehicle access shall be located for all new developments with frontage on St. Clair Avenue West; and
 - (v) where sufficient lands exist, providing additional temporary commercial parking to service those lands identified in Map A.
- d) “Area A” lands shall only be used:
- (i) to create new, or widen existing public lanes adjacent to lands with frontage along St. Clair Avenue West or create private driveways where appropriate;
 - (ii) to provide a soft-landscaped strip between those lands designated *Mixed Use Areas* fronting on St. Clair Avenue and nearby lands designated *Neighbourhoods*; and
 - (iii) to permit a commercial parking in association with those lands designated as a *Mixed Use Area* where additional lands provide for this use.
- e) Lands located in “Area A” that have not been conveyed or leased to the City or its agencies:
- (i) shall not be severed from ownership of the lands with frontage on St. Clair Avenue West designated as a *Mixed Use Area* and where such lands are developed as a condominium, the lands identified in Area A shall form part of the common elements of such condominium corporation; and
 - (ii) shall maintain by the owner of the adjacent lands with frontage on St. Clair Avenue West.
- f) No changes will be made through rezoning, minor variance or consent or other public action that are out of keeping with the vision for St. Clair Avenue West and the purpose and intent of the Enhancement Zone as described above.
2. Map 28, Site and Area Specific Policies, is amended by adding certain lands to the north and south of and fronting on St. Clair Avenue West between Old Weston Road and Bathurst Street, as shown on the map above as Site and Area Specific Policy No. 326.”

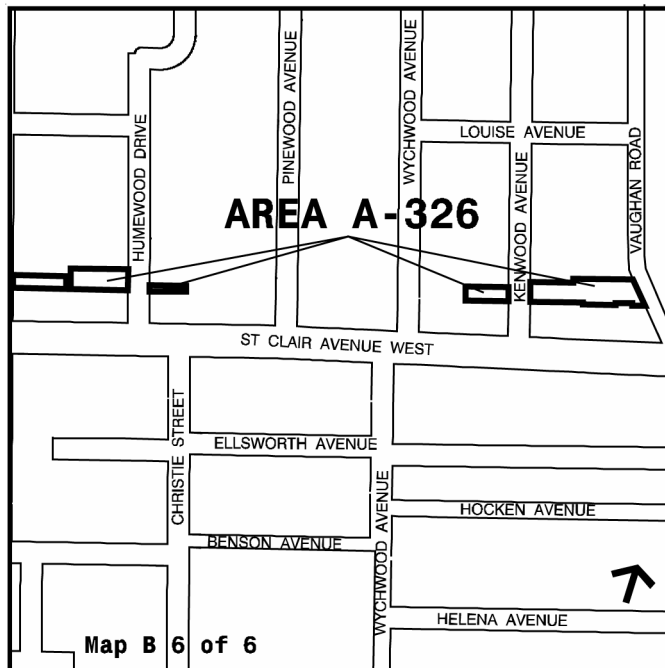
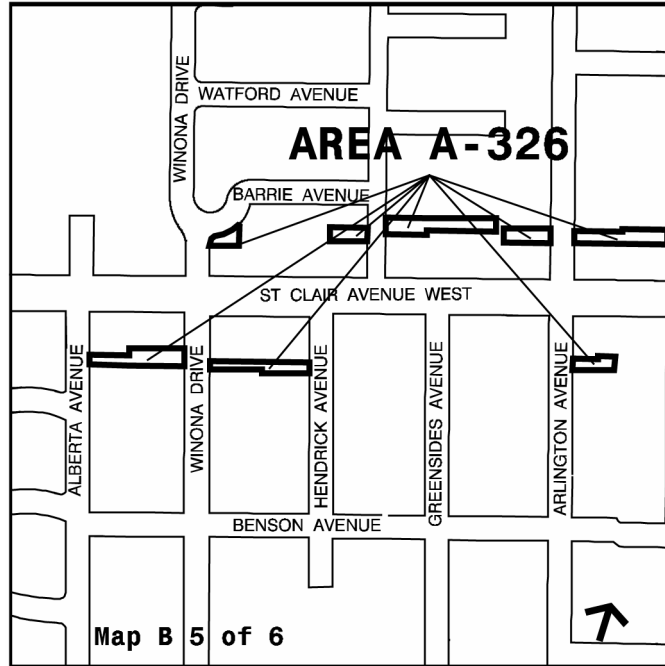
MAP A



Map B







Attachment 3: Draft Zoning By-law

Authority: Planning and Growth Management Committee Item ~ [or Report No. ~, Clause No. ~] as adopted by City of Toronto Council on ~, 20~
Enacted by Council: ~, 20~

CITY OF TORONTO

Bill No. ~

BY-LAW No. ~-2009

**To amend the former City of Toronto Zoning By-law No. 438-86, as amended,
With respect to the lands fronting onto the north and south side of St. Clair Avenue West
between 1st Old Weston Road and Bathurst Street**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Except as otherwise provided herein, the provisions of former City of Toronto By-law 438-86, as amended, being “A By-law to regulate the use of land and the erection, use, bulk, height, spacing of and other matters relating to buildings and structures and to prohibit certain uses of lands and the erection and use certain buildings and structures in various areas of the City of Toronto”, shall continue to apply to the lands outlined by heavy lines shown on Schedule 1, attached hereto.
2. District Maps 48J-321, 48J-322, 48J-323, 49J-321, 49J-322, 49J-323, 48K-311, 48K-312 and 48K-313 contained in Appendix “A” of By-law No. 438-86, as amended, are further amended by redesignating the lands outlined by heavy lines to “MCR T3.0 C2.0 R2.5”, “MCR T5.0 C2.0 R4.0”, “MCR T5.5 C2.0 R4.5”, “MCR T6.5 C2.0 R5.5”, MCR T7.0 C2.0 R6.0”, “MCR T8.0 C2.0 R7.0” and “MCR T9.0 C2.0 R8.4” as shown on Schedule 2, attached hereto;
3. District Map 48K-312 contained in Appendix “A” of By-law No. 438-86, as amended, is further amended by redesignating the lands outlined by heavy lines from “MCR T3.0 C1.0 R2.5” to “Gh” as shown on Schedule 2, attached hereto;
4. District Map 49J-321 contained in Appendix “A” of By-law No. 438-86, as amended, is further amended by redesignating the lands outlined by heavy lines from “MCR T3.0 C1.0 R2.5” to “R2 Z1.0” as shown on Schedule 2, attached hereto;
5. Height and Minimum Lot Frontage Maps No. 48J-321, 48J-322, 48J-323, 49J-321, 48K-311, 48K-312 and 48K-313 contained in Appendix “B” of By-law No. 438-86, as amended, are further amended to establish maximum permitted heights in metres as delineated by heavy lines shown on Schedule 3, attached hereto;

PERMISSIVE EXCEPTION

6. Section 12(1) of By-law No. 438-86, as amended is further amended by adding a new exception as follows:

Notwithstanding anything hereinbefore contained, none of the provisions of this by-law or of any *restrictive by-law* applies:

479 To prevent the use of land or the erection of a building or structure within the area zoned MCR and shown within the heavy lines on Schedule 1, in accordance with the following provisions:

(1) **NEW BUILDING OR STRUCTURE**

- (a) Any new building or structure erected within the lands identified in Schedule 1 shall comply with the provisions of exception 12 (1) 479.
- (b) Except as otherwise provided herein, the provisions of former City of Toronto By-law 438-86, as amended, being “A By-law to regulate the use of land and the erection, use, bulk, height, spacing of and other matters relating to buildings and structures and to prohibit certain uses of lands and the erection and use certain buildings and structures in various areas of the City of Toronto”, shall continue to apply to the lands outlined by heavy lines shown on Schedule 1, attached hereto.

(2) **EXCEPTIONS FROM ZONING BY-LAW 438-86, AS AMENDED**

None of the provisions of Section 4 (2)(a)(i), 4(16) and Section 8 (3)Part II 4 shall apply to prevent the erection and use of a building or structure on a *lot*.

(3) **FLOOR-PLATE AREA**

On a *lot* located in a Height Transition Zone, as shown on Schedule ‘4’, Maps A to D, no person shall erect a building or structure where the *floor-plate area* portion of the building above 16.5 metres exceeds:

- (a) 1000 square metres in a “H39.0” metre *height* district;
- (b) 743 square metres in a “H48.0” metre *height* district; and
- (c) 743 square metres in a “H68.0” metre *height* district.

(4) **HEIGHT**

- (a) No person shall erect a building or structure on a *lot* having a greater *height* in metres than the *height* limit specified by the numbers following the symbol “H” as shown on Schedule “3”, Maps A to D, except that:
- (i) Where the maximum *height* in metres shown on Schedule “3” is “H24.0”, no person shall erect or use a building or structure that exceeds 7 *storeys*;
 - (ii) Where the maximum *height* in metres shown on Schedule 3 is “H30.0”, no person shall erect or use a building or structure that exceeds 9 *storeys*;
 - (iii) Where the maximum *height* in metres shown on Schedule 3 is “H39.0”, no person shall erect or use a building or structure that exceeds 12 *storeys*;
 - (iv) Where the maximum height in metres shown on Schedule 3 is “H48.0”, no person shall erect or use a building or structure that exceeds 15 *storeys*; and
 - (v) Where the maximum height in metres shown on Schedule 3 is “H68.0”, no person shall erect or use a building or structure that exceeds 22 *storeys*.
- (b) No person shall erect a building or structure on an *enhanced lot* having a greater *height* in metres than the *height* limit specified by the numbers following the symbol “H” as shown on Schedule “3”, Maps A to D, except that:
- (i) Where the maximum *height* in metres shown on Schedule “3” is “H24.0(EZ)”, no person shall erect or use a building or structure that exceeds 7 *storeys*;
 - (ii) Where the maximum *height* in metres shown on Schedule “3” is “H27.0(EZ)”, no person shall erect or use a building or structure that exceeds 8 *storeys*;
 - (iii) Where the maximum *height* in metres shown on Schedule 3 is “H30.0(EZ)”, no person shall erect or use a building or structure that exceeds 9 *storeys*;
 - (iv) Where the maximum *height* in metres shown on Schedule 3 is “H39.0(EZ)”, no person shall erect or use a building or structure that exceeds 12 *storeys*;

For the purposes of this paragraph *enhanced lot* shall have the same meaning as defined in paragraph (14)(e).

- (c) Notwithstanding paragraph (a) and (b) above, where the frontage of the portion of the *lot* abutting St. Clair Avenue West is less than 30 metres and/or the *lot* depth or *lot* depth abutting a *flanking street* is less than 29 metres, no person shall erect a building or structure greater in *height* than 5 *storeys* or 16.5 metres, whichever is the lesser;
- (d) Notwithstanding paragraph (a) and (b) above, the maximum *height* of any buildings or structures located within a Height Transition Zone as shown on Schedule 4 shall not penetrate an angular plane, extending between a height of 22 *storeys* and a height of 9 *storeys*, projected over the length of the portion of the *lot* abutting St. Clair Avenue West, as shown on the diagram following this section.
- (e) Paragraph (a) and (b) above does not prevent the erection or use of the following:
 - (i) a stair tower, elevator shaft, chimney stack or other heating, cooling or ventilating equipment or window washing equipment on the roof of the building of a fence, wall or structure enclosing such elements provided:
 - a. The maximum *height* of the top of such elements or enclosures:
 - i. is no higher than the sum of five metres and the *height* limit applicable to the *lot*; and
 - ii. does not penetrate the angular planes described in paragraph (7) below;
 - b. The aggregate horizontal area of such elements, including the area contained within an enclosure, measured at a point above the level of the *height* limit, does not exceed 30 percent of the area of the roof of the building; and
 - c. The width of such elements, including the width of an enclosure, located within six metres of a *lot* line that is a *street* line, does not exceed 20 percent of the width of the main wall of the building facing the *lot* line, provided the width is to be measured parallel to the *lot* line.
 - (ii) Structures identified in Section 4(2)(a)(ii), subject to the limitations contained therein.

- (f) No building or structure shall be erected which does not have:
 - (i) A minimum *height* of 3 *storeys*, for at least 50% of the total depth of a building or structure.
 - (ii) A minimum 4.5 metre first *storey* floor-to-floor *height*. For the purposes of this provision the first *storey* is deemed to be the *storey* with a floor level closet to the average elevation of the public sidewalk abutting St. Clair Avenue West.
- (g) No person shall erect or use a building or structure containing *dwelling unit(s)* or *dwelling room(s)* on a floor level below grade.

(5) **SETBACKS**

Setbacks shall be provided in accordance with Section 8 (3) Part II, except that:

(a) Setbacks from St. Clair Avenue West

- (i) No person shall erect or use a building or structure on a *lot* in a MCR district having any part of the building or structure closer to the curb line of the travelled portion of St. Clair Avenue West than 4.5 metres.

(b) Rear Yard Setbacks

- (i) No person shall erect a building or structure above on a *lot* in a MCR district unless the building or structure is setback a minimum distance of 7.5 metres from any *lot* or portion of any lot in an R or G District.
- (ii) The setback requirement in paragraph (i) above shall not apply if the *lot* or portion of the *lot* in the R or G district abuts a *side lot line* of a *lot* in the MCR district.

For the purpose of this paragraph, the expression "*side lot line*" means a *lot* line that runs, generally, perpendicular to the *lot* line abutting a *street* (excluding any lane). In the case of a *lot* abutting two or more *streets* (excluding any lanes), a *lot* line that runs, generally, perpendicular to the *lot* line abutting the *street* with the widest street allowance or widest vehicular roadway.

(c) Side yards

- (i) On a *corner lot*, no person shall erect or use a building or structure on a *lot* in a MCR District having any part of the building or structure closer to a *lot* line abutting a *flanking street* other than St. Clair Avenue West than 1.5 metres.

(6) **BUILDING STEP-BACK**

- (a) Any building or structure greater than 5 *storeys* or 16.5 metres in *height*, whichever is the lesser, shall have:

- (i) A minimum 1.5 metre step-back of the main external building wall facing a *lot* line abutting a *street*, other than a public lane located:

- a. At a *height* above 16.5 metres or 5 *storeys*, whichever is the lesser, measured from the face of external wall of the storey directly below; and
- b. An additional 1.5 metres step-back, at a *height* above 22.5 metres or 7 *storeys*, whichever is the lesser, measured from the face of main external wall of the storey directly below.

- (ii) On a *side lot line* not abutting a street or public lane, a minimum of 50% of the area of the portion of the main external building wall located above 16.5 metres or 5 *storeys*, whichever is the lesser, shall have a minimum 1.2 metre step-back of the building wall facing the *side lot line*; and

- (iii) Notwithstanding paragraph (a)(i) above, the main external building wall may encroach into the minimum step-back area required by paragraph (a)(i) above, up to a maximum continuous width of 5 metres or 16% of the building face abutting a *lot line*,

- (b) The provisions of paragraph (6)(a) above shall not apply to a building or structure erected on a *lot* in a Height Transition Zone, as shown on Schedule 4, Map D, provided the following standards are compiled with:

- (i) Any building or structure greater than 5 *storeys* or 16.5 metres in *height*, whichever is the lesser, shall have:

- a. At a *lot* line abutting a street other than a public lane, a minimum 3.0 metre step-back of the main external building wall at a *height* above 16.5 metres or 5 *storeys*, whichever is the lesser, measured from the external face of the wall of the building of the *storey* directly below; and
- b. At a *side lot line*, not abutting a street, a minimum 12.5 metre step-back of the main external building wall at a *height* above 16.5 metres or 5 *storeys*, whichever is the lesser, measured from the external face of the wall of the building of the *storey* directly below.

(7) **ANGULAR PLANES AND BUILDING ENVELOPE**

- (a) For a *lot* which abuts the north side of St. Clair Avenue West, no person shall erect a building or structure which does not comply with the following:
 - (i) all parts of the building or structure must be contained within a 45 degree angular plane projected over the *lot* from the 7.5 metre setback required in paragraph (5)(b), at an elevation of 10.5 metres above the average elevation of the ground directly above such setback, as shown on the diagram following this section;
 - (ii) Where the height of the building or structure exceeds 30 metres, measured above the average elevation of the ground abutting St. Clair Avenue West, all parts of such building or structure shall be contained within a 45 degree angular plane projected over the *lot* from the setback required by paragraph (6) (a), at an elevation of 30 metres above the average elevation of the ground abutting St. Clair Avenue West.
- (b) For *lots* which abut the south side of St. Clair Avenue West, no person shall erect a building or structure which does not comply with the following:
 - (i) all parts of the building or structure must be contained within a 60 degree angular plane projected over the *lot* from the 7.5 metre setback required in paragraph (5)(b), at an elevation of 10.5 metres above the average elevation of the ground directly above such setback, as shown on the diagram following this section; and
 - (ii) where the height of the building or structure exceeds 30 metres, measured above the average elevation of the ground abutting

St. Clair Avenue West, all parts of such building or structure shall be contained within a 45 degree angular plane projected over the *lot* from the setback required by paragraph (6) (a), at an elevation of 30 metres above the average elevation of the ground abutting St. Clair Avenue West.

- (c) The angular plan provisions of requirements (7)(a) and (b) shall not apply to prevent the erection of the following:
- (i) any building or structure erected on a *lot* within the Height Transition Zone as shown on Schedule 4, Map D;
 - (ii) parapets, fences, balustrades, safety railings and wind mitigation structures not exceeding 1.2 metres in height above the surface upon which it is erected;
 - (iii) division fences not exceeding 2 metres above the level of the ground; or
 - (iv) ground floor level decks not exceeding 1.2 metres above the level of the ground, including fences or safety railings not exceeding 1.2 metres above the deck floor.

(8) **BUILD-TO-LINE**

- (a) No person shall erect a building or structure abutting St. Clair Avenue West, unless one or more of its main external walls, facing St. Clair Avenue West:
- (i) is built to a minimum height of 3 storeys at the build-to-line and occupies a least 80% of the length of the portion of the *lot* abutting St. Clair Avenue.
 - (ii) Notwithstanding paragraph (i), where the *height* of a building or structure is greater than 3 *storeys*, the main external building wall of the first 5 storeys or 16.5 metres, whichever is the lesser, shall be built at the build-to-line and occupy a least 80% of the length of the portion of the *lot* abutting St. Clair Avenue.

For the purposes of this section the Build-to-line shall be the setback required by paragraph (5) (a).

(9) **LANDSCAPED OPEN SPACE**

- (a) A minimum 1.5 metre *landscaped open space* to be used for *soft landscaping* shall be provided along a *lot line* abutting a R District except:

- (i) Where a laneway abuts a *lot* in a R District, the landscaped open space shall not be required.

(10) **WINDOWS**

Windows shall be provided in accordance with Section 8, Part II, 1 (b), except that:

- (a) Where a building wall has been setback back less than 5.5 metres from a *side lot line* which does not abut a *street*:
 - (i) Only *secondary windows* shall be located on the sidewall of a *residential building* or *mixed use building* where the *side lot line* does not abut a public *street*.
- (b) No person shall erect a *residential building* or a *mixed use building* containing more than 5 *dwelling units* or *dwelling rooms* or combination thereof in which any *secondary window* of a *dwelling unit* or *dwelling room* in the building is closer than:
 - (i) 1.2 metres to a wall, or to a *lot line* that is not a *street line* or that does not abut a *public park* or UOS district.
- (c) The requirements of paragraph (b) (i) shall not apply to windows on walls which form an angle of 90 degrees or greater to each other, on a horizontal plane.

(11) **PARKING**

Notwithstanding Section 4(3), 4(4) and Section 8, Part IV the following uses shall be subject to the following minimum parking standards:

- (a) Residential Parking Standards:

The following shall apply to *dwelling units* or *dwelling rooms* on a *lot* which has a *lot* frontage of more than 12.5 metres or a residential building or the portion of a building containing more than 12 *dwelling units*:

<i>Dwelling unit</i>	<i>Minimum Parking Space</i>
Bachelor	0.50 per unit
1-Bedroom	0.50 per unit
2-Bedroom	0.75 per unit
3-Bedroom	0.75 per unit
Visitor	0.06 per unit
<i>Dwelling room</i>	1 per 6 dwelling units

- (b) For each on-site *car-share parking space* provided on a *lot* up to a maximum of 2 *car-share parking spaces*, the minimum resident parking required by paragraph (a) above shall be reduced by 5 *parking spaces*.

(12) **ACCESS**

Where a *lot* abuts a flanking *street* or public laneway, all vehicle access shall be restricted to the flanking *street* or laneway.

(13) **ENHANCEMENT ZONE**

Where a *lot* in an *enhancement zone*, as shown in Schedule 4, is used as part of an *enhanced lot* the following shall apply:

- (a) No portion of the lands located within an *enhancement zone* shall be used for erecting a building or structure and shall only be used:
- (i) to create new, or widen existing, public lanes to achieve a 6 metre public lane or private driveway;
 - (ii) to provide a minimum 2.5 metre *soft landscaped open space*; and
 - (iii) as a *parking area, parking station* or a *commercial parking lot* as permitted subject to satisfying the requirements (i) and (ii) above.
- (b) The provisions herein described before shall continue to apply to the *enhanced lot*, except where identified below.
- (c) The provisions of Section 4(14), and Section 8, Part IV 2 shall not apply.
- (d) The provisions of paragraph (5)(b)(i) shall not apply to a building or structure on a *enhanced lot* provided it is setback a minimum distance

of 7.5 metres from the *lot* line separating the *enhancement zone* from an adjacent R District.

- (e) Notwithstanding the landscape requirements of paragraph 9(a), a minimum 2.5 metre *soft landscaped open space* shall be provided along the rear portion of an *enhanced lot* that abuts a *lot* in a R district that is not within an *enhancement zone*.
- (f) Notwithstanding the angular plane requirements of paragraph 7(a)(i) and 7(b)(i), where a *enhancement zone* exists as part of an enhanced lot:
 - (i) for an *enhanced lot* which abut the north side of St. Clair Avenue West, all parts of the building or structure must be contained within a 45 degree angular plane projected over the *enhanced lot* from a setback of 7.5 metres as required by paragraph (13)(d), at an elevation of 10.5 metres above the average elevation of the ground directly above such setback as shown on the following diagram; and
 - (ii) for an *enhanced lot* which abuts about the south side of St. Clair Avenue West, all parts of a building or structure must be contained within 60 degree angular plane projected over the *enhanced lot* from a setback of 7.5 metres as required by paragraph 13(b), at an elevation of 10.5 metres above the average elevation of the ground directly above such setback as shown on the following diagram.

(14) **DEFINITIONS**

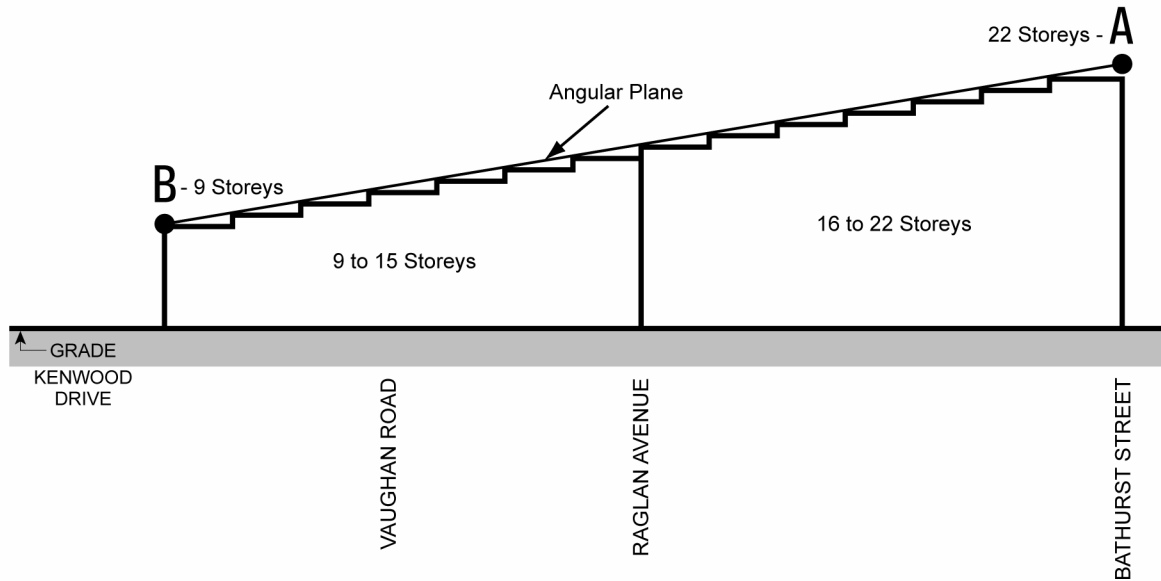
For the purposes of this exception:

- (a) Except as otherwise provided herein, each other word or expression which is italicized herein shall have the same meaning for the purposes of this by-law as each word or expression has for the purposes of By-law No. 438-86, as amended, or any section thereof.
- (b) “*Car-sharing*” means the practice of multiple people sharing the use of one or more cars that are owned by a profit or non-profit car-sharing organization and to use a car-sharing vehicle, a person must meet the membership requirements of the car-sharing organization, including the payment of membership fees that may or may not be refundable. Cars are reserved in advance and fees for use are normally based on time and/or kilometres driven.
- (c) “*Car-sharing parking space*” means a *parking space* exclusively for a car used only for *car-sharing* purposes and such vehicle is accessible

to non-resident *car-sharing* members at all times.

- (d) “*Enhancement Zone*” means an area above grade located to the rear of a *lot* within an MCR district, as shown on Schedule 4 that is free of any building or structure, and that is comprised of:
 - (i) an existing public lane, where one exists; and
 - (ii) a *lot* within a Residential District that is used for *soft landscaping* and, where additional lands permit, temporary surface parking.
- (e) “*Enhanced Lot*” means an area of land held by the same owner(s), exclusive of any lands held by the City and comprised of a *lot* within an MCR district and an *enhancement zone* where:
 - (i) the east *lot line* of the *lot* in the MCR district is no further east than the east *lot line* of the *lot* in the *enhancement zone*;
 - (ii) the west *lot line* of the *lot* in the MCR district is no further west than the west *lot line* of the *lot* in the *enhancement zone*; and
 - (iii) notwithstanding paragraph (i) and (ii) above, the length of the *front lot line* and *rear lot line* of the *lot* in the MCR district may exceed the maximum distance measured between such *lot lines* permitted by paragraphs (i) and (ii) above by no more than an aggregate of 10%.
- (f) “*Floor-plate area*” means the total aggregate floor area of a storey, measured from the exterior face of all exterior walls of that storey.
- (g) “*Front lot line*” means the line that divides a lot from St. Clair Avenue West provided that in the case of a corner *lot* the shorter *lot line* that abuts St. Clair Avenue West is deemed to be the *front lot line* and the longer *lot line* that so abuts is termed the “*flank*” of the *lot*.
- (h) “*Lot line*” means a *front lot line*, *side lot line* or a *rear lot line*.
- (i) “*Secondary window*” shall mean the window of any bathroom or kitchen.

Diagram referred to in
Section 12(1)479(4)(c)

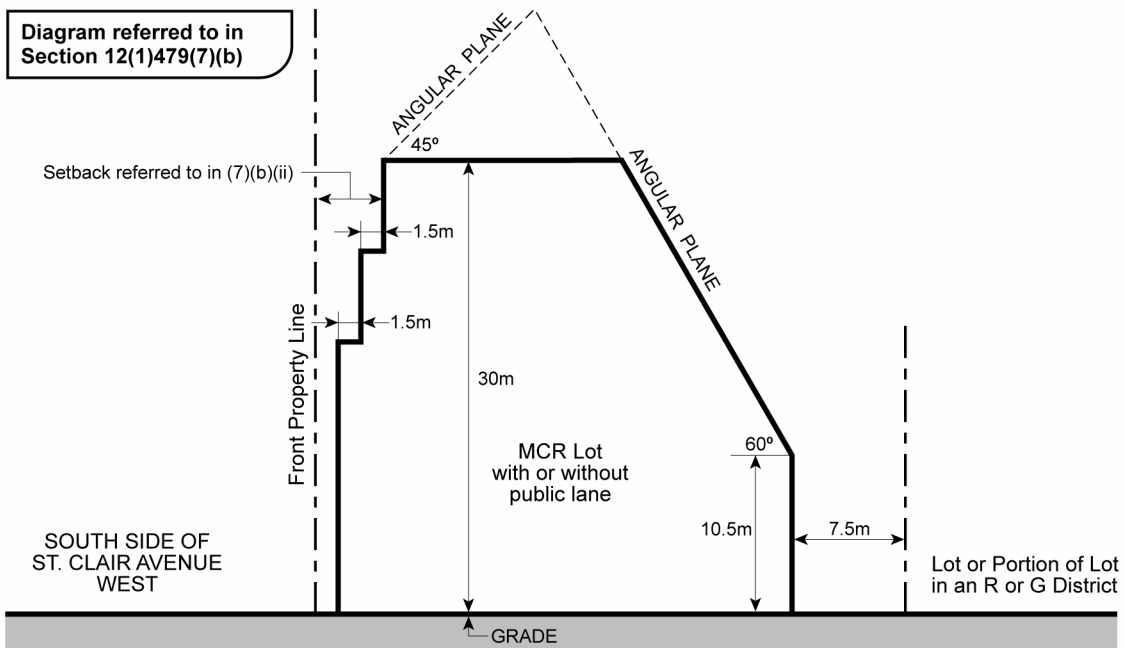
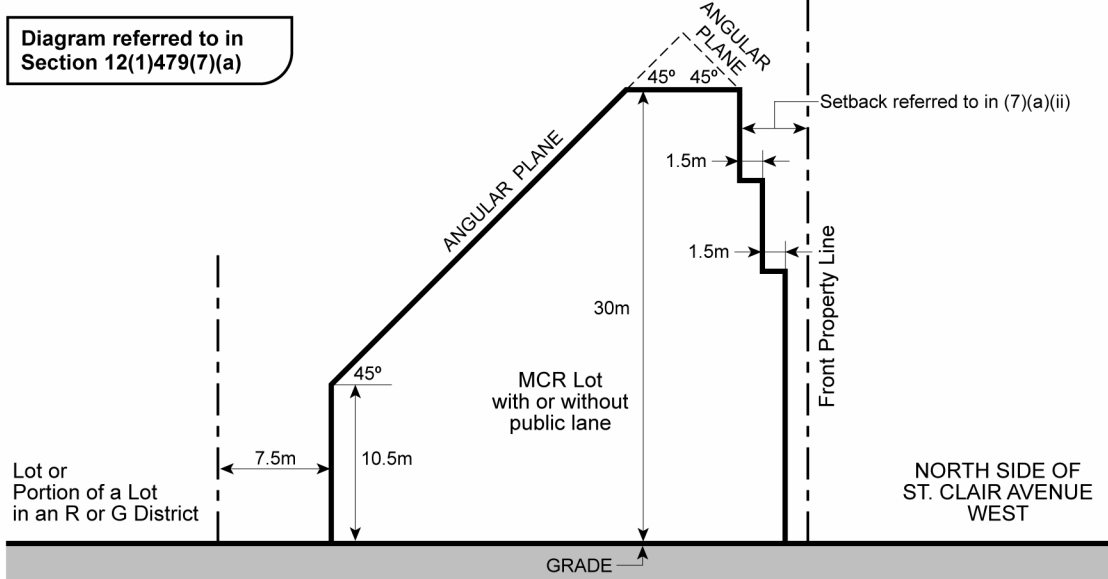


Height Transition Zone

St. Clair Avenue West Avenue Area from Old Weston Road to Bathurst Street

Not to Scale
05/07/09

File # 05_189781 & 06_115914

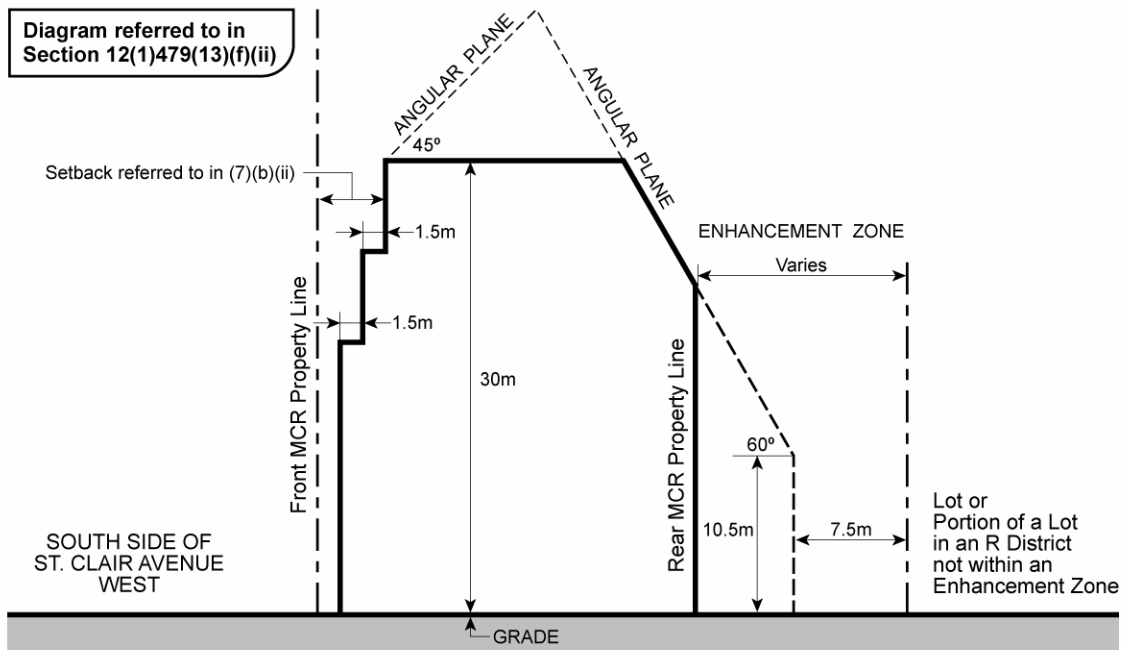
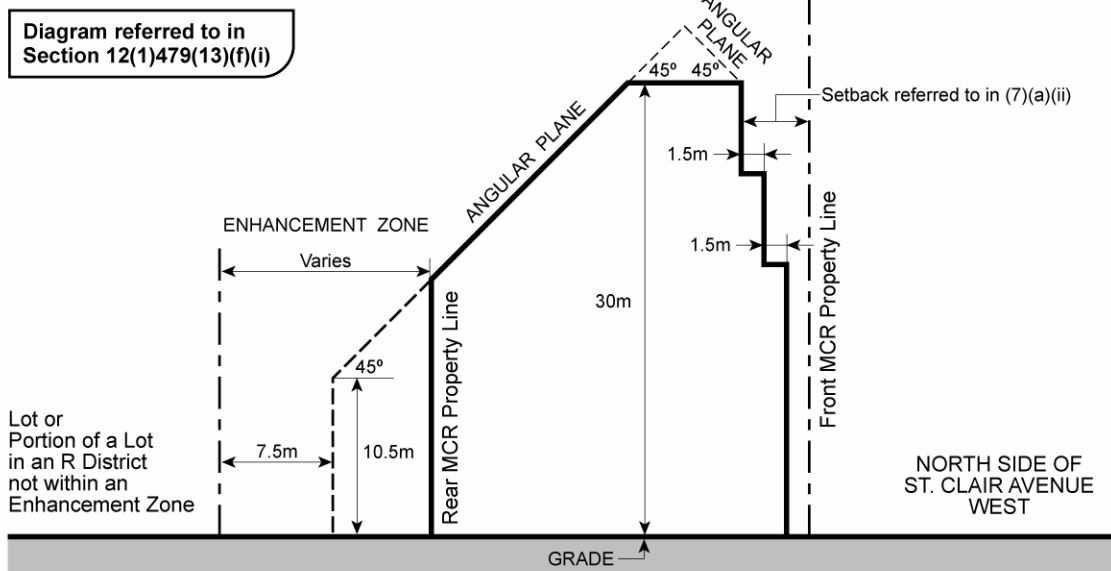


Angular Planes

St. Clair Avenue West Avenue Area from Old Weston Road to Bathurst Street

Scale 1:500
05/05/09

File # 05_189781 & 06_115914



Angular Planes

**St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street**

Scale 1:500
05/14/09

File # 05_189781 & 06_115914

RESTRICTIVE EXCEPTION

7. Section 12(2) of By-law No. 438-86, as amended is further amended by adding a new exception as follows:

344 No person shall on lands zoned MCR and located within the heavy lines on Schedule 1, Maps A to D, use land or erect to use a building or structure:

- (a) for the purpose of a *converted house, detached house, duplex, row house, rowplex, semi-detached duplex, detached house, semi-detached triplex, triplex, automobile service and repair shop, automobile service station, car washing establishment, and motor vehicle repair shop Class A*, unless such use existed on the *lot* and was lawful on the date of the passing of this by-law.
- (b) Unless the following municipal services are provided to the *lot* line and the following provisions are complied with:
 - i. all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
 - ii. all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

SITE SPECIFIC EXCEPTIONS

8. Section 15 of By-law No. 438-86, as amended, is further amended to indicate that site-specific exception 12(1)479 shall apply to any address within the area labelled Enhancement Zone as shown on Schedule 4.

9. The following site-specific exceptions shall not apply to any address within the area delineated by heavy lines on the maps attached to Sections 12(1) 479 and 12(2) 344:

- (a) 12(1) 61
- (b) 12(2) 222

ENACTED AND PASSED this ~ day of ~, A.D. 20~.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS,
City Clerk

(Corporate Seal)

Schedule 1 - Maps A to D

Schedule '1', Map A



St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

Areas Affected

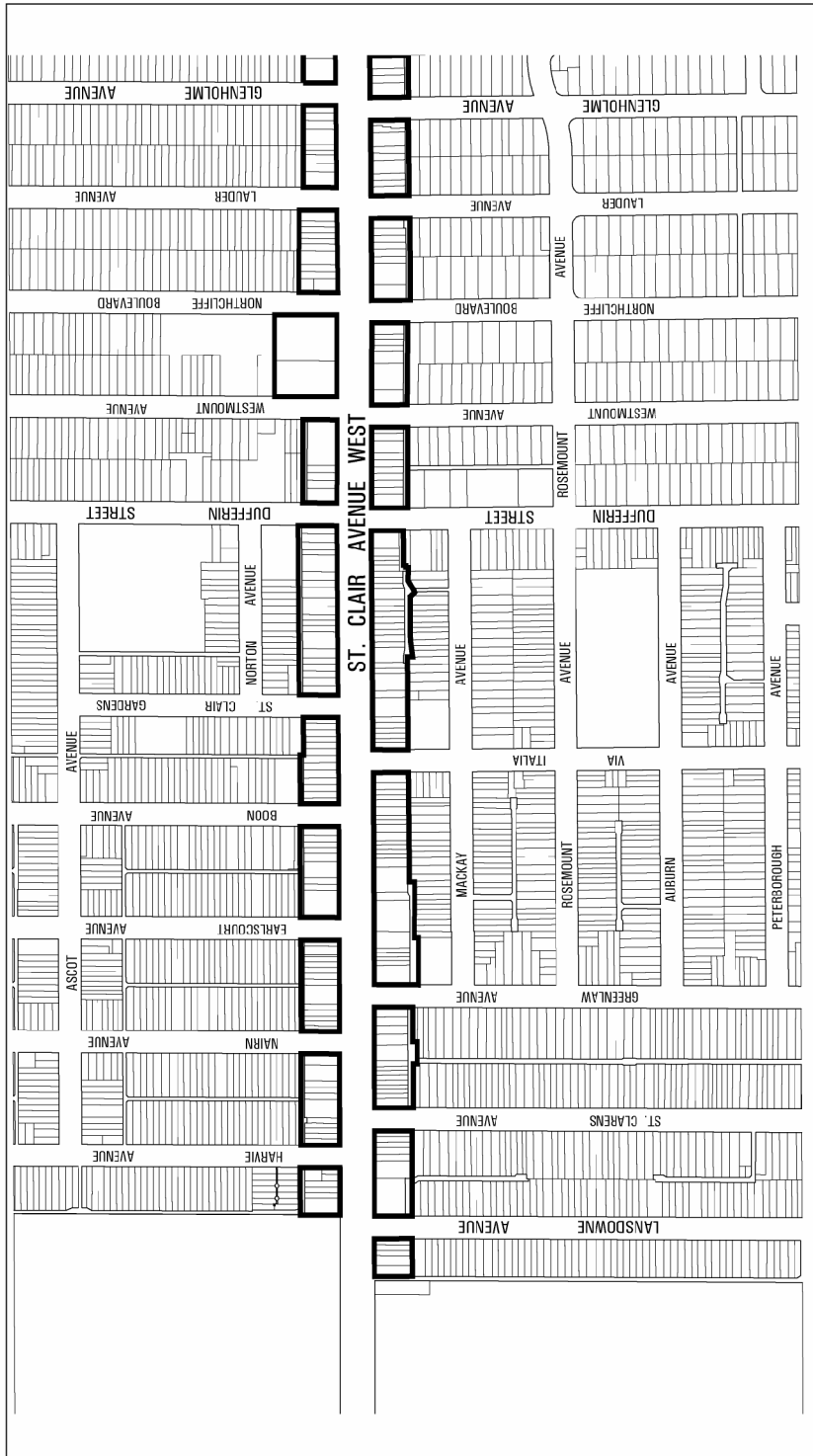
File # 05-189781 & 06-115914

 Areas Affected By This By-Law



Note to Scale
04/30/09

Schedule '1', Map B



Areas Affected

▭ Areas Affected By This By-Law

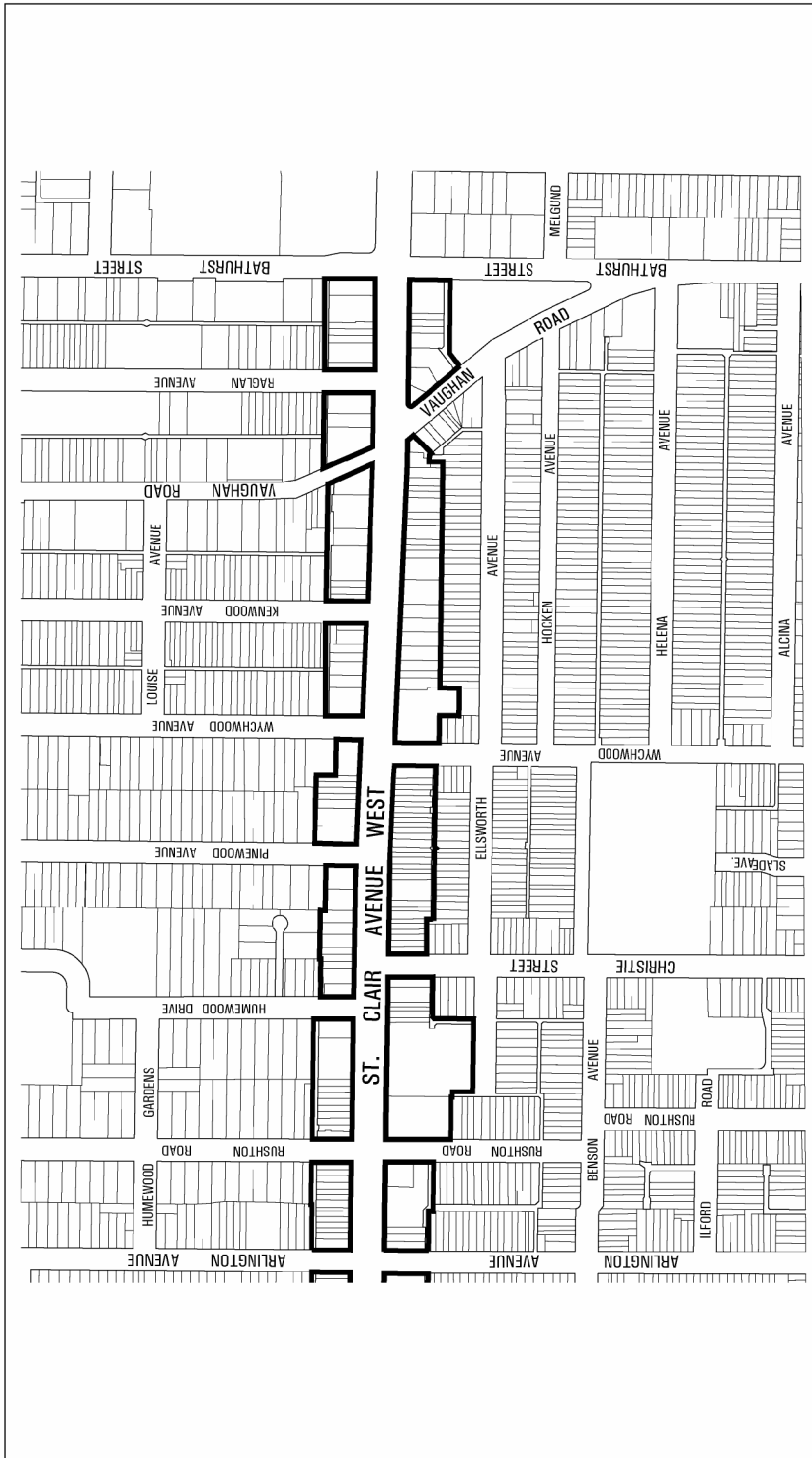
St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

File # 05-189781 & 06-115914



Note to Scale
04/30/09

Schedule '1', Map D



St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

Areas Affected

File # 05-189781 & 06-115914

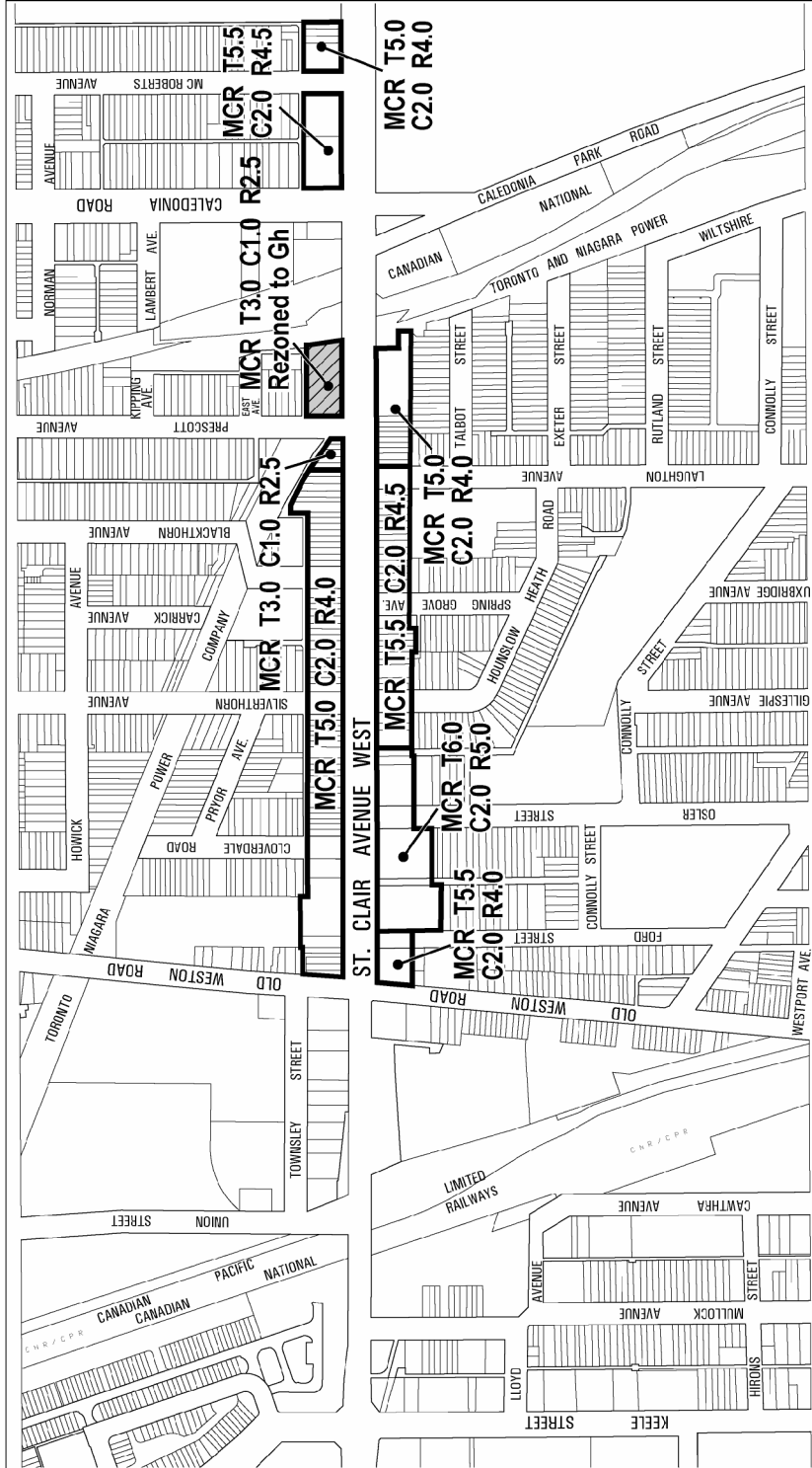
 Areas Affected By This By-Law



Note to Scale
 04/30/09

Schedule 2 - Maps A to D

Schedule '2', Map A

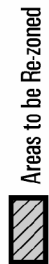


St. Clair Avenue West Avenue Area
 from Old Weston Road to Bathurst Street

File # 05-189781 & 06-115914

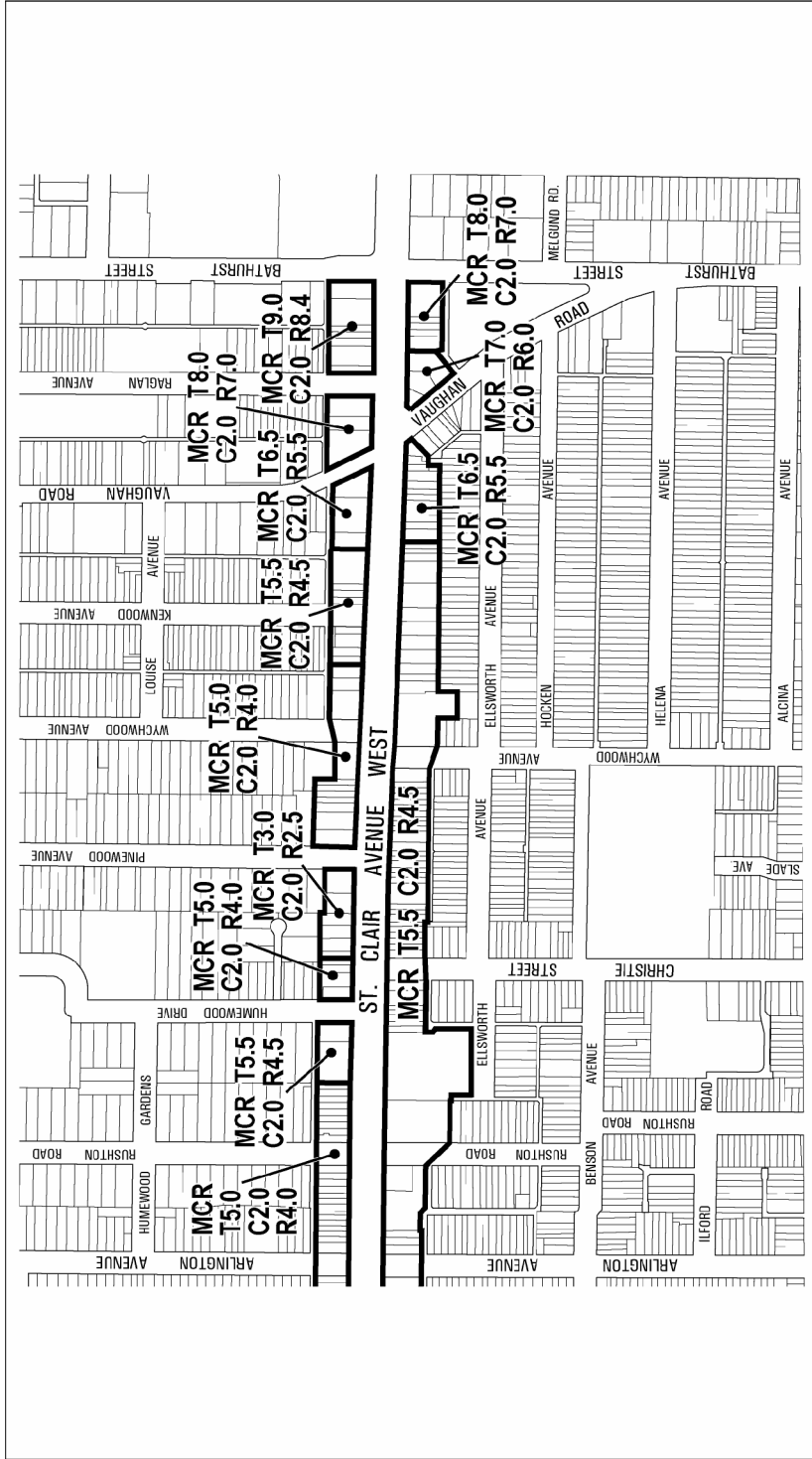


Zoning By-Law Amendment



Note to Scale
 04/30/09


Schedule '2', Map D



Zoning By-Law Amendment

St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

File # 05-189781 & 06-115914

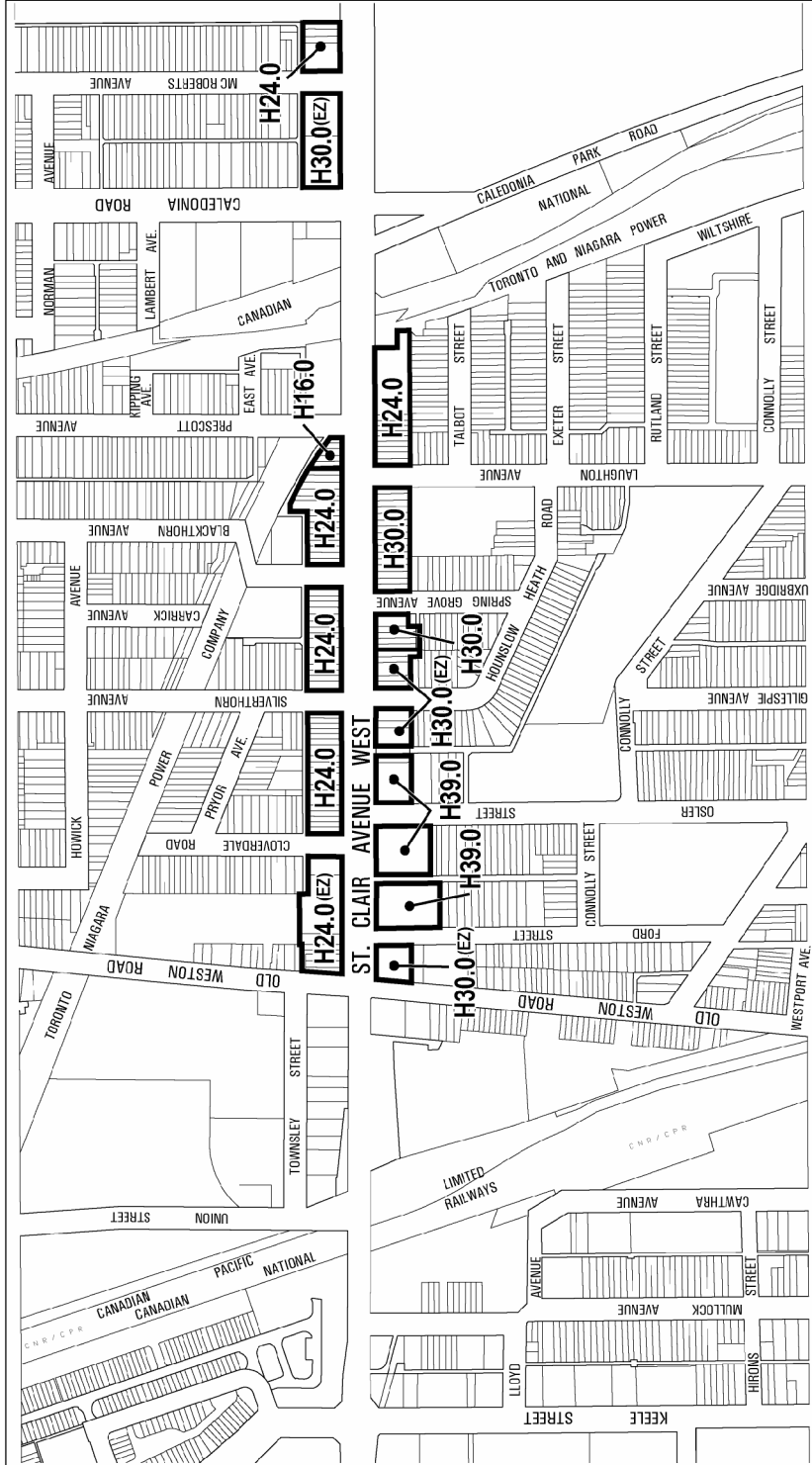
 Areas to be Re-zoned
See Maps A and C



Note to Scale
04/30/03

Schedule 3 - Maps A to D

Schedule '3', Map A



St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

Maximum Permitted Heights

H24.0 Denotes Height in Metres Above Grade

H30.0(EZ) Denotes Height in Metres for "Enhanced Lot"

File # 05-189781 & 06-115914

↑
Note to Scale
04/30/09

Schedule '3', Map C



St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

Maximum Permitted Heights

File # 05-189781 & 06-115914

H24.0 Denotes Height in Metres Above Grade

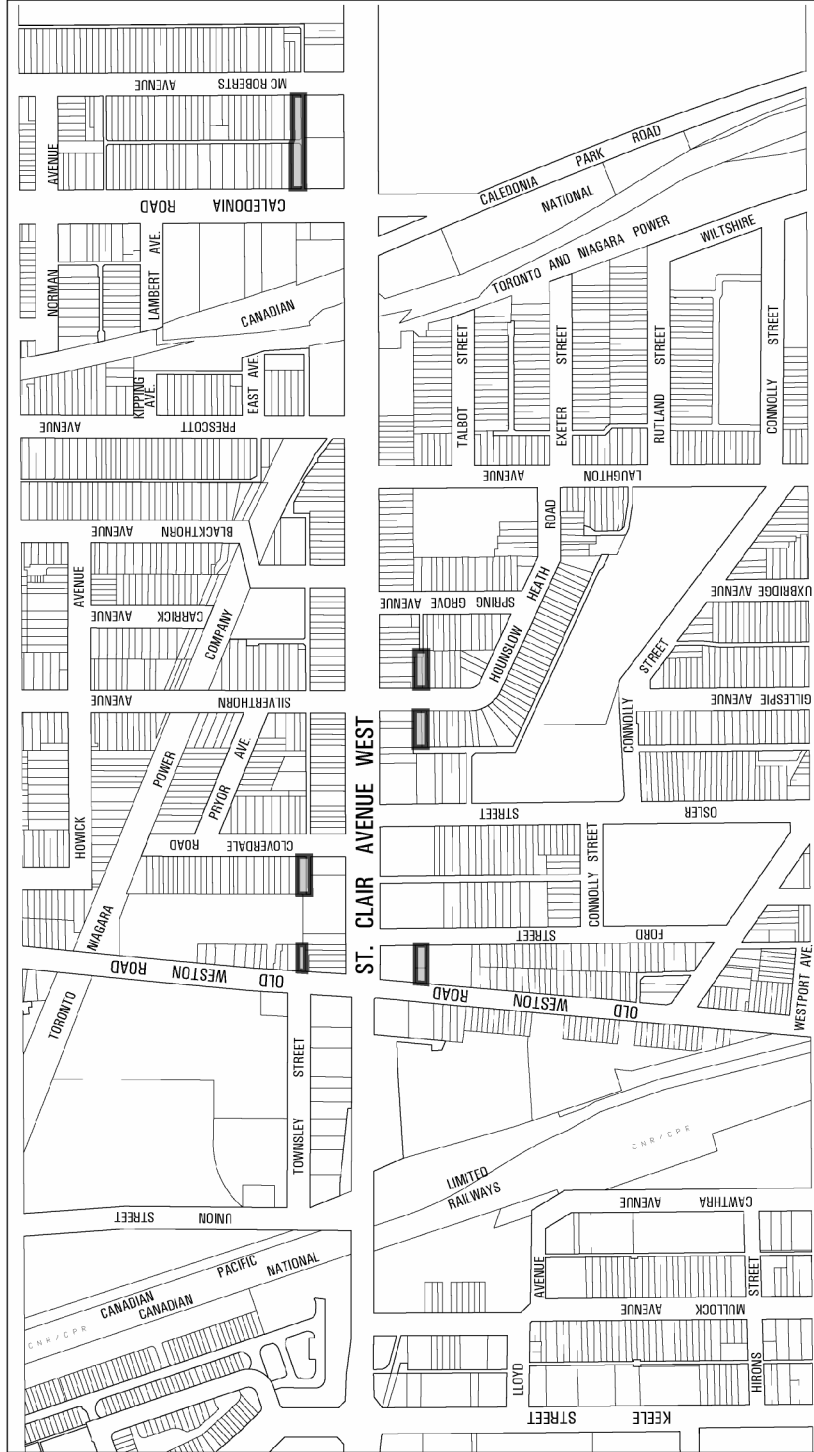
H30.0(EZ) Denotes Height in Metres for "Enhanced Lot"



Note to Scale
04/30/09

Schedule 4 - Maps A to D

Schedule '4', Map A



St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

File # 05-189781 & 06-115914



Note to Scale
04/28/09



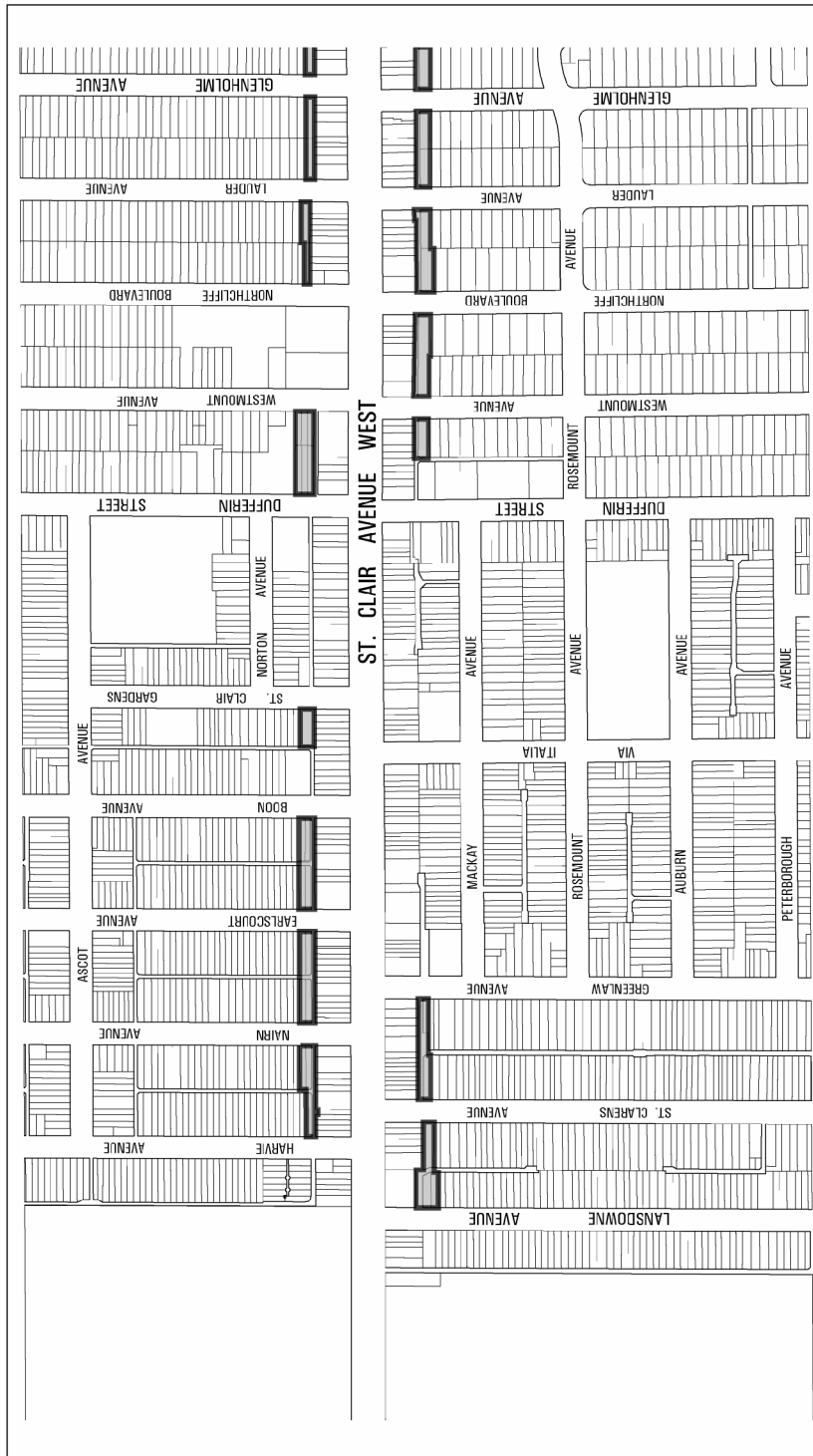
Enhancement and Height Transition Zones

Enhancement Zones

Height Transition Zones

See Map D

Schedule '4', Map B



St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

Enhancement and Height Transition Zones

File # 05-189781 & 06-115914

Enhancement Zones

Height Transition Zones

See Map D



Note to Scale
04/28/09



Schedule '4', Map C



St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

Enhancement and Height Transition Zones

File # 05-189781 & 06-115914

-  Enhancement Zones
-  Height Transition Zones
See Map D



Note to Scale
04/29/09

Schedule '4', Map D



St. Clair Avenue West Avenue Area
from Old Weston Road to Bathurst Street

Enhancement and Height Transition Zones

File # 05-189781 & 06-115914

-  Enhancement Zones
-  Height Transition Zones



Note to Scale:
04/28/09

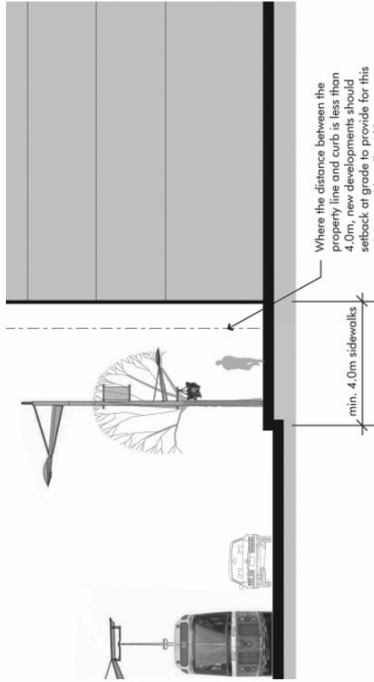
Attachment 4: Urban Design Guidelines

**St. Clair Avenue West
Between Bathurst Street and Glenholme Avenue**

Urban Design Guidelines

Based on excerpts from the Final Report prepared by
Brook McIlroy Planning + Urban Design/Pace Architects

Where the Urban Design Guidelines
and the Zoning By-law Amendment and Official Plan Amendment conflict,
the Zoning By-law and Official Plan Amendments shall prevail



Minimum 4.0m sidewalks may be achieved by requiring new buildings to be setback at grade.



4. URBAN DESIGN GUIDELINES

4.1. Public Realm

The following recommendations for the Public Realm are made to improve the appearance and functionality of the St. Clair Avenue West corridor and to better serve the needs of pedestrians including local residents, visitors, business owners and patrons. Improvements to the public realm for pedestrians will also contribute to a more animated and vibrant streetscape.

Throughout the Avenues Study process, the width and character of the public realm, particularly sidewalks, was identified as being one of the key contributors to the character of the area. As St. Clair Avenue West redevelops it will be important that the functionality and aesthetics of adjacent sidewalks allow for informal (e.g. socializing) and formal (e.g. outdoor cafe spaces, retail display areas) gathering of community residents and visitors to the area.

For specific improvements proposed to the public realm, please refer to the St. Clair Avenue West TTC Streetcar Project.

4.1.1. Sidewalks & Streetscaping

- Provide a minimum of 4.0 metres for all sidewalks along St. Clair Avenue West. Where this minimum width does not currently exist, the City should implement a setback at grade for new developments to provide for a widened sidewalk.
- Demarcate areas along sidewalks where pedestrians may encounter vehicles along their route (i.e. at drive aisles, crosswalks and intersections) through a palette of accent paving.
- Plant street trees along all sidewalks and walkways facing streets and open spaces in a minimum of 1.5 metre wide tree trench.
- Construct bump-outs on north-south streets (where the width of the street permits) for planting of street trees and landscaping.

4.1.2. Landscaping

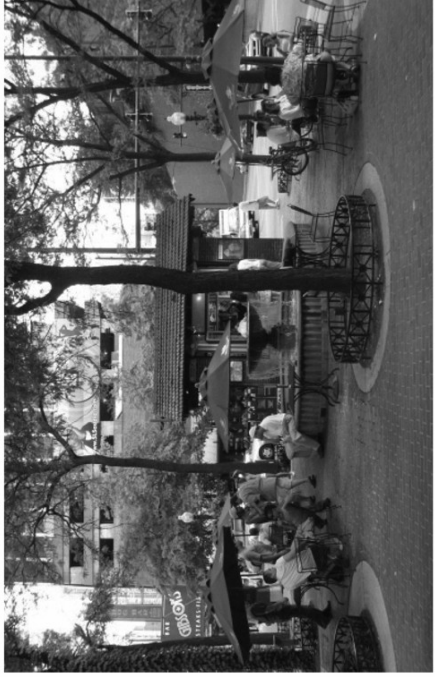
- Ensure that street trees are planted with appropriate width as identified by the City standard, to allow for growth and to ensure their long-term viability. Watering systems and/or responsibilities should be established prior to planting.
- Use only species that are tolerant of urban conditions such as salt, poor soil and uneven irrigation. Monocultures should be avoided and tree selection should be context dependant, i.e. tree selected for areas with landscaping on one side and paving on the other should be different than trees selected for an area with paving on both side.

4.1.3. Parks & Open Space

- Refer to p. 26 - 27 for recommendations on open spaces
- Create and/or enhance visual and physical connections to existing or new open spaces. This will encourage use of neighbourhood parks and open spaces and create visibility to these spaces, thereby enhancing security. (see p. 26 - 27 for recommendations on open spaces)
- Provide small parkettes and other civic plazas along the length of St. Clair Avenue West. The provision of these spaces will allow for formal and informal gathering and will be especially effective at high profile sites, such as corner sites or T-intersections.
- Create and/or enhance visual and physical connections to existing or new open spaces within the study area.

4.1.4. Public Art

- Locate public art at sites visible from public streets and intersections and public plazas, parkettes or other civic spaces. Sites identified as appropriate locations for public art include the northern terminus of Wychwood Avenue, the northwest corner of Vaughan Road and St. Clair Avenue West and other T-intersections along St. Clair Avenue West. A combination of temporary and permanent art pieces should be considered.
- Like the Hillcrest Village Mural on the south side of St. Clair Avenue West between Arlington Ave. and Greensides Ave, murals and community based visual initiatives should be encourage and supported on existing blank façades.



Small public plazas interspersed along St. Clair Avenue West will provide areas for relaxing and socializing



As suggested by the members of the LAC group, public art installations or other signage should be used to educate or make the public aware of underground watercourses that run through the area, such as Garrison Creek.



Local artists or community groups should be encouraged to utilize blank façades for public art.

4.2. Private Realm

The purpose of private realm guidelines is to guide discussions between the City and property owners on the design of new buildings and developments and their relationships to the surrounding areas. These guidelines can be used by developers and their representatives to guide the design of proposed buildings and by staff to evaluate proposals.

Response from the public with regards to private development was extensive. Building height was a contentious issue but the community was supportive of potential taller buildings being mitigated by architectural design that is sensitive to their surroundings. The community was also generally supportive of taller buildings as a means to provide a feasible redevelopment option for portions of the St. Clair Avenue West corridor.

4.2.1. Building Orientation & Layout

The orientation of buildings and overall site layout are key design considerations that when done correctly will enhance the existing character of the street. This is achieved by relating buildings to the street and to pedestrian activities, intensifying site corners, and a range of allowable setbacks. The existing continuous street façade is an important built form condition of St. Clair Avenue West and should be mimicked in new development. Designated locations where the street façade is not proposed to be continuous must be carefully considered to provide special



This development in Toronto continues the scale and rhythm of existing storefronts and creates a continuous streetwall.

street services such as gathering spaces, plazas, parkettes or recessed entrances. These locations must consist of publicly accessible open spaces with high quality urban design and landscaping. Parking areas should never be located between the sidewalk and the building facade. All new buildings should adhere to the following guidelines.

- All new buildings and developments shall be located along the street-facing property line to frame the abutting streets and create a continuous street edge. Building walls shall also frame and define internal drive aisles, pedestrian walkways, parking areas and amenity spaces. Where a 4 metre sidewalk does not exist, the building must be set back a minimum of 4 metres from the curb edge.
- All new buildings and developments shall occupy at least 80% of the property lines along St. Clair Avenue West, unless a previously mentioned open space is planned and approved by the City.
- All new buildings located at important corners or at the terminus of T-intersections should clearly mark the corner or portion of façade through the use of vertical and architectural elements which emphasizes the visual and functional prominence of their site. Elements can include towers, bays, accentuated rooflines, projections, recesses, canopies, and/or other architectural detailing.
- Where the length of property frontage permits, mid-block connections should be incorporated into new developments to enhance pedestrian circulation and the permeability of sites. Mid-block connections should be considered particularly in locations where parkettes or open spaces are located behind the St. Clair Avenue frontage. (see p. 26 for specific recommended locations)
- Buildings with frontages exceeding 7-10 metres should be strategically divided into functionally and visually smaller units through the use of façade articulation, internal courtyards, networks of connected walkways, and landscaping.
- All new buildings and developments shall have a maximum setback distance of 1.5 metres for façade recesses to allow for variety in façades and building placement, as well as locations for formal civic spaces, display dining areas or seating areas.



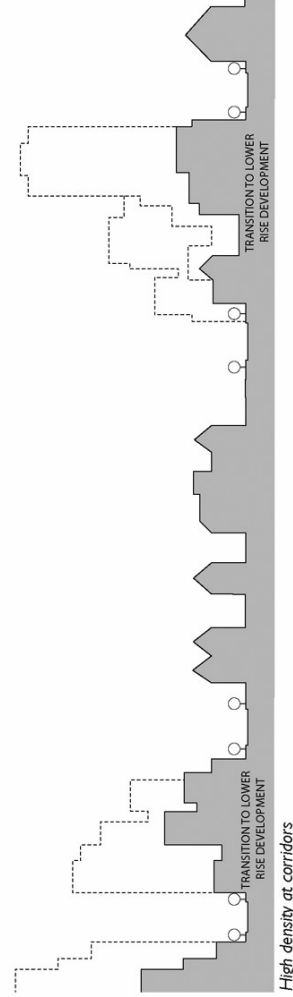
This development respects the scale of surrounding buildings and successfully uses step-backs to minimize the presence of its high rise component on existing residential buildings.

4.2.2. Built Form & Massing

With the potential introduction of new tall buildings to the area it is essential that the design and implementation of these new structures is undertaken in such a way that the buildings facilitate the goals and vision of the community. New buildings carry the responsibility to improve the streetscape and minimize impacts on the adjacent north and south low rise residential areas.

A context sensitive approach to height and massing should respect existing built form and aid in the creation of a vibrant streetscape. Building additions and infill development should highlight the positive elements of adjacent existing buildings.

- All new buildings and developments must be a minimum of two storeys in building height.
- The design of taller buildings should make every effort to respect adjacent properties and public spaces. This can be achieved through design sensitivity that does not overshadow, overlook nor create wind tunnel effects on adjacent properties, open spaces and streets.
- All new developments should provide for a transition to adjacent developments and public spaces by incorporating step-backs. Generally, 1 - 2 storeys above the existing adjacent height is considered a sensitive transition and can step-back from this height.
- All new buildings and developments greater than 4 storeys shall provide step-backs of the upper floors (one at the third storey or fourth storey and another above the fifth storey). Step-backs will minimize the appearance of the overall building mass from the pedestrian viewpoint and provide opportunities for terraces and green roofs.
- All step-backs of the building wall shall be a minimum of 1.5 metres deep measured from the building face of the storey directly below to ensure the creation of usable outdoor spaces such as terraces or green roofs.



High density at corridors

4.2.3. Building Façade Articulation

A well designed building adds visual interest to a street and responds to the existing streetscape conditions through its architectural expression. Along St. Clair Avenue West this should be achieved through the careful integration of the ground floor and the streetscape with context-based façade detailing and articulation, the abundance of glazing and multiple entrances to add visual interest and to improve functionality and legibility.

- All building façades facing or visible from streets and public spaces shall provide façade variation in both the horizontal and vertical wall plane. No building façade shall extend beyond 3.0 metres horizontally without appropriate façade variation. This articulation of the ground floor will help to integrate new developments into the existing streetscape that is predominantly comprised of individual storefronts with individual identities.
- Building façades and building walls shall be varied in both the horizontal and vertical plane through the installation of a mixture of functional building elements and architectural details (e.g. friezes, canopies, glazing details and/or overhangs), use of materials, openings in the façade, and projections and recessions.
- All new buildings and developments that occupy a corner site should acknowledge the corner condition through architectural expression and should feature fully developed façades along both frontages including a minimum of one display window or entrance located at the corner of the building and on each façade within 2.0 metres of the corner.
- All building façades facing onto streets and public spaces should incorporate vestibules, frequent building entrances, covered walkways, canopies and awnings at the ground floor level to provide weather protection and to add life to adjacent pedestrian areas.
- All new buildings and developments should integrate mechanical building elements, such as vents or rainwater leaders, within the wall plane or other façade features during the architectural design process to mitigate any potential negative impacts on public and pedestrian areas.
- All new buildings and developments shall be designed with continuous street façades that incorporate well-designed 'breaks' featuring opportunities for public open space, mid-block pedestrian walkways and/or private rear yard access.

- New buildings and developments should maximize opportunities to create new public pedestrian routes through the site to connect with the public sidewalk network and with other established pedestrian walkways. These connections will help to achieve greater connectivity and encourage pedestrian access from the adjacent residential areas.
- Buildings should not have blank façades. Where buildings are prohibited from using windows, e.g. where future adjacent development is anticipated, the side façades should still incorporate a minimum level of articulation. This may include detailed brick work, ornament or mural.



The base of this building in Toronto creates an attractive transition between the street and the tall section of the building

4.2.4. Building Materials

The choice of building material is integral to the design of new buildings. The material selected should respond to the design and style of the proposed building. The use of high quality and durable building materials for new developments will promote the feeling of permanence and quality construction. Wherever appropriate, new buildings should reflect the building materials used in the existing heritage buildings.

- All new buildings and developments shall utilize building materials chosen for their functional and aesthetic qualities. All exterior building finishes shall demonstrate a high quality of workmanship, durability and ease of maintenance.
- Building materials and finishes/accents that are incorporated onto building facades facing onto or visible from streets and public spaces shall not include synthetic siding systems, mirrored/heavily tinted glass panels and unadorned concrete block.
- All new buildings and developments should have well-considered building materials at the ground floor that is of a pedestrian scale and responds to the existing surrounding buildings.



Acceptable high quality street wall materials: steel, wood, stone, glass and brick, and to a lesser extent, concrete.

4.2.5. Parking

Many design solutions are available to ensure the provision of adequate parking facilities without creating surface parking areas that are visible from the street, undermining the pedestrian character. Depending on a development's density and site-specific opportunities, parking solutions will range from rear lane dedicated parking areas and/or integrated below-grade parking structures.

Surface Parking

- New and existing buildings and developments should consider the provision of centralized and shared off-site parking areas to accommodate required parking spaces that cannot be achieved on the site.
- All new buildings and developments shall locate all surface parking areas at the rear of buildings to ensure the sidewalks/pathways and building façades effectively define the street edge. In situations where it is impossible to accommodate surface parking behind buildings, parking areas may be provided along the side(s) of buildings. In both scenarios, the parking areas shall be appropriately screened from view. Surface parking in front of buildings is prohibited.
- All new and existing buildings and developments at corner sites should not locate surface parking lots facing onto or visible from the street corner/ intersection and pedestrian routes.

Structured Parking

- Below-grade parking structures are the recommended alternative to surface parking.
- All new below-grade structured parking shall locate vehicle entrance/exit access points on the least busy of the surrounding streets and/or off of rear lanes, in order to minimize curb cuts and reduce conflicts with pedestrians. Vehicular entrances shall not be located directly off of St. Clair Avenue West. Pedestrian access to all new structured parking shall be clearly demarcated, highly visible and be incorporated into the overall design of the building.
- All new above-grade parking structures associated with new development should be completely integrated into the buildings on-site, and form part of the overall development scheme so as to 'blend-in' with the surrounding buildings and not 'read' as a parking facility.

Other

- All new buildings and developments shall incorporate adequate bicycle parking spaces and facilities to provide for additional alternatives to driving.

4.2.6. Servicing & Loading

Thriving business and retail areas like St. Clair Avenue West require the provision of service and loading facilities. These facilities must be easily accessible to ensure timely deliveries and pick-ups. In order to ensure a safe and pleasing pedestrian realm while allowing for servicing, loading and delivering, it is essential to identify less visible areas for their location.

It is recommended that these functions be accommodated along a new rear service lane or from secondary streets.

- All new buildings and developments shall provide entrances/access points to required service areas through rear service lanes, alleyways off secondary streets, or where appropriate, directly off of secondary streets.
- All new buildings and developments shall coordinate deliveries, loading and garbage pick-up within the service area to prevent traffic interruptions along St. Clair Avenue West.
- All new buildings and developments should locate required service areas in locations that do not face onto or that are visible from streets, public spaces, landscaped open spaces, and/or amenity areas.
- In all new buildings and developments, the required service areas shall be located and designed as an integral part of the building and/or site design, and not located as separate, stand-alone areas or structures.
- In all new buildings and developments, utility facilities and spaces for the storage of goods and refuse shall be internal to the main building(s).
- In all new buildings and developments where servicing and loading are not contained entirely within the building, designated areas for storage, temporary truck parking, refuse collection and compaction, and loading shall have a minimum separation of 10 metres from any public street, sidewalks and pedestrian walkway and a minimum separation of 10 metres from any residential properties.

- If internal/integrated service areas are not achievable within new buildings and developments, the service areas shall be located to avoid visibility from public areas and/or be designed with appropriate screening measures and materials to shield all sides of the service area from public view. This includes gas and water meters, garbage and deliverables locations.



Service and loading areas should be screened by appropriately designed walls or enclosures and should be integrated as part of the overall building design.

- On new and existing buildings and developments where service areas require screening, the building materials used on the screening enclosure shall be similar and/or complementary to those of the building's exterior materials and finishes. Low-maintenance landscaping treatments (providing year-round screening capabilities) may be considered a suitable screening device only when all other alternatives are exhausted. Building materials not suitable for service area screening include: unfinished wood, metal cladding and concrete block.

4.3. Sustainable Development

New development on St. Clair Avenue West should incorporate the City of Toronto's Green Building Standards and/or the LEEDS Standard for Sustainable Construction calling for the integration of environmental sustainability principles from the early design phase through to implementation. Key considerations for the design of new buildings include water quality, consumption and runoff, the preservation of natural and built features, the reduction of hard surfaces, and reductions in the building footprint to create public open spaces and extensive landscaped areas.

4.3.1. New Building Design

- New buildings and developments should provide flexibility in the building floor plate, building envelope and building façade design to accommodate a variety of uses and users over the lifespan of the building/structure.
- The City should encourage new developments to seek LEED certification or the new Toronto Green Development Standards. LEED certification distinguishes building projects that have demonstrated a commitment to sustainability by meeting higher performance standards in environmental responsibility and energy efficiency.
- Vegetated or "green" roofs should be installed to minimize water runoff and improve building insulation. Green roofs also expand the potential usable outdoor space of the site.
- Porous surfaces or landscaped areas should be used to capture roof drainage and minimize water runoff.
- Roof drainage should flow, in part or fully, into landscaped areas on site where lot size and soil conditions are adequate to absorb such runoff. Several downspouts should be provided to better distribute rain run off into various areas of the adjacent landscape. Rain barrels can be designed into new buildings to accommodate grey water irrigation.
- Access to green and/or usable roof spaces should not be included in the overall building height.

4.3.2. Site Design & Landscaping

Landscaping

- Existing significant trees, tree stands, and vegetation should be protected and incorporated into site design and landscaping.
- Landscaped areas should be maximized to increase the total amount of water runoff absorbed through infiltration. Where there is minimal available area landscaping green roofs should be employed. Landscape designs should incorporate a wide range of strategies to minimize water consumption, e.g. native species, use of mulches and compost, alternatives to grass and rainwater collection systems.
- Native plant materials should be used wherever possible and monocultures should always be avoided.

Surface Run-off

- Impervious surface areas directly connected to the storm drain system are the greatest contributor to storm water pollution. Breaks in such areas, by means of landscaping or permeable paving material should be provided to allow water absorption into the soil minimizing discharge into the storm drain system.



New developments should capitalize on the benefits of planted or green roofs.

- Paved areas, such as surface parking, should be minimized wherever possible in order to maximize permeable surfaces that absorb and filter pollutants.
- The surface area of streets, driveways and parking areas should be as small as possible within allowable standards.
- Parking areas should drain into vegetative or grassy swales incorporated in a project or perimeter landscaping.
- Drainage basins located in parking lots should be planted with native plant materials that thrive in wet conditions. A well-drained snow storage area should be provided in a location that enables melting snow to leach into drainage courses and storm drain inlets to prevent toxic materials from being washed into streams.

4.3.3. Adaptive Re-Use & Recycling of Buildings

- An effective means of achieving environmental sustainability objectives is to reduce dependence on new materials through remodelling or adaptive reuse of existing buildings. When feasible, this is often preferred to demolition and recycling. However, energy consumption of existing buildings should be carefully considered when assessing the environmental merits of a project.
- There are a number of older buildings along St. Clair Avenue West that would be appropriate for some form of adaptive reuse.
- Materials salvaged from demolition should be used in new building design, avoiding the waste and pollution of new production.
- If there are no salvageable materials available from an existing development site, efforts should be made to purchase materials from building demolition sales, salvage contractors and used materials dealers. Materials could be reused in new buildings and in public amenity areas, for example as outdoor paving.
- Many new and established construction products made with reprocessed waste materials are available for specification on new projects. Construction materials containing post-consumer waste or recovered materials have the greatest recycling merit and should be used where feasible.



These naturalized landscapes are virtually maintenance free and absorb significant amounts of stormwater runoff.

Attachment 5: Urban Design Guidelines

St. Clair Avenue West Between Keele Street and Glenholme Avenue

Urban Design Guidelines

Based on excerpts from the Final Report prepared by
Office for Urbanism

Where the Urban Design Guidelines
and the Zoning By-law Amendment and Official Plan Amendment conflict,
the Zoning By-law and Official Plan Amendments shall prevail

Guiding Principles

The Guiding Principles reflect the most salient themes of urbanism that the community has identified throughout the community engagement process.

There are thirteen Guiding Principles in total, and a commitment to them will ensure consistency in future decisions on the form, feel, and function of the study area.

These Guiding Principles will guide the practical decisions made in efforts towards achieving the Vision as they form a frame of reference upon which to base urban design decisions. Each of the Principles has had equal weight in influencing the components of the Urban Design Strategy. Furthermore, they are interdependent, and must be considered collectively.

1

Streets & Sidewalks

Promote beautification and safety to enhance and improve the pedestrian experience on St. Clair Avenue West to encourage pedestrianism and active transportation.



2

Built Form

Encourage appropriately scaled redevelopment and revitalization of underutilized sites in such a way as to contribute to the pedestrian scale and fine-grain rhythm of uses and visual interest at the street edge.



3

Massing

The scale and height of new buildings should respect, be compatible with and provide transition to adjacent low-rise residential neighbourhoods.



4

Environmental Sustainability

Encourage development that enhances the quality of the natural environment including air quality and energy efficiency.



5

Built Heritage & Character

Identify and promote the preservation of landmark heritage buildings and encourage building designs that contribute to the distinct character of the area.



6

Quality of Life & Identity

Ensure that planned changes enhance the amenity and distinction of St. Clair Avenue West for residents/tenants and merchants, and that they reinforce the destination qualities for visitors to the area.



7

Trees & Landscaping

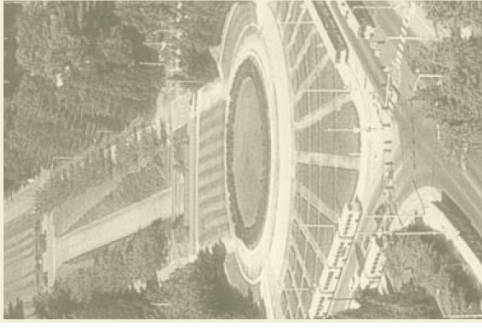
Enhance and expand the "green" aspects (such as trees and landscaping) of the public realm including St. Clair Avenue, adjacent local streets and open spaces.



8

Gateways & Views

Celebrate view corridors and landmark buildings that distinguish the area and announce one's arrival to St. Clair Avenue West.



9

Meeting & Gathering Spaces

Provide for a variety of new passive and active gathering spaces along St. Clair Avenue West in such a way that complements existing open spaces.



10

Visual & Physical Connections

Enhance and complete visual and physical connectivity across St. Clair Avenue West and adjacent neighbourhoods, including pedestrian and cyclist linkages.



11

Parking & Traffic Management

Meet new parking supply demands in a balanced manner while meeting urban design objectives of the area.



12

Mix & Variety of Land Uses

Enable an intensified mixed-use environment that protects existing employment opportunities yet attracts visitors, local residents, and new businesses that add to street life and promote St. Clair Avenue West's ongoing commercial viability.



13

Community Engagement

Formally involve area residents and tenants, property and business owners, and interested individuals in the ongoing evolution of the St. Clair Avenue West.



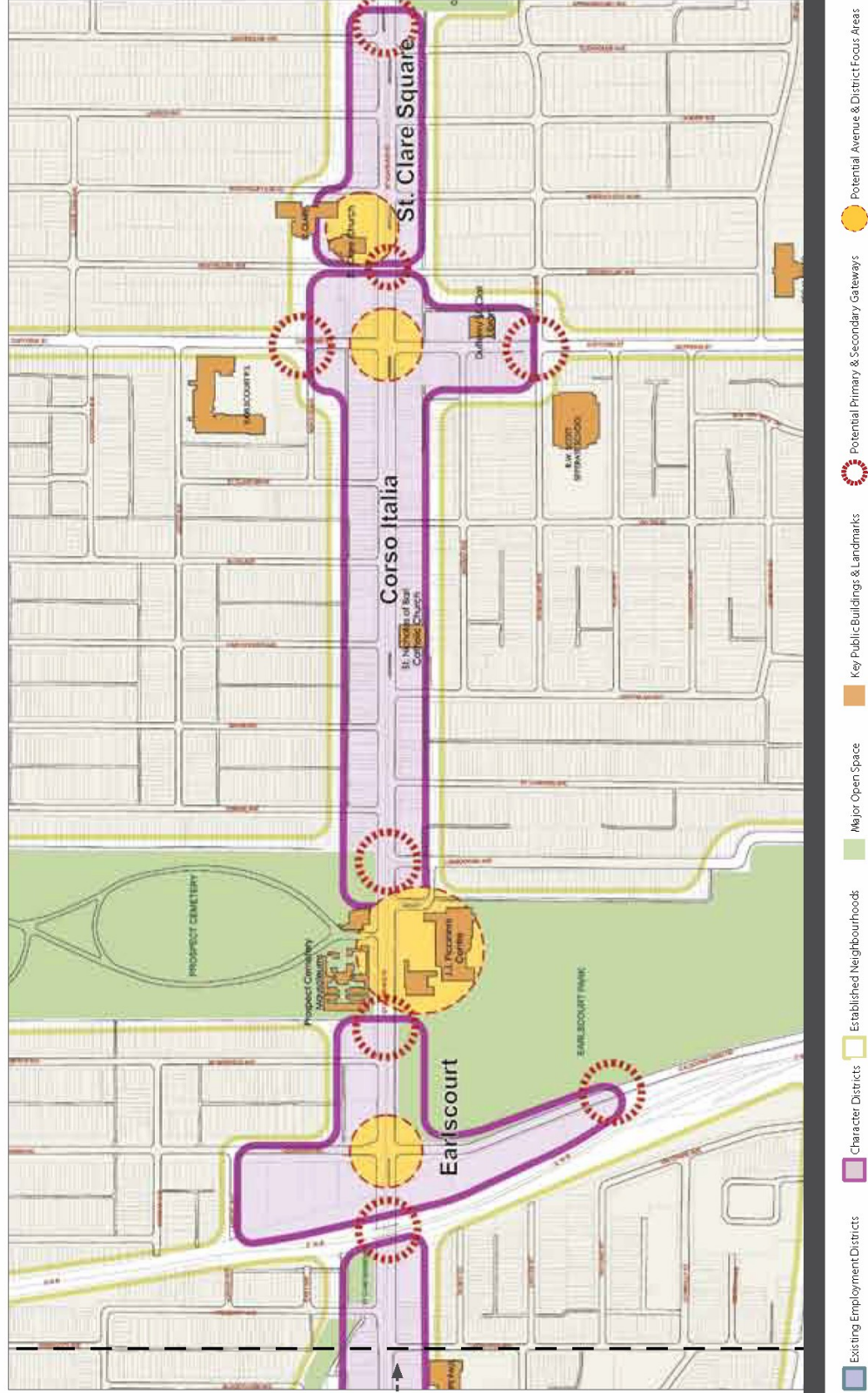




Figure 35. St. Clare Square District



Figure 36. Corso Italia District



Figure 37. Earls court District



Figure 38. St. Clair Gardens District

The greatest mix and intensity of uses and activities will be directed to four mixed-use Character Districts. Supported by transit infrastructure, civic use, amenities and splendid public spaces and streets, these Districts are intended to serve as ‘corridors’ of urbanism that will provide for places to meet and gather, draw visitors from afar, and nurture a vibrant cultural and economic landscape. Land uses, businesses, public amenities, streetscape designs and events should be directed and coordinated to reinforce and nurture the distinct characteristics of each of the following areas:

3.4.1 St. Clare Square District

The function, character and design of this district will:

- ▶ Be centered on the St. Clare Church and adjacent public plaza that will serve as an important event space and meeting place for the community;
- ▶ Have the ‘look’ and ‘feel’ that is evocative of a European neighbourhood;
- ▶ Will frame the plaza with cafes and restaurants that will spill out into the streets in warmer months; and
- ▶ Have extended paving treatments of the plaza across St. Clair to signal the pedestrian charm and nature of the area and help to calm traffic.

3.4.2 Corso Italia District

The function, character and design of this district will:

- ▶ Build on its existing regional draw, cultural identity and social function to cultivate an urban avenue with a vibrant street life nurtured by boutiques, restaurants and cafes;
- ▶ Be anchored on one end by a pinnacle of activity and social interaction at the Dufferin ‘Gateway’ and on the other by the ordered formal setting of the Joseph J. Piccininni

‘Plaza’;

- ▶ Accommodate a significant number of people who will live in a variety of housing choices along the street; and
- ▶ Accommodate festivals with a regional draw.

3.4.3 Earls court District

The function, character and design of this District will:

- ▶ Repair and complete the most significant ‘gap’ in the urban fabric of the Avenue;
- ▶ Frame, animate and enhance the use and safety of Earls court Park;
- ▶ Possibly become a major inter-modal transit hub served by a GO Station, relocated streetcar loop and large public parking facility; and
- ▶ Provide a variety of housing in a number of building types that will transition down in height and scale to the adjacent neighbourhoods to the north.

3.4.4 St. Clair Gardens District

The function, character and design of this district will:

- ▶ Be focused on a new public plaza at Old Weston Road;
- ▶ Leverage its diverse and complex social and economic intersection to become an incubator for small scale, alternative, ethnic and innovative businesses;
- ▶ Accommodate a significant population increase on large underutilized sites that allow for residential use which will serve to complete the district and provide for enhanced public amenities;
- ▶ Extend the flea market functions to St. Clair Avenue West and broaden its appeal to the

region; and

- ▶ Reinforce visual and physical connections to Keele Street and to Caledonia Road through enhanced streetscapes and the design transformation of the rail overpasses.

3.4.5 Employment Districts

The existing employment districts (not to be confused with the Employment Districts in Map 2 of the OP) along the western extents of the study area and along the CN rail corridor have had a historic role in the life of this community. They continue to employ a significant number of local residents and help to ensure the broad socio-economic mix that is a defining quality of the area.

- ▶ Existing viable employment lands adjacent to the corridor should be clearly defined and maintained to strengthen the mixed-use character of the area.
- ▶ New residential developments that may be located in close proximity to these uses should be required to integrate mitigating measures to ensure minimal conflicts that may arise due to noise, odour, or traffic concerns.
- ▶ New residential development should not impact the continued viability of these employment uses or necessitate the need for undue mitigation measures.

3.4.6 Established Neighbourhoods

Existing, stable low-rise residential areas are defined to ensure they are maintained and not adversely impacted by adjacent intensification (Fig. 39).

- ▶ Change that occurs in neighbourhoods will be compatible in scale and will reinforce the existing prevailing character.
- ▶ Development adjacent to neighbourhoods

will be required to ensure no adverse shadow impacts and an appropriate transition in scale and intensity.

3.4.7 Major Open Spaces

Major open spaces that frame and serve the various districts and neighbourhoods have been identified. These spaces are essential to quality of life and critical to the success of intensification (Fig. 40).

- ▶ The quality, programming, amenity and access to open space should be improved to enhance the liveability of the area.
- ▶ New public open spaces of a variety of types and scales should be secured with significant development sites.

3.4.8 Key Public Buildings & Landmarks

Community centres, places of worship, libraries and buildings of heritage value contribute to a neighbourhood or district's amenity and identity. These have been identified as key public buildings and landmarks to protect and enhance.

3.4.9 Potential Primary & Secondary Gateways

Key points of entry on to St. Clair Avenue West and into the distinct districts are identified for gateway treatment that can include signage, landscaping, public art and architectural features to enhance the area's identity (Fig. 41).

3.4.10 Avenue & District Focus Areas

The central location and public function of the Joseph J. Piccirilli Community Centre makes it an appropriate location to create a primary civic focus for this part of St. Clair Avenue West. Each district should also strengthen or create areas of focus for commercial or civic functions. Focus areas can be located at key intersections or around civic uses and/or public spaces – these have been identified as secondary focus areas (Fig. 42).



Figure 39. Established Neighbourhoods



Figure 40. Major Open Spaces



Figure 41. Potential Gateways



Figure 42. Avenue & District Focus Areas

3.5 Public Realm Framework

The Public Realm Framework defines the desired future character and function of the various components that comprise the public domain, including streets, parks and civic uses (Fig. 43). The intent of this framework is to direct public investment decisions and to guide the way the built form interfaces and frames public space. The components of the Framework and applicable guidelines are described on the preceding pages.

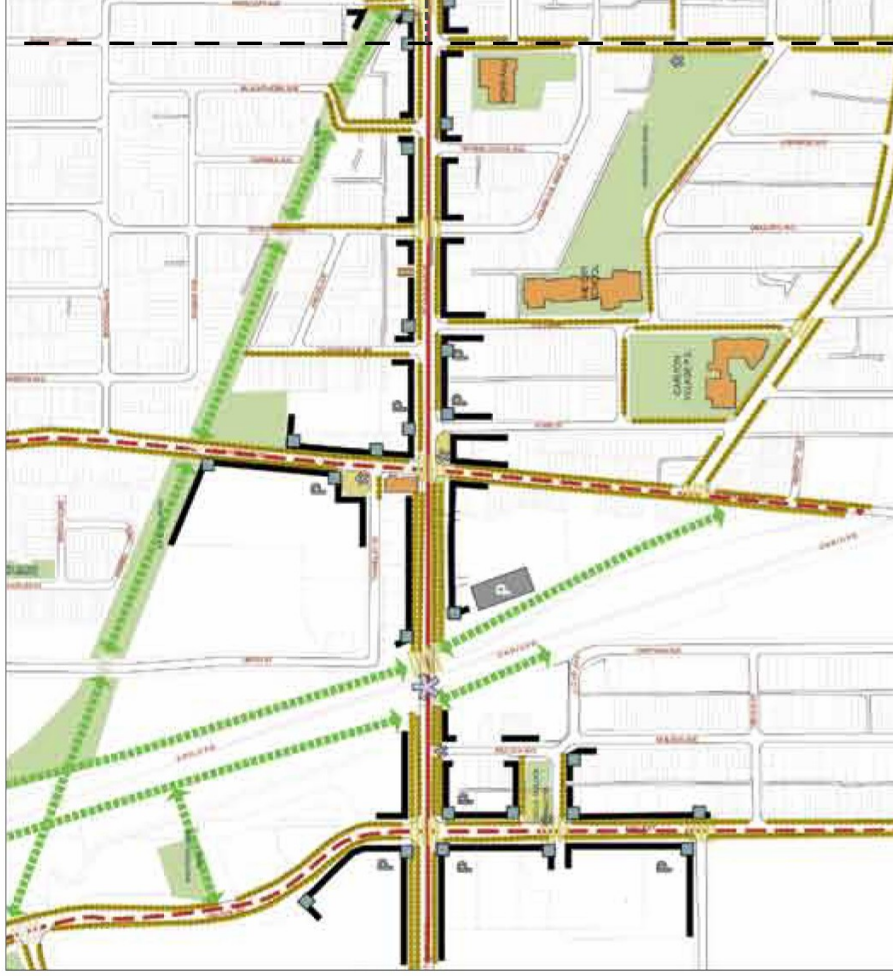


Figure 43. Public Realm Framework



- Existing & Potential Green Open Space
- Key Existing Public Uses/Landmarks
- Potential view terminating buildings
- Potential Plaza/Square
- P Potential Public Parking
- U Potential Underground Public Parking
- Potential Public Art Sites
- Important Built Edge

3.5.1 Streetcar Line & Bus Routes

The public transit network defines streets that will have significant pedestrian traffic which should be accommodated with enhanced walking environments and connections (Fig. 44).

- ▶ The location of crosswalks, mid-block connections and other pedestrian routes and amenities should as much as possible correspond to the locations of transit stops, in accordance with the St. Clair streetcar project.

3.5.2 Pedestrian Path/Connection

New and existing pedestrian and cycling paths will enhance the connectivity of the area to the surrounding neighbourhoods and city (Fig. 45).

- ▶ Paths should provide for safe bridging over

rail lines where permitted and street crossings to connect to other open spaces and civic destinations.

- ▶ Rail lines should be utilized to accommodate routes where permitted that can more directly link to the surrounding communities.
- ▶ Where possible mid-block connections should be provided to enhance pedestrian circulation.
- ▶ Paths should be designed with adequate lighting and furnishings for use in all seasons and hours.
- ▶ Where possible paths should be designed to accommodate cycling.

3.5.3 Pedestrian Crosswalks

The success of a retail street can hinge on how well

it can accommodate and enhance the pedestrian experience. A sense of comfort and safety will be heightened when the speed of traffic is reduced. Crosswalks serve two functions: the clear demarcation of a safe route for a pedestrian to cross; and a traffic calming measure (Fig. 46). Frequent stops will ensure slower traffic speeds and cautious driving.

- ▶ Where possible every key four way intersection along a major pedestrian corridor should have crosswalks.
- ▶ To enhance their visibility and quality, crosswalks should utilize distinctive feature paving or markings.
- ▶ Signalized pedestrian crosswalks should be provided at mid-block locations where important civic destinations and/or significant walking traffic exists, such as in front of the Joseph J. Piccininni Centre.



Figure 44. Proposed TTC improvements at streetcar Stops



Figure 45. Enhanced pedestrian connection



Figure 46. Pedestrian crosswalks with distinctive paving

3.5.4 Enhanced Streetscapes

Key streets that accommodate significant pedestrian traffic, include public transit, and connect to key public destinations and parks should be enhanced to ensure walking comfort, appeal and safety.

While the St. Clair Avenue West streetscape will be enhanced alongside the TTC improvements, a number of other key streets have been identified as priority 'green' pedestrian connections.

- ▶ Wherever possible, the sidewalks on north-south local streets should 'bump-out' where those streets intersect with St. Clair Avenue West (Fig. 47). These extensions to the sidewalk should be designed as features in the streetscape and can include landscaping, trees, public art, feature paving and spill-out commercial activity (ie. patios) for adjacent businesses.
- ▶ Important street connections to pedestrian

destinations, open spaces and public uses should be designed and landscaped to enhance the walking environment and to reinforce these linkages.

- ▶ Overhead telephone and hydro wires should be buried with significant streetscape reconstruction.
- ▶ To avoid visual clutter and unnecessary obstructions on sidewalks, streetscape improvements should include lighting, furnishings, newspaper boxes, trash bins, signage etc. within a unified design vocabulary.

3.5.5 Promenades

As a means of enhancing the streetscape, widening sidewalks and reinforcing important pedestrian connections, promenades (Fig. 48) have been

identified for key redevelopment sites adjacent to the CN/CP Rail overpasses and along major open spaces. As a significant landscape and design feature, Promenades can mitigate "dead" gaps in the animation of the streetscape while providing for an appealing open space amenity for fronting uses.

- ▶ To permit promenades with a double row of trees and an adequate centre path, buildings should setback a minimum of 7 metres from the front property line.
- ▶ Promenades should be designed with distinctive paving and adequate pedestrian lighting.
- ▶ The visual anchor points of a promenade should be utilized for public art sites to reinforce connectivity.



Figure 47. 'Bump-out' sidewalks at local road intersections

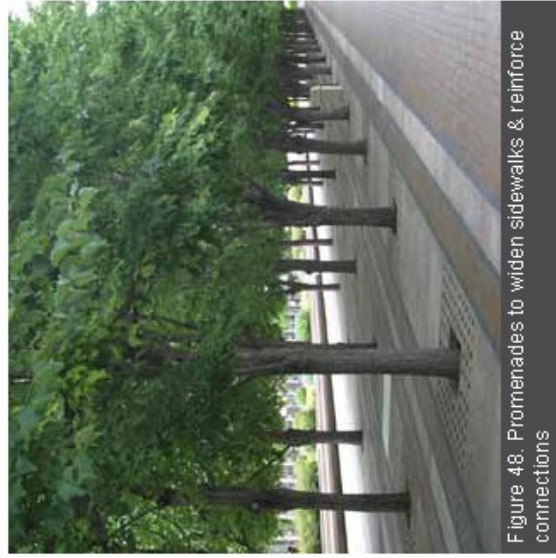


Figure 48. Promenades to widen sidewalks & reinforce connections

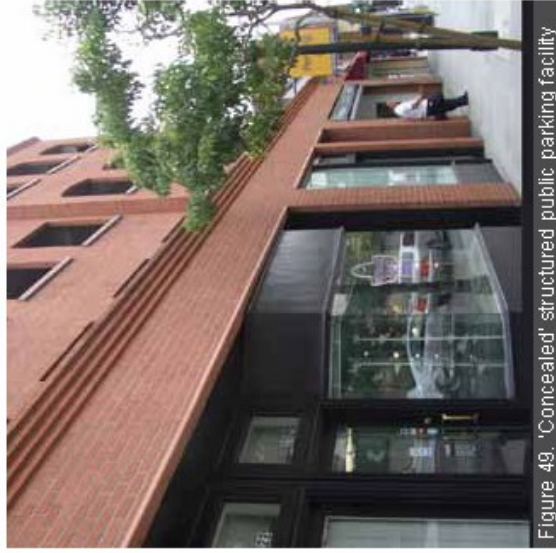


Figure 49. 'Concealed' structured public parking facility

3.5.6 Structured & Underground Public Parking

Providing for public parking facilities is not only a matter of meeting demand, but is also a potential catalyst for development interest and investment. Public parking facilities can enable a loosening of the parking standards and serve as an incentive for intensification.

Below-grade public parking facilities integrated within developments are encouraged throughout the study area. Furthermore, existing public surface parking lots and large redevelopment sites along the rail corridors have been identified as potential locations for 'concealed' above-grade facilities (Fig. 49). The Built Form Guidelines provides further guidance for the design of parking structures. On individual sites, surface parking lots should be deterred.

3.5.7 Green Open Spaces

Existing green open spaces should be enhanced with landscaping and appropriate programming. New open space opportunities should be identified for sites with large scale redevelopment (Fig. 49).

- Depending on the scale, open spaces that serve a broad population should consider both passive and active recreational opportunities for young and old.
- The design and location of open spaces should utilize Crime Prevention through Environmental Design (CPTED) principles by ensuring:
 - ▶ Clear views in and to surrounding areas;
 - ▶ Adequate lighting;
 - ▶ Fronting buildings to overlook public space;
 - ▶ The use of signs and design for ease of ac-

cess and egress; and,

- ▶ A mix of activity for constant use of the space.

3.5.8 Plaza/Public Squares

There are several opportunities to create potential public plazas or squares to provide for community gathering places, to introduce a variety of public spaces and to reinforce district identities (Fig. 51).

- ▶ Paved spaces should be framed by structures and not exceed a 100'x100' dimension to retain a comfortable level of intimacy and enclosure, including when there are users.
- ▶ To ensure maximum utilization and presence in the community, the plaza should be fronted by animated uses with a high level of transparency, such as restaurants and cafes.



Figure 50. Buildings fronting on green open spaces

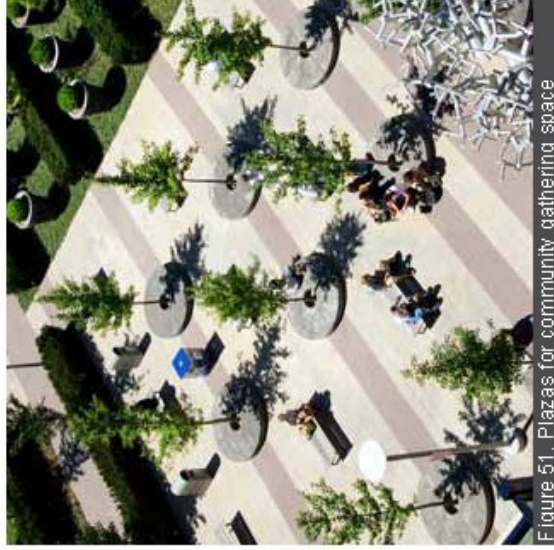


Figure 51. Plazas for community gathering space



Figure 52. Public art to reinforce local identity & visual connections

- ▶ Extending the paving treatment onto the street can give the space further prominence while delineating an extended space that can be occasionally utilized for large scale events.

3.5.9 Potential Public Arts Sites

Public art can help to establish a unique identity and can contribute to enhancing the quality of the public realm in ways that conventional streetscape elements cannot (Fig. 52). Key locations for public art that have been identified include civic spaces, gateways and the railway overpasses.

- ▶ Public art may include memorials, statues, water features, or individual art installations at visually prominent sites, plazas, parks, gateways along sidewalks and/or in association with public buildings.

- ▶ Because of their visibility, these sites should include installations that serve as accents to the district, as orienting devices for moving about, or as focal points in public open spaces.
- ▶ The scale of the installation should correspond to the visual prominence of its site.

3.5.10 Public Uses/Landmarks

Community centres, places of worship, libraries and buildings of heritage significance are valuable components of the public realm framework that can contribute to creating a unique 'sense of place' (Fig. 53). Many of the open space improvements or proposals correspond to leveraging an adjacent public use and/or heritage landmark.

- ▶ Where new public uses are proposed, they should be located on strategic sites that are

visually prominent.

- ▶ The design of public buildings should reinforce the distinct character of the area and should showcase the quality of architecture and materials desired for new development along the Avenue.

3.5.11 Important Built Edge

Buildings are fundamental to the public realm because they frame and give a sense of enclosure to streets and open spaces. In mixed use areas, the visual interest and comfort of pedestrians on the street and in public spaces hinges on how the buildings and their uses interface with these spaces (Fig. 54). The Public Realm Framework identifies priority building frontages for ensuring both appropriate 'enclosure' and 'animation' of public spaces. The Built Form Guidelines (Chapter 3.6.2) provides guidance for street wall conditions.



Figure 53. Design public buildings to showcase character & quality

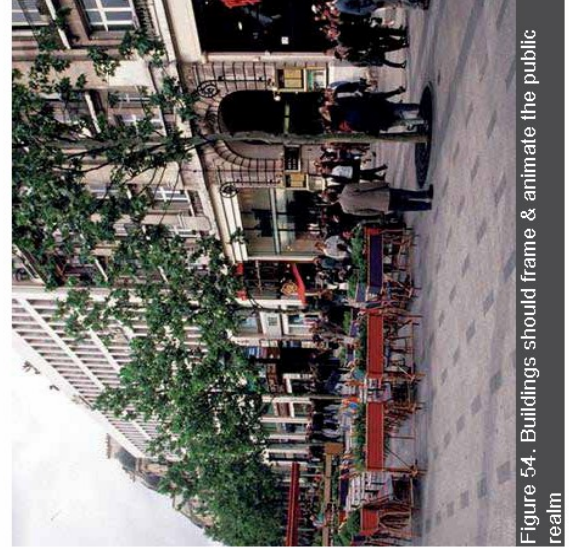


Figure 54. Buildings should frame & animate the public realm

3.5.12 Potential Landmark/Signature Architecture

Highly visible building sites at gateways, main intersections, on public spaces and at the terminus of streets are opportunities for architectural features that can enhance the quality of the public areas, reinforce district identities and serve to orient pedestrians. The Built Form Guidelines (Chapter 3.6.2) provides further guidance for the treatment of signature, corner and terminus building sites.

3.6 Built Form Guidelines

3.6.2. Built Form Guidelines

3.6.1.4 Landmark/Signature Architectural Treatment

Highly visible building sites at gateways, main intersections, on public spaces and at the terminus of streets are identified for special architectural treatments to enhance the quality of the public areas, reinforce district identities and serve as orienting devices for pedestrians (Fig. 57). These sites should permit distinct features in addition to encouraging high quality material and architectural design (Fig. 58).

3.6.2.1 Building Elements

To encourage a continuity of articulated streetscapes and to ensure horizontal 'breaks' in the façade, buildings ranging in height should be designed to reinforce the following key elements (Fig. 59):

- **Base** – The grade level up to the first three or four storeys should be clearly defined and positively contribute to the quality of the pedestrian environment in the level of animation, transparency, articulation and material quality.
- **Middle** – The body of the building above the base should contribute to the physical and visual quality of the overall streetscape.
- **Top** – The roof condition should be distinguished from the rest of the building and designed to contribute to the visual quality of the skyline.

3.6.2.2 Orientation & Placement

- All buildings should orient to and be placed at the street edge with clearly defined primary entry points that directly access the sidewalk.
- 100% building coverage of the front-yard is encouraged for all developments and required for

- frontages that are less than 30 metres in width.
- To avoid a discontinuity in the street wall and exposed blank walls, building setbacks to widen the St. Clair sidewalk are encouraged for corner development sites. A 1.5 metre setback from the front of the property would ensure adequate pedestrian movement at the intersections. Subsequent developments of adjacent properties should be required to setback to be consistent with the corner building.
- Where the full length of a block is being redeveloped, a minimum 1.5 metre setback should be provided.
- Side-yard setbacks should not be permitted.

3.6.2.3 Prominent Street Walls

The "Important Built Edge" areas defined in the Public Realm Framework (Chapter 3.5.11) is consistent with the prominent street walls defined as part of the Built Form Framework. The Street Wall refers to the face of the building that frames the street and gives enclosure to public space. The character and scale of the street wall is important because it is the part of the building that is most visible and tangible to shaping the image of a place and the quality of the pedestrian experience. Accordingly, the guidelines seek to achieve a continuity of human-scaled, animated and high quality street walls for St. Clair Avenue West.

- All frontages on St. Clair Avenue should have retail uses at-grade with a minimum 75% glazing to achieve maximum visual transparency and animation.
- The retail uses and glazing condition should address the side street frontage at corner sites to a maximum depth of 30 metres.

The Urban Design Strategy Built Form Framework & Guidelines

3

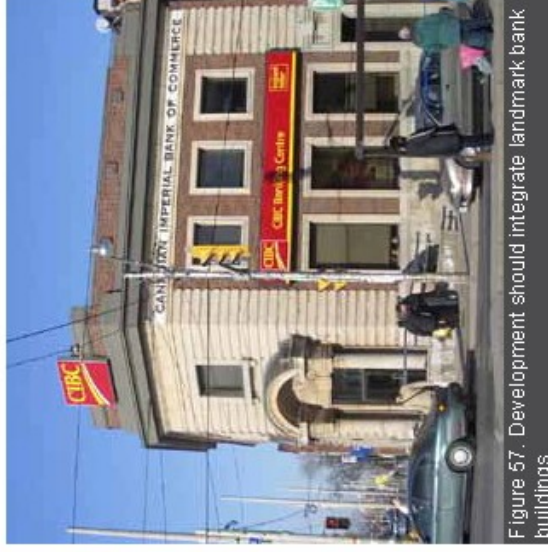


Figure 57. Development should integrate landmark bank buildings

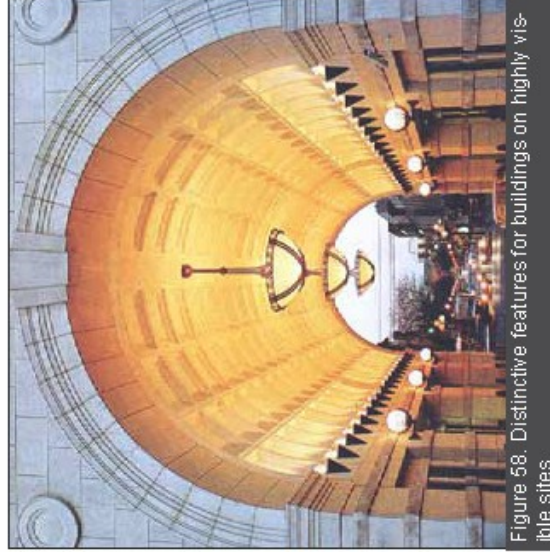


Figure 58. Distinctive features for buildings on highly visible sites

- To be consistent with the prevailing street wall character and to reinforce the human-scale, the maximum height of the street wall is five storeys (16.5 metres) at which point the building will be subject to above-grade setbacks.
- The street wall should contribute to the 'fine-grain' character of the streetscape by articulating the façade in a vertical rhythm that is consistent with the prevailing character of narrow buildings and storefronts – generally in intervals between 6 and 12 metres (Fig. 60).
- Grade levels should have a prominent presence on the street with a floor-to-ceiling height that is no less than 4.5 metres.
- Street walls should be designed to have the highest possible material quality and detail.

3.6.2.4 Height & Massing

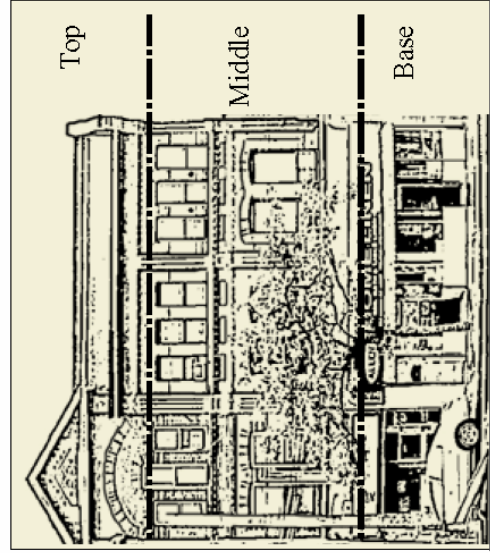


Figure 59. Building elements

- Minimum building heights for new developments fronting on St. Clair Avenue should be 3 storeys (10.5 metres).
- To ensure a balanced sense of enclosure along St. Clair, maximum building heights should be proportional to the street width – 30 metres or 9 storeys.
- The taller components of a development should always be oriented towards St. Clair Avenue, stepping down in scale and height towards low-rise areas to provide a transition.
- To ensure adequate sun penetration to the street, all developments fronting the south side of St. Clair Avenue are subject to a 45 degree angular plane as measured from the front of the sidewalk on the north side of the street (Fig. 63).

- To ensure adequate sun penetration as well as transition to low-rise residential properties,

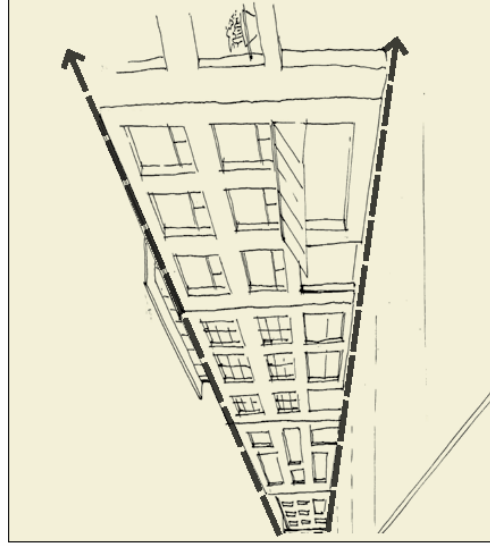


Figure 60. Reinforce the prevailing street wall character and rhythm

- abutting properties that are fronting the north side of St. Clair Avenue should continue to be subject to a 45 degree angular plane that is consistent with the MCR zone (extending from a rear-yard setback of 7.5 metres and at a height of 10.5 metres).
- To ensure adequate transition to low-rise residential properties to the south of St. Clair Avenue, all abutting new development should be subject to a 60 degree angular plane (extending from a rear-yard setback of 7.5 metres and at a height of 10.5 metres).
- To reinforce a human-scaled street wall generally of 5 storeys, the upper storeys of new developments should stepback a minimum 1.5 metres from the front of the street wall (Fig. 61).

- For new developments with wider lot widths, a minimum 5.5 metre side-yard setback

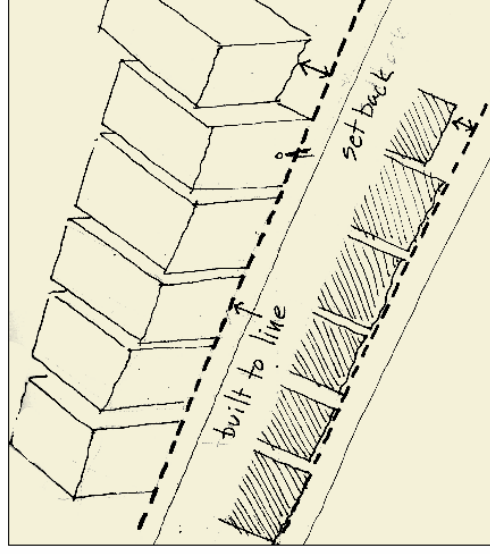


Figure 61. Minimum 1.5 metre setbacks for corner developments

should be provided above the height of the street wall to encourage breaks in the building mass for greater sun penetration and sky views from the street level.

- To ensure architectural variety and visual interest, other opportunities to articulate the massing should be encouraged, including vertical recesses, cornice lines, and additional setbacks for penthouse levels.

3.6.2.5 Corner & Terminus Sites

- To enhance the distinction and landmark quality of new buildings on corner or visual terminus sites, modest exceptions to setbacks and height restrictions could be permitted to encourage massing and designs that accentuate the visual prominence of the site – architectural treatments can include tall slender elements such as spires and turrets (Fig. 64).

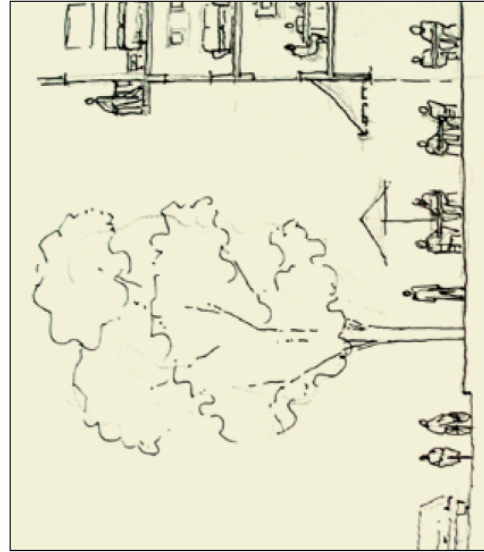


Figure 62. Animation, transparency & heights for grade levels

orient to both street frontages.

- New developments on terminus sites should align design features to the view axis which, in addition to tall elements, can include aligned entries or portico openings.
- As new developments on corner and terminus sites can shape the image and character of an area, they have greater civic obligations to ensure that the highest possible standards in design and material quality.

3.6.2.6 Taller Buildings

- Buildings up to 12 stories may be considered only on sites that front on St. Clair Avenue and only within the certain areas identified by the zoning by-law

- Buildings should be designed to be signature landmarks for these revitalized districts.
- Buildings should be massed to clearly articulate the base, middle and top of the building.
- The mechanical penthouse should be integrated into the architectural design of a building (see Section 3.2.6.1).
- Buildings should be subject to wind and shadow studies, as well as meet the City of Toronto Design Criteria for Review of Tall Buildings.

3.6.2.7 Parking & Servicing

- Wherever possible, parking for new developments should be provided below-grade and accessed by a rear lane.
- If possible, new developments should introduce rear lanes where they do not already exist or add to existing lanes to improve function where appropriate or necessary. Otherwise an adequate easement in the appropriate location should be maintained to protect for a future potential alignment.
- Surface parking and service areas should be located to the rear of a development and generally not visible from the street (Fig. 65).
- Where surface parking or service areas are exposed, they should be concealed with landscaping and/or other mitigating design measures.
- Direct vehicle access from St. Clair Avenue West shall be discouraged for any property with a lot frontage of 30m or less. Direct vehicle access to St. Clair Avenue West for any property with a lot frontage greater than 30m shall be:

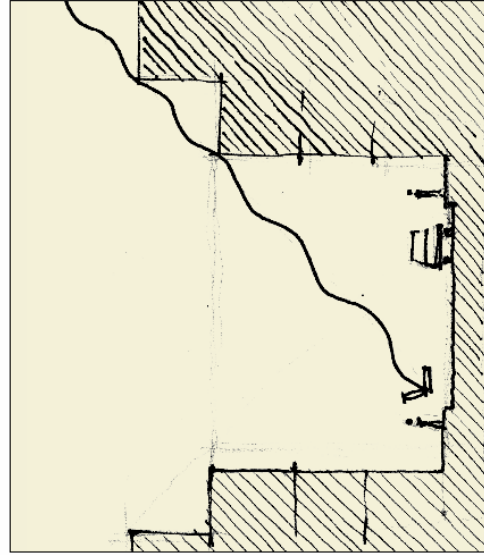


Figure 63. Properties on the south side of the street should be subject to a 45 degree angular plane, similar to the existing MCR angular plane for the north side.

- ▶ limited to a single driveway that is shared with adjoining properties wherever possible;
- ▶ limited to in-right/out-right turning movements only; and,
- ▶ shall only be permitted if there is no other means of vehicle access to the property.
- Where a structured public parking facility is visible, it should be designed to be integrated into the surrounding context by using similar façade articulation and materials, including small openings that function as 'windows'.
- Where a structured parking facility fronts on a street, the ground-level should incorporate retail, public or other active uses where possible.

3.6.2.8 Landscaping & Amenity Areas

- Where possible, new developments abutting low-rise residential areas should provide accessible and visible green areas or courtyards internal to the block to provide an appealing shared amenity that can also act as a buffer to adjacent residential properties (Fig. 66).
- Roof gardens should be encouraged on all above-grade surfaces.
- With the introduction of new and widened rear lanes, a landscaped strip should be provided to buffer adjacent residential properties.

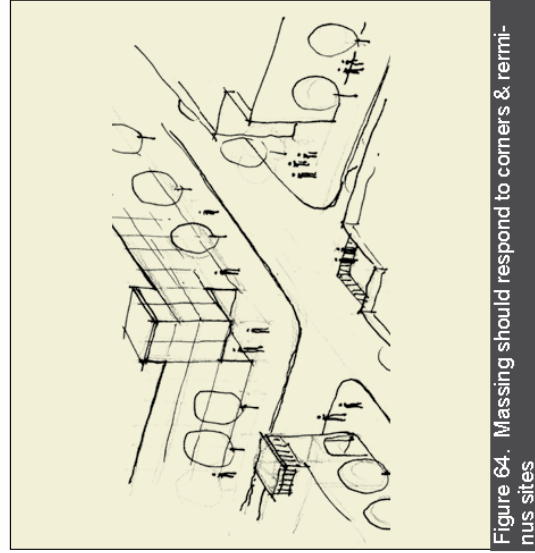


Figure 64. Massing should respond to corners & re-entrant sites

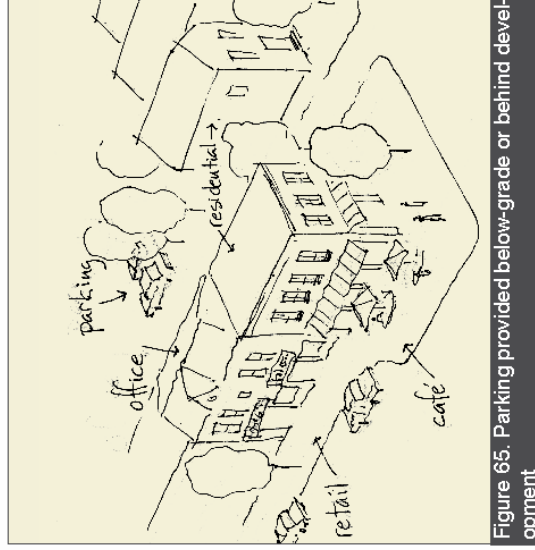


Figure 65. Parking provided below-grade or behind development

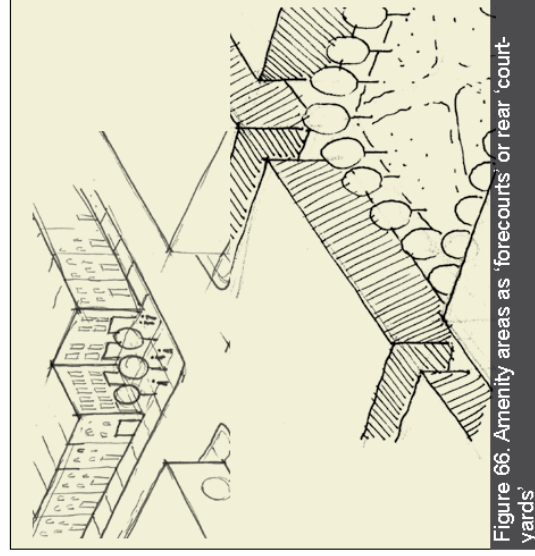


Figure 66. Amenity areas as 'forecourts' or rear 'courtyards'

**Attachment 6: Community Services and Facilities Review
(Bathurst Street to Glenholme Avenue)**

**COMMUNITY SERVICES AND FACILITIES REVIEW
ST. CLAIR AVENUE WEST – BATHURST TO
GLENHOLME AVENUE STUDY**

**Policy & Research Section
City Planning Division
August 2008**

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EXECUTIVE SUMMARY

This report provides a review of community services and facilities (CS&F) that are available to the local population in the St. Clair Avenue – Bathurst to Glenholme *Avenue* Study Area. Key services and facilities include publicly funded schools, child care facilities, libraries, community centres and parks and open space. The review also includes human service agencies that offer support to area residents. The purpose of the review is to identify the range of available community services and facilities and emerging priorities for additional community resources that should be considered when planning for future growth within the study area. Policy 2.2.3.2 (a) (iii) in the new Official Plan requires that an *Avenue* Study set out investments in community improvements including community services and facilities needed to support city living and make the area attractive for residents and businesses. The CS&F review was prepared to assist planning staff in their *Avenue* Study for the section of St. Clair Avenue between Bathurst Street and Glenholme Avenue.

The study focused on available data, such as, enrollment, capacity, service deficiencies, service boundaries and types of programs, and anecdotal information derived from discussions with some community service staff. The consultants, Brook McIlroy Planning provided input from their community consultation; their findings and recommendations are presented in their Final Report, December 2007. Demographic characteristics of area residents are briefly described in Section 1.5.

Section 2, Community Services and Facilities, reports on the availability of key services and facilities in the area, including publicly funded schools, child care facilities, libraries and community centres, and discusses emerging priorities. See also Map B and the accompanying list in Appendix II. Human Service Providers are shown on Map C and the list in the Appendix III. Details on individual services and facilities are included in the tables in Appendix IV.

The review of these community resources revealed the following:

- Schools: School Board staff reported that school facilities overall are adequate for current enrolments. Alternate arrangements are available if needed to accommodate an increase in elementary school students in the future.
- Child Care: Children’s Services estimated that approximately 31% of children who require some form of child care are now being served in licensed child care centres in the CS&F Study Area. In order to accommodate increased demand, as well as to raise the overall level of service, staff are looking to increase the percentage of these children who are served to 50%. Additional child care spaces are therefore needed for this area. Given the existing deficiency, child care would be a top priority to service any future growth in the area.

Community centres:

Two City owned and operated community centres are located within the CS&F Study Area: Hillcrest Community Recreation Centre (CRC) on Bathurst Street and Fairbank Memorial Community Centre on Dufferin Street. Swimming programs are also offered at the Toronto District School Board Secondary School (TDSB), Vaughan Road Academy.

Hillcrest CRC is a shared use facility with the Toronto District School Board. Space pressures currently experienced according to recreation staff may be eased with the opening of the new Green Arts Barn on Wychwood Avenue, south of St. Clair Avenue. The new facility being developed by Artscape is expected to include space for community uses and is considered suitable by recreation staff as a potential program location to supplement those at Hillcrest, including day camps.

The York-Fairbank Centre for Seniors is a major user at the Fairbank Memorial C.C., with dedicated office space and daily programming. A new gym provides an important venue for basketball and other popular activities for area youth. The centre lacks an indoor pool, a point noted by centre staff who reported that “the community wants a pool”. Area residents can register for swimming programs at Vaughan Road Academy. Other nearby facilities with an indoor pool include Joseph J. Piccininni CRC on St. Clair Avenue, west of Dufferin Street and Wallace-Emerson CC, on Dufferin Street, south of Dupont Street.

Parks and Open Space:
city: less

Most of the study area has the lowest level of parkland provision in the city: less than 0.43 hectares of local parkland per 1,000 people. Council has designated the area as a Parkland Acquisition Priority Area where the new alternative parkland dedication rate will apply for residential development and the residential portion of mixed use development. At their community consultation events, the consultants heard expressions of the need for more public open space; participants proposed adding small piazzas and parkettes where possible along St. Clair Avenue.

Public Libraries:
five

Library Board staff reported that there is excellent service coverage with five branches currently serving the area, including the Neighbourhood Branches: Oakwood Village Library and Arts Centre on Oakwood Avenue, Davenport Library on Shaw Street, Forest Hill Library, on Eglinton Avenue West, and Wychwood Library on Bathurst Street; and the District Branch, Maria A. Shchuka on Eglinton Avenue West. In addition, the Dufferin/St. Clair Branch on Dufferin Street is closed for a

major renovation and restoration. Renovations will update the facilities, improve building accessibility and add a new program room. The branch is expected to re-open in the summer of 2008.

Human Service

Agencies: Human service agencies provide a broad range of services that can assist residents, including home support services, family resource programs, health services, family and youth counseling, employment and job training, immigrant services, and legal services. Anecdotal information from area residents and limited contact with service agencies suggest that there is a demand for affordable space for human service providers. Demand is currently being managed by agencies and local groups through their own resourcefulness and the cooperation of local businesses and property owners. There are also a number of smaller human service providers that have located in the area because this was where they could find affordable space. Their future here will depend on the impact of new development projects on the cost and demand for older rental space.

There is a city-wide shortage of affordable space for smaller human service providers with limited budgets. In the event that there is new development in this area, opportunities for additional multi-purpose community service space should be considered to ensure that agencies and community groups can offer their services where they are most needed. Further consultation with local agencies will be required at that time to assess their particular needs.

**COMMUNITY SERVICES AND FACILITIES REVIEW
FOR THE ST. CLAIR AVENUE WEST “AVENUE” STUDY
– BATHURST STREET TO GLENHOLME AVENUE**

1.0 INTRODUCTION

1.1 Purpose

This report provides a review of community services and facilities (CS&F) that are available to the local population in the vicinity of St. Clair Avenue West, between Bathurst Street and Glenholme Avenue. Key services and facilities include publicly funded schools, childcare facilities, libraries and community centres. The report also identifies human service agencies that offer support locally. The purpose of the review is to identify the range of available community services and facilities and emerging priorities that should be considered when planning for future growth within the study area.

1.2 Background

The City’s Official Plan makes a strong link between building good communities and the provision of local community services and facilities. Accordingly, Policy 2.2.3.2 (a) (iii) requires that an *Avenue* Study set out investments in community improvements including community services and facilities needed to support city living and make the area attractive for residents and businesses.

A review of community services and facilities can help identify service provision issues that exist within the study area, and assist in determining what CS&F improvements may be necessary to enhance the quality of life for current and future area residents.

1.3 Study Area

The Avenue Study examines the portion of St. Clair Avenue between Bathurst Street and Glenholme Avenue. The Community Services and Facilities (CS&F) Review study area covered a larger area in order to identify community services and facilities that may also serve this population, as service areas vary. The CS&F Study Area extended between Eglinton Avenue south to the railway tracks, just north of Dupont Street, and from Dufferin Street on the west to Spadina Road as the east boundary. The area is shown in blue (shaded area in non-coloured versions) on Map B in Appendix II.

1.4 Methodology

An inventory was compiled of existing community services and facilities and human service agencies located in the CS&F Study Area. This report includes a profile of key publicly-funded services and facilities including schools, childcare facilities, community centres and libraries, using available data, such as, enrollment, capacity, service deficiencies, service boundaries and types of programs. Limited contact was made with

some agency staff. The consultants, Brook McIlroy Planning provided input from their community consultation; their findings and recommendations are presented in their Final Report, December 2007. Census data for the study area were analyzed to develop a demographic profile of area residents.

1.5 Demographic Profile

The demographic profile was based on census data from 2001 and 2006 for the CS&F Study Area. See map of the CS&F Study Area in Appendix II. Statistics Canada reported that in 2006 there were 34,594 people living in the study area. This figure represented a decline of almost 9% from 2001. The previous census recorded only a minimal population change between 1996 and 2001. (See Appendix V Data Notes concerning population data and possible undercounting in the 2006 census.)

The area is quite stable with more “non-movers” here than City residents overall. There are fewer international immigrants, and particularly fewer recent arrivals. Housing stock is old, mostly built before 1960. Over one third of all dwelling units are found in the area’s many low rise apartment buildings. Renters outnumber owners. Residents are generally similar to Toronto in terms of families with and without children, although average household size is smaller, and there are more non-family households. The area has a slightly lower proportion of children and youth; and data here show a similar small decline in these age groups as recorded for the overall population. More seniors (65 and over) are living alone in this area. There are more university graduates, the labour force participation rate is higher, and the average household income (in 2005) was just slightly below the city-wide average.

A summary of 2006 demographic characteristics is included as Appendix V.

2.0 COMMUNITY SERVICES AND FACILITIES

This section summarizes the availability of community services and facilities. Key services and facilities include publicly funded schools, childcare facilities, community centres, parks and open space, and libraries. See also Appendix II, Map B and the accompanying list. Human service providers are shown on Map C and the accompanying list in Appendix III. Details on individual services and facilities are included in the tables in Appendix IV.

2.1 Schools

Capacity and enrolment data for elementary schools in the study area indicate that these facilities are generally operating satisfactorily and that there is capacity overall in area facilities to accommodate additional students. At the Secondary School level, they noted, students have greater options and often make choices outside their neighbourhood school.

2.1.1 Toronto District School Board (TDSB)

There are ten elementary schools serving the CS&F study area. Oakwood Collegiate Institute and Vaughan Road Academy are the secondary schools located in the area. See Table 1a in Appendix IV for capacity and enrolment information for TDSB schools serving the area.

School enrolment statistics suggest a low utilization at many of the schools serving this area. However, as Board staff pointed out, the presence of community programs operating in these facilities is not reflected in the utilization rates. Staff have advised that these schools are operating satisfactorily and generally have capacity to accommodate additional students.

2.1.2 Toronto Catholic District School Board (TCDSB)

There are seven Catholic elementary schools located in the CS&F study area. According to data provided by School Board staff, one school, St. Thomas Aquinas on Glenholme Avenue was operating above capacity (129%). In some instances students may have to be transported by school bus to schools outside of the immediate community depending on the availability of space. There are no secondary schools in the area. Staff advised that students attend Archbishop Romero further west on Humber Blvd. See Table 1b in Appendix IV for capacity and enrolment information for TCDSB schools serving the area. TCDSB staff reported that most of the school enrolment levels are acceptable at the present.

2.2 Child Care Centres

The review examined both non-profit and “for profit” programs offered in child care centres located within the CS&F Study Area. There are 29 child care centres, including ½ day nurseries. These facilities together are licensed for a total of 1504 spaces. Table 2 in Appendix IV provides details of child care programs. Many centres operate near capacity. For those with a subsidy agreement, there is usually a wait list.

Only 31% of the children that Children’s Services staff estimated require some form of child care are now being served in licensed child care centres in the St. Clair Avenue – Bathurst to Glenholme CS&F Avenue Study Area. Children’s Services staff recommend that 50% of all children 0-9 years should have access to a licensed child care space in their neighbourhood. They explained: “This recommendation is based on having adequate licensed child care services for families where both parents are working or going to school as well as for those families who may have a parent at home but still want a preschool early learning experience for their child.” The current supply of 1504 licensed spaces is far short of the 3445 spaces needed to meet Children’s Services recommended standard of service provision. Additional child care spaces are needed to meet current demand. Given the existing deficiency, child care would be a top priority to service any future growth in the area.

There are fewer children in this area living below LICO (Low Income Cut-off – Statistics Canada): 23% compared to the Toronto average of 30%. It's still significant to note that according to Children's Services, only about 1/3 of these children were able to access a subsidized child care space. There are waiting lists for subsidized spaces for all age groups, but the numbers are particularly high for infants. An increase in subsidized spaces would help make licensed child care more accessible to low income families in the study area.

There are also several Parent and Child Resource Centres offering Ontario Early Years drop-in programs for caregivers and their children. These publicly-funded programs are typically organized by service agencies and are offered free of charge in their own space and at several satellite locations in the neighbourhood, such as schools, libraries, and community centres. These programs will not meet the needs of working parents looking for all-day child care. However, free drop-in programs are an important alternative to full time child care centres, particularly for parents who are not eligible for subsidized child care but would still benefit from the support and parenting resources that these can provide.

2.3 Community and Recreation Facilities

Community centres in the area provide critical services and programming for all ages. Two City owned and operated community centres are located within the CS&F Study Area: Hillcrest Community Recreation Centre (CRC) on Bathurst Street and Fairbank Memorial Community Centre on Dufferin Street. The TDSB Secondary School, Vaughan Road Academy is also used for Parks & Recreation programming.

Hillcrest Community Recreation Centre

Hillcrest is a shared use facility with the Toronto District School Board. The facility has a fitness centre, a small indoor pool, gym, and four multi-purpose rooms. Parks and Recreation programming includes the popular swimming and camps programs. Recreation staff expressed concern that their use of space particularly for after school programming has been reduced as school needs have increased. These space pressures may be eased with the scheduled 2008 opening of the Green Arts Barns. The new facility being developed by Artscape in the Wychwood Car Barns south of St. Clair Avenue is expected to include space for community uses, including potential for City programs, such as day camps. At the time Artscape project was being planned/designed, this was considered suitable by recreation staff as a potential location to supplement those at Hillcrest.

The Fairbank Memorial Community Centre

Fairbank Memorial Community Centre on Dufferin Street offers activities for all ages, including some very popular dance programs, music lessons, fitness and sports. A new gym provides an important venue for basketball and other popular activities for area youth. The York-Fairbank Centre for Seniors continues to be a major user, with dedicated office space and a full schedule of daily programming for seniors. The centre lacks an indoor pool, a point noted by centre staff who reported that “the community

wants a pool”. An aging outdoor pool in the adjacent park doesn’t offer a viable alternative.

Swimming programs are also offered at Vaughan Road Academy. According to programming statistics, 75% of registrants travel up to 3.5 km, especially for popular swimming classes and camps. Other recreation centres with an indoor pool that are reasonably close include Joseph J. Piccininni on St. Clair Avenue, west of Dufferin Street (13% of area resident registrations in 2005), Wallace-Emerson on Dufferin Street, south of Dupont Street (11% of registrations in 2005), and Brown Community Centre on Avenue Road (5% of registrations in 2005). North Toronto Memorial CRC, though further, is within 3 km of many area residents and accounted for 4% of their registrations in 2005.

See Table 3 in Appendix IV for more details about recreation facilities serving study area residents.

2.4 Parks and Open Spaces

There are over 46 hectares of open space within the study area, including parkland and natural areas, forest, ravine, playfields, outdoor pool, tennis courts, wading pools and playgrounds.

Access to local parkland is limited. Map 8B, Local Parkland Provision in the Official Plan shows that, with the exception of the portion south of St. Clair Ave., east of Bathurst St., most of the CS&F Study Area has the lowest level of parkland provision in the city, less than 0.43 hectares of local parkland per 1,000 people. At their community consultation events, the consultants heard expressions of the need for more public open space; participants proposed adding small piazzas and parkettes where possible along St. Clair Avenue.

Most of the CS&F Study Area has been identified as a Parkland Acquisition Priority Area. The alternative parkland dedication rate of 0.4 hectares per 300 units will apply for residential and for the residential portion of mixed use development in accordance with the provisions of Policy 5 of Section 3.2.3 of the Official Plan.

2.5 Public Libraries

The Toronto Public Library has multiple tiers of library service including neighbourhood libraries that serve a minimum of 25,000 residents living within a 1.6 km area and district libraries that serve a minimum of 125,000 residents living within a 2.5 km area.

Library Board staff reported that there is excellent service coverage across the St. Clair Avenue West “Avenue” study area. Five branches currently serve the area, including the Neighbourhood Branches: Oakwood Village Library and Arts Centre on Oakwood Avenue, Davenport Library on Shaw Street, Forest Hill Library, on Eglinton Avenue

West, and Wychwood Library on Bathurst Street; and the District Branch, Maria A. Shchuka on Eglinton Avenue West. In addition, the Dufferin/St. Clair Branch on Dufferin Street is closed for a major renovation and restoration. Renovations will update the facilities, improve building accessibility and add a new program room. The branch is expected to re-open in the summer of 2008. See Table 4 in Appendix IV for more details on area libraries.

2.6 Programming or Community Meeting Space in Places of Worship

Places of worship often provide space to local community groups and agencies for their programs and services. The study area has numerous places of worship; many are older buildings with declining congregations. Several congregations are actively involved in supporting community social initiatives and currently make space available to community groups. Many of the area's child care programs are located in places of worship. There are drawbacks in relying on the availability of this type of space. In some instances, agencies are reluctant to use a location that some residents of a different faith may not want to enter. There is also the risk of losing the space as older congregations choose to sell off their property. Names and addresses of the area's places of worship are listed in Table 5, Appendix IV. The congregations should be contacted if and when more in depth discussions are held with service providers about the future use and availability of community space in the area.

2.7 Human Service Providers

Human service agencies provide a broad range of services that can assist residents, including home support services, family resource programs, health services, family and youth counselling, employment and job training, immigrant services, and legal services. These agencies can be most effective when they are able to offer these services in locations within the community. It is therefore important to ensure that adequate space is available to them, and without cost, as community and human service agencies generally lack the resources to secure such space on their own.

An inventory was compiled of human service providers. The list includes several agencies that are located west of Dufferin Street because they serve a catchment area that also covers residents east of Dufferin Street. See Map C and the accompanying list in Appendix III. See also Table 7 in Appendix IV for more details. Anecdotal information from area residents and limited contact with service agencies suggest that there is a demand for affordable community space that is currently being managed by agencies and local groups through their own resourcefulness and the cooperation of local businesses and property owners.

There are also a number of smaller community organizations that have located in the area because they are able to find affordable space to rent. Area residents are welcome to attend their programs but in reality their services are directed to a specific group and their clients are scattered throughout the city. Over time some of these organizations and community groups may become established in their current locations and become a focal

point for the communities they serve. However, their future in the area will depend on the impact of new development projects on the availability and cost of older rental space. There is a city-wide shortage of affordable space for the smaller community organizations with limited budgets. In the event that further growth develops in this area, opportunities for additional multi-purpose community service space should be considered to ensure that agencies and community groups can offer their services where they are most needed. Further consultation with local agencies will be required at that time to assess their particular needs.

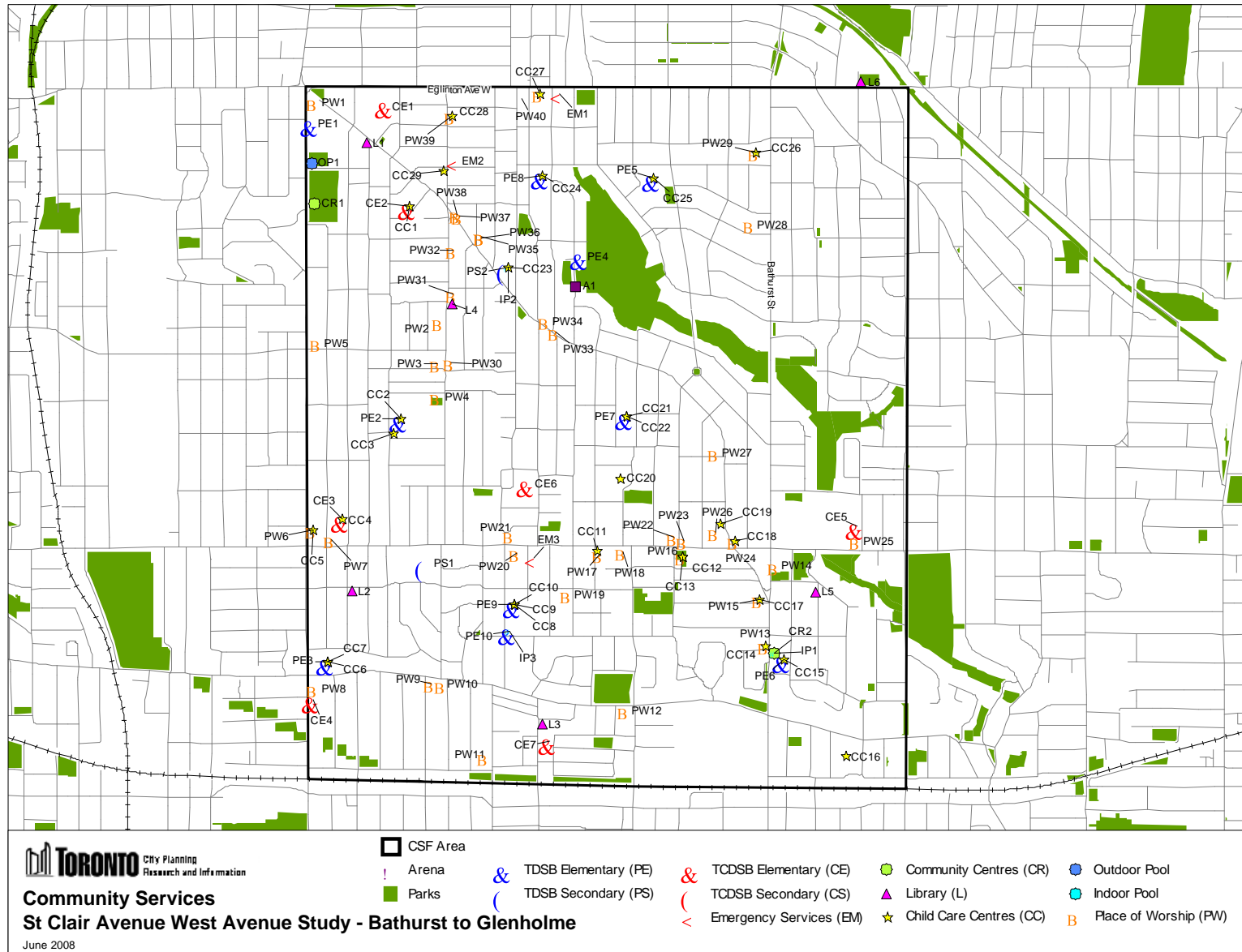
3.0 CONCLUSIONS

Based on information obtained from Children's Services staff, it appears that child care should be a top priority to service any future growth in the area. Options for increasing local parkland should be considered as well. This is a Parkland Acquisition Priority Area where the new alternative parkland dedication rate will apply for residential development and the residential portion of mixed use development.

There is a city-wide shortage of affordable space for smaller human service organizations with limited budgets. In the event that there is growth in this area, opportunities for additional multi-purpose community service space should be explored. Further consultation with local agencies will be required at that time to assess their particular needs.

August 2008

Appendix II Map B



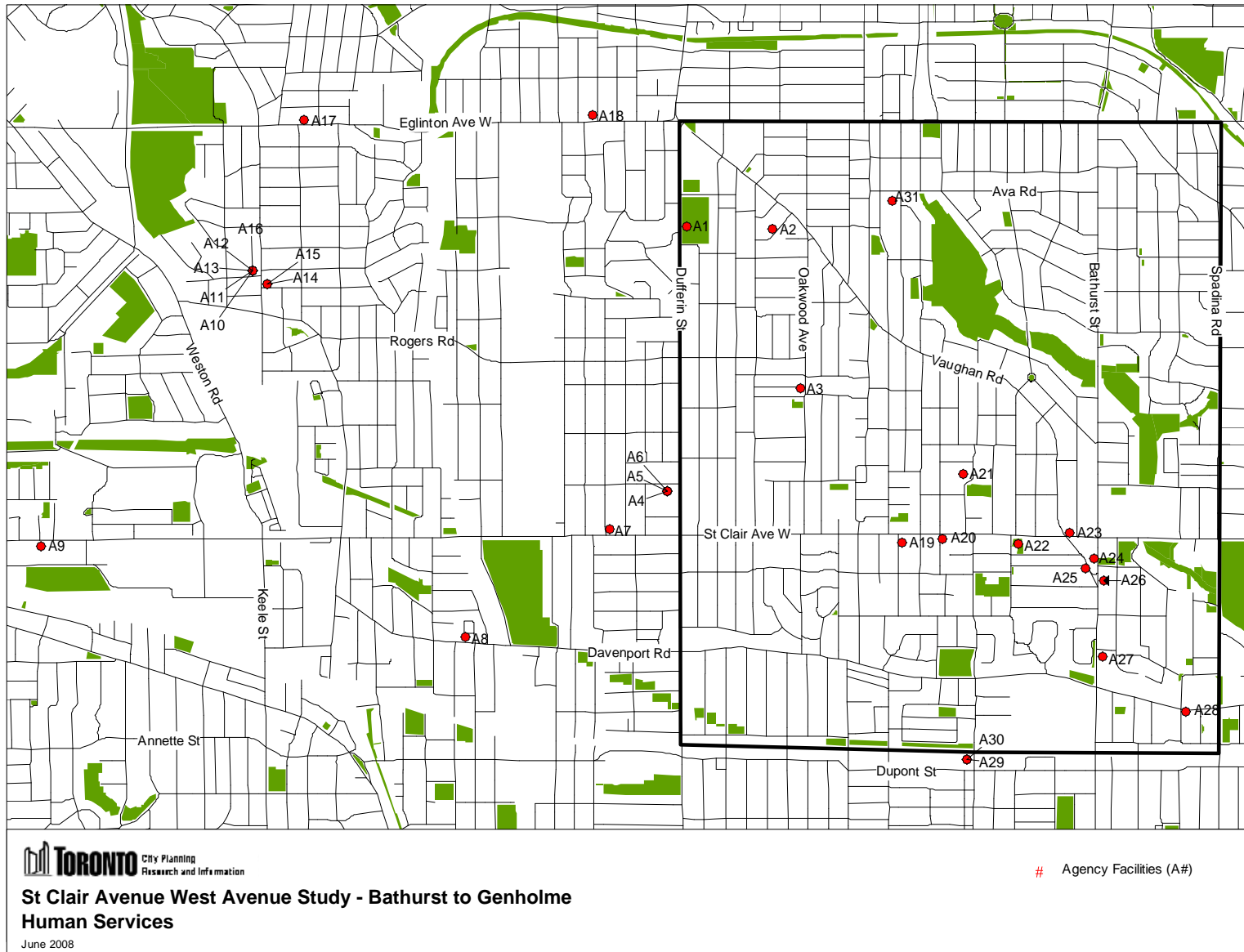
List of Community Services in the St. Clair Avenue – Bathurst to Glenholme CS&F Study Area (as shown on Map B)

Map No.	Name	Address
PE4	Arlington MS	501 Arlington Avenue
PE5	Cedarvale Community School	145 Ava Road
PE1	Fairbank MS	2335 Dufferin Street
PE6	Hillcrest Jr PS & City Community Centre	44 Hilton Avenue
PE7	Humewood Community School	15 Cherrywood Avenue
PE8	J R Wilcox Community School	231 Ava Road
PE9	McMurrich Jr PS	115 Winona Drive
PE2	Rawlinson Community School	231 Glenholme Avenue
PE3	Regal Road Jr PS	95 Regal Road
PE10	Winona Drive Sr PS	101 Winona Drive
PS1	Oakwood CI	991 St Clair Avenue West
PS2	Vaughan Road Academy	529 Vaughan Road
CE2	D'Arcy McGee	20 Bansley Ave.
CE5	Holy Rosary	308 Tweedsmuir Ave.
CE6	St. Alphonsus	60 Atlas Ave.
CE7	St. Bruno	402 Melita Cres.
CE3	St. Clare	124 Northcliffe Blvd
CE4	St. Mary of the Angels	1477 Dufferin St.
CE1	St. Thomas Aquinas	636 Glenholme Ave.
CC6	Ascot Day Care	95 Regal Rd
CC16	Casa Loma Child Care Centre	160 Kendal Ave
CC25	Cedarvale B & A	145 Ava Rd
CC14	Chabad of Midtown	1344 Bathurst St
CC7	Dufferin- St.Clair Bears	95 Regal Rd
CC12	Epnigishmok	611 St Clair Ave W
CC4	Harmony Child Care	124 Northcliffe Blvd
CC17	Hillcrest Day Nursery	2 Vaughan Rd
CC26	Holy Blossom Temple	1950 Bathurst St
CC22	Humewood	15 Cherrywood Ave
CC20	Humewood House Infant Centre	40 Humewood Dr
CC24	J.R. Wilcox Day Care Centre	231 Ava Rd
CC27	Kids Count Preschool	1445 Eglinton Ave W
CC28	Little Hearts	587 Oakwood Ave
CC21	Maplewood B & A	15 Cherrywood Ave
CC8	Mcmurrich Co-Op	115 Winona Dr
CC10	Mcmurrich Sprouts	115 Winona Dr
CC19	O Happy Day Daycare	94 Vaughan Rd
CC9	Oakwood	115 Winona Dr
CC3	Rawlinson	40 Earnscliffe Rd
CC2	Rawlinson B & A	231 Glenholme Ave

CC18	St. Alphonsus	540 St Clair Ave W
CC1	St. Bernadette's Family Resource Centre	20 Bansley Ave
CC5	St. Chad's Day Nursery	1695 Dufferin St
CC13	St. Michael's And All Angels	611 St Clair Ave W
CC29	Sunflower Montessori	582 Oakwood Ave.
CC1	Vaughan Co-Op Nursery School	729 St Clair Ave W
CC23	Vaughan Road Infant & Toddler Centre	529 Vaughan Rd
CC15	Wychwood Tigers Daycare Centre	44 Hilton Ave
CR2	Hillcrest Community Recreation Centre	1339 Bathurst St
CR1	Fairbank Memorial Community Centre	2213 Dufferin St
A1	Phil White Arena	443 Arlington Ave
OP1	Fairbank Park Outdoor Pool	40 Keywest Ave
IP1	Hillcrest Indoor Pool	1339 Bathurst St
IP2	Vaughan Road Indoor Pool	529 Vaughan Rd
IP3	Winona Indoor Pool	101 Winona Dr
L3	Davenport	1246 Shaw St.
L2	Dufferin St. Clair	1625 Dufferin St.
L4	Oakwood Village	341 Oakwood Ave.
L5	Wychwood	1431 Bathurst St.
L1	Maria A. Shchuka	1745 Eglinton Ave. W.
L6	Forest Hill	700 Eglinton Ave. W.
EM3	Fire Station # 315	132 BELLEVUE AVE
EM2	Fire Station # 421	6 LAMBTON AVE
EM1	Police Station 13 Division	1435 EGLINTON AVE W
PW40	BETH SHOLOM SYNAGOGUE	1445 Eglinton Ave W
PW28	BETH TZEDEC SYNAGOGUE	1700 Bathurst St
PW37	BETHEL WORSHIP CENTRE	611 Vaughan Rd
PW19	BRACONDAL GOSPEL HALL	58 Arlington Ave
PW13	CHABAD OF DOWNTOWN JEWISH CE	1344 Bathurst St
PW14	COMMUNITY OF CHRIST	1443 Bathurst St
PW20	CORNERSTONE BAPTIST TABERNAC	833 St Clair Ave W
PW33	FIRST HUNGARIAN PRESBYTERIAN	439 Vaughan Rd
PW15	HILLCREST CHURCH OF CHRIST	2 Vaughan Rd
PW29	HOLY BLOSSOM TEMPLE	1950 Bathurst St
PW25	HOLY ROSARY CHURCH	354 St Clair Ave W
PW26	KARMA SONAM DARGYE LING	86 Vaughan Rd
PW2	KINGDOM HALL OF JEHOVAH'S WI	402 Oakwood Ave
PW3	MOUNT ZION APOSTOLIC CHURCH	106 Holland Park Ave
PW35	NEW DAWN MORAVIAN CHURCH	5 Glenora Ave
PW36	NOVA JERUSALEM	5 Glenora Ave
PW31	OAKWOOD BAPTIST CHURCH	421 Oakwood Ave
PW39	PRAYER OUTREACH MINISTRIES	587 Oakwood Ave
PW21	RUSSIAN ORTHODOX CHURCH	213 Winona Dr
PW24	ST ALPHONSUS CATHOLIC CHURCH	540 St Clair Ave W
PW34	ST BASIL'S UKRAINIAN CATHOLI	449 Vaughan Rd

PW6	ST CHADS ANGLICAN CHURCH	1695 Dufferin St
PW22	ST CLAIR AVENUE BAPTIST CHUR	156 Wychwood Ave
PW7	ST CLARE'S R C CHURCH	1118 St Clair Ave W
PW1	ST HILDA'S ANGLICAN CHURCH	2353 Dufferin St
PW5	ST JOHN BOSCO CHURCH	402 Westmount Ave
PW8	ST MARY OF THE ANGELS CHURCH	1479 Dufferin St
PW17	ST MATTHEW'S UNITED CHURCH	259 Rushton Rd
PW16	ST MICHAEL & ALL ANGELS	611 St Clair Ave W
PW9	ST NEKTARIOC GREEK ORTHODOX	1223 Davenport Rd
PW12	ST PETER TEMPLE	915 Davenport Rd
PW11	ST. PAUL'S ITALIAN UNITED CH	1116 Ossington Ave
PW27	THE CHURCH OF J.C. APOSTOLIC	10 Maplewood Ave
PW18	THE GOOD NEWS CHURCH	695 St Clair Ave W
PW38	THE HOUSE OF GOD	615 Vaughan Rd
PW4	THE NEW JERUSALEM CHURCH	312 Oakwood Ave
PW32	TORONTO BREAKTHROUGH TABERNA	473 Oakwood Ave
PW10	TORONTO KOREAN PRESBYTERIAN	1183 Davenport Rd
PW30	TORONTO MT. ZION REVIVAL	347 Oakwood Ave
PW23	WYCHWOOD-DAVENPORT PRESBYTER	155 Wychwood Ave

Appendix III
Map C



**ST. CLAIR AVE WEST AVENUE STUDY - BATHURST TO GLENHOLME
HUMAN SERVICES (As shown on Map C)**

MAP NO.	AGENCY NAME	ADDRESS
A1	York Fairbank Centre for Seniors	2213 Dufferin St
A2	St Bernadette's Family Resource Centre Programs	20 Bansley Ave
A3	Art Starts Neighbourhood Cultural Centre	324 Oakwood Ave
A4	Yorktown Child and Family Centre	21 Ascot Ave, 1st Fl
A5	Delisle Youth Services. Day Program	21 Ascot Ave
A6	West End Walk-in Counseling Centre	21 Ascot Ave, 1st Fl
A7	Learning Enrichment Foundation. Career Exploration Centre	1278 St Clair Ave W, Unit 8 and 9
A8	Stop Community Food Centre, The	1884 Davenport Rd, Rear Entrance
A9	Islamic Social Services and Resources Association	2375 St Clair Ave W
A10	Community Action Resource Centre	1652 Keele St
A11	Community Social Council of Toronto York West Office	1652 Keele St
A12	For Youth Initiative	1652 Keele St
A13	York Hispanic Centre	1652 Keele St
A14	Legal Aid Ontario. Advice Lawyer -- York (Keele St)	1651 Keele St
A15	York Community Services	1651 Keele St
A16	Somali Immigrant Women's Association	1652 Keele St
A17	St. Clair West Services for Seniors	2562 Eglinton Ave W
A18	Macaulay Child Development Centre Main Office	2010 Eglinton Ave W
A19	Skills for Change: English as a Second Language Programs and Employment Programs	791 St Clair Ave W
A20	Wychwood Open Door	729 St Clair Ave W
A21	Humewood House Association	40 Humewood Dr
A22	Native Child and Family Services of Toronto. Epnigishmok Head Start Program	611 St Clair Ave W, 2nd Fl
A23	Eritrean Canadian Community Centre of Metropolitan Toronto	538 St Clair Ave W
A24	African Training and Employment Centre of Toronto (ATEC)	1440 Bathurst St

A25	NA-ME-RES (Native Men's Residence). Employment Centre	22 Vaughan Rd
A26	St Stephen's Community House: Employment and Training Centre and Employment Resource Centre	1415 Bathurst St, Ste 201
A27	Toronto Rehabilitation Institute. Hillcrest Centre	47 Austin Terrace
A28	George Brown College Inter-Professional Learning Clinic for Dental Hygiene and Denturism	175 Kendal Ave
A29	Bloor Information and Life Skills Centre	672 Dupont St, Ste 314
A30	West Toronto Community Legal Services	672 Dupont St, Ste 315
A31	Macauley Child Development Centre/York Early Years – Wilcox Project	231 Ava Rd.

Appendix IV Community Services and Facilities Inventory Tables (Locations as shown on Map B, and Map C for Human Service Providers)

Table 1a: Toronto District School Board

Map Code	Name	Address	Capacity 2006-07	Enrolment (Full Time Equivalent) as of Oct. 31, 2006	Utilization Rate
Elementary					
PE4	Arlington MS	501 Arlington Avenue	499	320	64.13%
PE5	Cedarvale Community School	145 Ava Road	337	199	59.05%
PE1	Fairbank MS	2335 Dufferin Street	331	242	73.11%
PE6	Hillcrest Jr PS & City Community Centre	44 Hilton Avenue	426	318.5	74.77%
PE7	Humewood Community School	15 Cherrywood Avenue	602	342	56.81%
PE8	J R Wilcox Community School	231 Ava Road	487	257.5	52.87%
PE9	McMurrich Jr PS	115 Winona Drive	633	352.5	55.69%
PE2	Rawlinson Community School	231 Glenholme Avenue	903	410	45.40%
PE3	Regal Road Jr PS	95 Regal Road	547	473	86.47%
PE10	Winona Drive Sr PS	101 Winona Drive	455	403	88.57%
Elementary Totals:			5220	3317.5	63.55%
Secondary					
PS1	Oakwood CI	991 St Clair Avenue West	1,047	877.81	83.84%
PS2	Vaughan Road Academy	529 Vaughan Road	1,272	768.58	60.42%
Secondary Totals:			2319	1646.39	71.00%

Source: TDSB updated August 2007

Note: An elementary school with a utilization rate of 80% is considered to be operating ‘at capacity’ by the Toronto District School Board (TDSB). Similarly, a secondary school with a utilization rate of 90% is considered to be operating ‘at capacity’.

Table 1b: Toronto Catholic District School Board

Map Code	Name	Address	Capacity	Enrolment October 2007 (Full Time Equivalent)	Utilization Rate
Elementary					
CE2	D'Arcy McGee	20 Bansley Ave.	724	362	50%
CE5	Holy Rosary	308 Tweedsmuir Ave.	291	275	95%
CE6	St. Alphonsus	60 Atlas Ave.	513	285	56%
CE7	St. Bruno	402 Melita Cres.	374	150	40%
CE3	St. Clare	124 Northcliffe Blvd	525	501	95%
CE4	St. Mary of the Angels	1477 Dufferin St.	467	334	72%
CE1	St. Thomas Aquinas	636 Glenholme Ave.	535	693	129%
Elementary Totals:			3,429	2600	76%
Secondary					
	Archbishop Romero*	99 Humber Blvd	945	818	87%
Secondary Totals:			945	818	87%

*Located outside 'East' study area

Source: TCDSB updated April 15, 2008

Table 2: Child Care and Nursery Programs

Map Code	Name	Address	Capacity	Details
CC6	Ascot Day Care	95 Regal Rd (Davenport/Dufferin) 416-653-7760	36 Pre-school 30 School Age Total: 66 licensed spaces.	Subsidy may be available. Located in Regal Road Public School
CC16	Casa Loma Child Care Centre	160 Kendal Ave (Davenport/Spadina) 416-415-5000 ext 4616	10 Infant 10 Toddler 32 Pre-school Total: 52 licensed spaces	Casa Loma Campus, George Brown Community College Priority placement for employees and students Subsidy may be available.
CC25	Cedarvale B & A School Program	145 Ava Rd (Allen Expwy/Eglinton Ave)	30 School Age Total: 30 licensed spaces.	Located in Cedarvale Community School

Map Code	Name	Address	Capacity	Details
		416-769-0830 426-760-2550 Ext. 2016 for Coordinator		Subsidy may be available.
CC14	Chabad of Midtown	1344 Bathurst Street	10 Infant 25 Toddler 12 Pre-school Total: 47 licensed spaces	No subsidy available.
CC7	Dufferin - St. Clair Bears Nursery School	95 Regal Rd (Davenport/Dufferin) 416-653-6233	16 Pre-school Total: 16 licensed spaces	No subsidy available Located in Regal Road Public School
CC12	Epnigishmok – Native Child & Family Services of Toronto	611 St Clair Ave W (St. Clair/Bathurst) 416-653-5381	16 Preschool Total: 16 licensed spaces.	No subsidy available. Located in St. Michaels And All Angels Church
CC4	Harmony Child Care	124 Northcliffe Blvd (Dufferin/St. Clair) 416-656-8902	40 Pre-school 30 School Age Total: 70 licensed spaces	No subsidy available Located in St. Clair Catholic School
CC17	Hillcrest Day Nursery	2 Vaughan Rd (Bathurst/Vaughan) 416-653-9094	36 Pre-school 24 School age Total: 60 licensed spaces.	Subsidy may be available. Located in Hillcrest Christian Church (Disciples)
CC26	Holy Blossom Temple – Toronto Hebrew Congregation	1950 Bathurst St (Bathurst/Eglinton) 416-789-3297	87 Pre-school Total: 87 licensed spaces	No subsidy available Located in Holy Blossom Temple ½ day Nursery program priority admission to Temple members
CC22	Humewood	15 Cherrywood Ave (St. Clair/Christie) 416-658-8886	32 Pre-school 24 School age Total: 56 licensed spaces.	Subsidy may be available. Located in Humewood Community School
CC20	Humewood House Infant Centre	40 Humewood Dr (Christie/St. Clair) 416-651-5657	10 Infant Total: 10 licensed spaces.	Subsidy may be available. Located in Humewood House Available to teen mothers and the community.

Map Code	Name	Address	Capacity	Details
CC24	J.R. Wilcox Day Care Centre	231 Ava Rd (Allen Expy/Eglinton) 416-656-1781	60 Pre-school 44 School Age Total: 104 licensed spaces.	Subsidy may be available. Located in J.R. Wilcox Community School
CC27	Kids Count Preschool	1445 Eglinton Ave W (Allen Expy/Eglinton) 416-785-1419	16 Pre-school Total: 16 licensed spaces	No subsidy available Located in Beth Shalom Synagogue
CC28	Little Hearts Childcare	587 Oakwood Ave (Oakwood/Eglinton) 416-784-1360	15 Toddler 16 Pre-school Total: 31 licensed spaces	Subsidy may be available. Located in Prayer Outreach Ministries
CC21	Maplewood Before And After School Care Inc.	15 Cherrywood Ave (Vaughan/St. Clair) 416-654-2498	60 School age Total: 60 licensed spaces	Subsidy may be available. Located in Humewood Community School
CC8	McMurrich Co-Op Day Care	115 Winona Dr (Winona/St. Clair W) 416-653-7557	16 Pre-school Total: 16 licensed spaces	No subsidy available. Located in McMurrich Public School
CC10	McMurrich Sprouts	115 Winona Dr (St. Clair/Oakwood) 416-656-7957	10 Infant 15 Toddler 48 Pre-school 30 School Age Total: 103 licensed spaces	Subsidy may be available. Located in McMurrich Public School
CC19	O Happy Day Daycare	94 Vaughan Rd. 416-656-2929	15 Toddler 40 Pre-school Total: 55 licensed spaces	No subsidy available.
CC9	Oakwood Children's House	115 Winona Dr (Oakwood/St. Clair) 416-656-3831	16 Pre-school Total: 16 licensed spaces No vacancies, no wait list	Subsidy may be available. Located in McMurrich Public School Montessori program
CC3	Rawlinson Child Care Centre	40 Earnscliffe Rd (Oakwood/St. Clair W) 416-392-5068	10 Infant 10 Toddler 68 Pre-school Total: 88 licensed spaces	Subsidy may be available. Located in Rawlinson Community School Priority admission to

Map Code	Name	Address	Capacity	Details
				City employees.
CC2	Rawlinson B & A School Program	231 Glenholme Ave 416-769-0830 ext. 2004	30 School Age Total: 30 licensed spaces	Subsidy may be available. Located in Rawlinson Community School
CC18	St. Alphonsus	540 St Clair Ave W (Vaughan/St. Clair) 416-651-2664	10 Toddler 50 Pre-school 15 School Age Total: 75 licensed spaces	No subsidy available Located in St Alphonsus Catholic Church
CC1	St. Bernadette's Family Resource Centre	20 Bansley Ave 416-397-6300	36 Pre-school 50 School Age Total: 86 licensed spaces	Subsidy may be available. Located in D'Arcy McGee Catholic Elementary School
CC5	St. Chad's Day Nursery	1695 Dufferin St (St. Clair/Dufferin) 416-652-1868	5 Toddler 30 Pre-school 20 School Age Total: 55 licensed spaces.	Subsidy may be available. Located in St Chad's Anglican Church
CC13	St. Michael's And All Angels Day Care	611 St Clair Ave W (St. Clair/Bathurst) 416-653-1424	10 Infant 15 Toddler 44 Pre-school Total: 69 licensed spaces	Subsidy may be available Located in St Michael And All Angels Church
CC29	Sunflower Montessori	582 Oakwood Avenue	10 Toddler 11 Pre-school Total: 21 licensed spaces	No subsidy available.
CC1	Vaughan Co-Op Nursery School	729 St Clair Ave W (St. Clair/Christie) 416-651-6718	10 Toddler 32 Pre-school Total: 42 licensed spaces	No subsidy available Located in St Matthews United Church
CC23	Vaughan Road Infant & Toddler Centre Operated by Learning Enrichment Foundation	529 Vaughan Rd (Vaughan /Oakwood)	10 Infant 15 Toddler 24 Pre-school Total: 49 licensed spaces	Subsidy may be available. Located in Vaughan Road Collegiate
CC15	Wychwood Tigers Daycare	44 Hilton Ave (St. Clair/Bathurst)	24 Pre-school 54 School Age	Subsidy may be available

Map Code	Name	Address	Capacity	Details
	Centre	416-532-1841	Total: 78 licensed spaces	Located in Hillcrest Public School

Source: Children's Services, Jan. 2007

Infants (0 – 18 months): 70
 Toddlers (18 months to 2 ½ years): 155
 Preschool (2 ½ to 5 years): 838
 School Age (6 to 10 years): 441
Total Licensed Spaces: 1504

Table 3: Community Centres, Arenas and Pools and other Program Facilities

Map Code	Name & Address	Facilities	Programs
Community Centres			
CR1	Fairbank Memorial Community Centre 2213 Dufferin St	Outdoor pool (See separate listing under Pools), crafts room, gymnasium, fitness room, indoor bocce, 3 meeting rooms, 2 multi-purpose rooms, kitchen and office space.	Programs for all ages. Instructional Music, Arts & Crafts, Pottery. Dance. Girls Club and Youth Centre Drop-in programming for older children and teens. Homework Club. Sports. Fitness program. Camps. York-Fairbank Centre for Seniors offers programming Mon - Friday. Programs with wait list include: Instructional Music, Preschool, Sports, and Camps.
CR2	Hillcrest Community Recreation Centre 1339 Bathurst St	Shared use with TDSB; Fitness Centre, Indoor Pool, gymnasium, 4 multipurpose rooms, music room, studio room, kitchen and office space. Markdale Pre-school site off-site.	Arts & Heritage, Clubs, Pre-school, Sports, Camps, Swimming. Programs with wait list include: Preschool, Camps and Swimming.
	Bob Abate Community Recreation Centre* 495 Montrose Ave.	Gymnasium, meeting room, multipurpose room, shop room,	Arts & Heritage, Fitness & Wellness, Preschool, Sports, Camps, Swimming. Programs with wait list include: Arts

Map Code	Name & Address	Facilities	Programs
	<i>*Located outside study area, but some residents register in centre programs</i>	weight room, kitchen and office space.	& Heritage, Preschool, and Swimming.
	Brown Community Centre* 454 Avenue Road <i>*Located outside study area, but some residents register in centre programs</i>	Gymnasium, indoor pool, 3 meeting rooms, multi-purpose room and office space.	Arts & Heritage, Club, fitness & Wellness, General Interest, Older Adults, Preschool, Sports, Camps, Swimming. Programs with wait list include: Arts & Heritage, Preschool, and Swimming.
	Joseph J. Piccininni Community Recreation Centre* 1369 St. Clair Ave. W. <i>*Located outside study area, but some residents register in centre programs</i>	Community room, 2 crafts rooms, gymnasium, indoor bocce, indoor pool, meeting room, 5 multipurpose rooms, 2 seniors rooms, weight room, kitchen & office space.	Arts & Heritage, Fitness & Wellness, General Interest, Leadership, Older Adults, Preschool, Sports, Camps, Swimming. Programs with wait list include: Sports and Swimming.
	Mary McCormick Recreation Centre* 66 Sheridan Ave. <i>* Located outside study area, but some residents register in centre programs</i>	Crafts room, 2 gymnasiums, indoor pool, 3 meeting rooms, multipurpose room, seniors room, sewing room, studio room, weight room, kitchen and office space.	Arts & Heritage, Clubs, fitness & Wellness, General Interest, Preschool, Sports, Camps, Swimming. Programs with wait list include: Arts & Heritage, Preschool, Sports, Camps and Swimming
	North Toronto Memorial Community Centre* 200 Eglinton Ave. W.	Indoor and outdoor pools, change rooms, multi-purpose rooms, an arts and crafts room, a large gymnasium, meeting rooms,	Programming for all ages; extensive seniors programming. Programs with wait lists include: Fitness & Wellness, Older Adults, Preschool, Skating, Sports and Swimming. Offices for POINT located in the building. According to Recreationist, not much interest by

Map Code	Name & Address	Facilities	Programs
	<i>*Located outside study area, but some residents register in centre programs</i>	kitchen facilities, office space.	teens for drop in programs because, though several secondary schools nearby, many students don't live in the area. Gym used a lot by adults in the evenings, by seniors, and during the day, for pre-school/ caregiver programs.
	Wallace Emerson Community Centre* 1260 Dufferin St. <i>*Located outside study area, but some residents register in centre programs</i>	Educational/Training room, gymnasium, indoor pool, kitchen, 3 meeting rooms, 2 multipurpose rooms, music room, shop room, weight room, workshop and office space.	Arts & Heritage, Clubs, Fitness & Wellness, General Interest, Preschool, Sports, Camps, Swimming. Programs with wait lists include: Arts & Heritage, Preschool, and Swimming.
Arenas			
<i>AI</i>	Phil White Arena 443 Arlington Ave	1 pad, change rooms	Skating courses for adults and children. Wait list.
Pools			
<i>OPI</i>	Fairbank Park Outdoor Pool Fairbank Park 40 Keywest Ave	Change rooms, office space (facilities shared with Community Centre)	
<i>IP1</i>	Hillcrest Indoor Pool Hillcrest Community Centre 1339 Bathurst St	(see community centre listing)	
<i>IP2</i>	Vaughan Road Indoor Pool Vaughan Road Academy 529 Vaughan Rd	Change rooms	
<i>IP3</i>	Winona Indoor Pool Winona Drive Senior Public School 101 Winona Dr	Change rooms	

Other Program Facilities			
	Cedarvale Community School 145 Ava Road		Pre-school program; wait list. Before & After child care program.
	Cedarvale Park		Sports program for adults and child/youth; wait list
	Arlington Middle School 501 Arlington Ave.		Camps
	Rawlinson Community School 231 Glenholme Ave. 416-392-0746 (Hillcrest CC phone #)		No programming (Jan. 2007)
	Humewood Community School 15 Cherrywood Ave.		Sports, soccer, ballet classes. Evenings. Summer camp. Programs with wait list include: Preschool and Sports.
	JR Wilcox Community School 231 Ava Rd.		Piano lessons.
	Markdale Preschool Site		Preschool including camp program Programs with wait list include: Preschool and Camps.
	St. Alphonsus CSS 60 Atlas Ave.		Use of indoor gym in evenings for soccer (3-8 year olds). Programs with wait list include: Preschool
	Vaughan Road Academy 529 Vaughan Rd		Swimming and camps for adults and children Programs with wait list include: Swimming

Source: Parks, Forestry & Recreation. Registration data from 2005; program and facility info updated Jan. 2007

Table 4: Parks and Open Spaces

Parks Map	Park	Size (ha)	Address	Amenities
50K	Rosemary Parkette	0.10	225 Rosemary Rd.	
50K	Ridgewood Parkette	0.06	24 Ridgewood Rd.	
50K	Vesta Parkette	0.04	41 Vesta Dr.	

Parks Map	Park	Size (ha)	Address	Amenities
50K	Cedarvale Ravine	7.31	1611 Bathurst St.	Playground, pathway
50K	Suydam Park	1.02	22 Relmar Rd.	Playground
50K	Tichester Park	0.25	21 Tichester Rd.	Playground
50J	Nordheimer Ravine	3.23	326 Spadina Rd.	Pathway
50J	Bathurst Street Public Library Grounds	0.25	1431 Bathurst St.	
50J	Wells Hill Park	0.75	145 Hilton Ave.	Splash pad, Wells Hill Bowling Green, washroom, playground
50J	Casa Loma Parkette	0.10	328 Walmer Rd.	
50J	Austin Terrace Boulevard Lands	0.05	Austin Terrace	
50J	Cawthra Playground	0.19	355 Albany Ave.	Playground, multipurpose court
50J	Walmer Rd. Parkette	0.024	Walmer Rd.	
50J	Spadina Rd. Park	0.40	322 Spadina Rd.	
49J	Bartlett Parkette	0.34	160 Geary Ave.	
49J	Bristol Ave. Parkette	0.51	25 Bristol Ave.	Softball Diamond, playground
49J	Burnside Dr. Boulevard	0.11	Burnside Dr.	
49J	Davenport Square	0.45	750 Davenport Rd.	
49J	Geary Ave. Parkette	0.30	115 Geary Ave.	Wading Pool, playground, volleyball
49J	Mount Royal Parkette	0.03	49 Mount Royal Ave.	Playground
49J	St. Michael & All Angels Church Land	0.27	611 St. Clair Ave. W.	
49J	Wychwood Parkette	0.02	109 Hocken Ave.	
49K	Ben Nobleman Parkette	0.57	1075 Eglinton Ave W.	Multipurpose field, playground
49K	Glen Cedar Park	0.28	Glen Cedar Rd. & Warwick Ave.	Playground, softball diamond
49K	Markdale Traffic Island	0.05	Markdale Ave. & Strathearn Rd.	

Parks Map	Park	Size (ha)	Address	Amenities
49K	Cedarvale Park	20.04	443 Arlington Ave.	Markdale Day Care, outdoor bocce court, public tennis, soccer field, cricket pitch, softball diamond, Phil White arena
49K	Arlington Parkette	0.42	Arlington Ave	
49K	Laughlin Park	0.52	476 Atlas Ave.	Storage building
49K	Cy Townsend Park	0.12	Vaughan Rd. & Winona Dr.	Playground
49K	Connaught Circle Parkette	0.07	Connaught Circle	
49K	Humewood Park	0.72	27 Humewood Dr.	Playground
49K	Graham Park	0.31	Atlas Ave. at Barrie Ave.	Storage building, Multi-purpose sports pad, playground
49K	Roseneath Park	0.27	Glenhurst Ave.	
49K	Charles Brereton Park	0.17	Oakwood Ave.	Outdoor Bocce Court
49K	Greyton Site	0.05	Greyton Cres.	
49K	Fairbank Memorial Park	3.53	2213 Dufferin St.	Multi-purpose sports pad, softball diamond, outdoor bocce court, community centre, waterplay/spray pad/wading pool, outdoor pool, playground
49K	St. Hilda's Parkette	0.17	Eglinton Ave W & Vaughan Rd.	
49K	Hillcrest Park	2.15	950 Davenport Rd.	Softball diamond, washroom, wading pool, storage building, public tennis court, playground, basketball court
49K	Marian Engel Park	0.39	285 Melita Ave	Playground, washroom, wading pool
49K	Frankel/Lambert Parkette	0.66	340 Christie St.	Multipurpose court, playground
49K	Garrison Creek Park (formerly Ossington/Shaw Park)	0.48	Ossington Ave.	

Source: Parks, Forestry & Recreation, Jan. 2007

Table 5: Public Libraries

Map Code	Library/Description	Services/Programs	Type of Facilities
<p>L3</p> <p>TPL Website info, as of Aug. 16/06</p>	<p>Davenport Library 1246 Shaw St.</p> <p>3604 sq. ft. (335 sq. m.)</p> <p>TTC: Bus 63 north from Ossington subway station to Davenport, walk east to Shaw St.</p>	<p>Neighbourhood Branch.</p> <p>Collection Size: 19,928</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Books on Tape, Audiobooks, Cassette Books • English as a Second Language Materials – Adult • Language Learning Kits <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – after hours • Internet workstations (3) • Seating (11) <p>Programs:</p> <ul style="list-style-type: none"> • Summer Reading Club • Homework Club 	<p>Community Room (579 sq. ft.)</p> <ul style="list-style-type: none"> • Seating – 34 in lecture style, 12 in classroom style • Equipment includes flip chart stand, projector screen, tables <p>Kitchen</p> <ul style="list-style-type: none"> • Equipment includes coffee urn, refrigerator, stove
<p>L2</p> <p>TPL website info, updated July 9, 2007</p>	<p>Dufferin/St. Clair Library 1625 Dufferin St.</p> <p>8969 sq. ft. (834 sq. m.)</p> <p>TTC: Dufferin bus from Dufferin subway station; streetcars from St. Clair & St. Clair West subway stations.</p> <p>Note: This branch is closed for renovation and expansion project. Re-opening expected in the Summer of 2008.</p>	<p>Neighbourhood Branch</p> <p>Collection Size: 43,246</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Local history collection • Books on Tape, Audiobooks, Cassette books • Career information • English as a Second Language Materials – Adult & children • CD-ROMs – Children • Government Publications • Language Learning Kits 	<p>Program Room (797 sq. ft.)</p> <ul style="list-style-type: none"> • Seating – 58 in lecture style, 12 in classroom style • Equipment includes film projector screen • Program room and wheelchair access washrooms on ground floor. <p>Note: Renovation involves redesign of the interior and will include a new program room.</p>

Map Code	Library/Description	Services/Programs	Type of Facilities
		<ul style="list-style-type: none"> • Large Print Collection • Parenting Collection • Adult & Children Italian, Portuguese & Spanish Collections <p>Services:</p> <ul style="list-style-type: none"> • Book Drop- after hours • Equipment for people with disabilities • Internet workstations (11) • Large Print terminals/workstations • Seating (40) <p>Programs:</p> <ul style="list-style-type: none"> • RAMP (Teen On-line programs) • Teen Summer Book & Movie Club • Summer Reading Club • Preschool Storytime • Saturday Preschool • Yorktown Family Services Drop In • English Can Be Fun – children’s summer program • Kids@Computers • Leading to Reading • Adult Literacy program 	
L1 TPL Website info	<p>Maria A. Shchuka District Library 1745 Eglinton Ave. W.</p> <p>25,475 sq. ft. (2,367 sq. m.)</p> <p>TTC: Eglinton bus from</p>	<p>District Branch.</p> <p>Collection size: 101,596</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Adult Literacy Materials • Black & Caribbean 	<p>Meeting Room A (615 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 60 in lecture style • Equipment includes coffee urns, fridge, overhead

Map Code	Library/Description	Services/Programs	Type of Facilities
as of July 23, 2007	Eglinton West subway station Free parking lot off Northcliffe Blvd.	<p>Heritage</p> <ul style="list-style-type: none"> • Books on tape or CD, Audiobooks, Cassette books • CD-ROMs – Adult, Children • DVDs • English as a Second Language Material – Adult & Children • Large Print collection • Parenting Collection • French Collections – Adult & Children • Multilingual collections – Adult & Children <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – after hours • Internet workstations (32) • Le@rning Centre (15 of the workstations) • Seating (130) • Word Processing Workstations (16) <p>Programs:</p> <ul style="list-style-type: none"> • Adult Literacy Program • Programs for Newcomers and ESL Patrons • RAMP for Teens • Children’s summer reading activities, films. • English Can Be Fun • Homework Clubs • Leading to Reading • Youth Advisory Program 	<p>projector and screen, tables, video data projector and DVD/VCR</p> <p>Meeting Room B (390 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 35 in lecture style • Equipment includes projection screen, tables <p>Program Room (705 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 80 in lecture style • Equipment includes projection screen and tables <p>Wheelchair accessible washroom on main floor.</p>

Map Code	Library/Description	Services/Programs	Type of Facilities
<p>L4</p> <p>TPL Website info updated July 23/07</p>	<p>Oakwood Village Library and Arts Centre 341 Oakwood Ave.</p> <p>17,270 sq. ft. (1606 sq. m.)</p> <p>TTC: Bus 161 or 63 from Ossington subway station, and 63 from Eglinton West subway station</p>	<p>Neighbourhood Branch.</p> <p>Collection size: 40,328</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Books on Tape or CD, Audiobooks, Cassette books • CD-ROMs – Adult, Children • English as a Second Language Material – Adult, Children • Large Print collection • Graphic Books • Adult and children Tagalog print collection <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – after hours • Exhibit/Art Gallery • Internet workstations (9) • Seating (50) • Word Processing Workstations (2) <p>Programs:</p> <ul style="list-style-type: none"> • No adult or older adult programs • Day Care Storytime • Weekly Storytime Drop In • Bi-weekly summer family movies • Homework Club • Leading to Reading 	<p>Theatre (2640 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 120 in lecture style, 72 in classroom style • Equipment includes chairs, piano, tables <p>Kitchen:</p> <ul style="list-style-type: none"> • Equipment includes microwave, refrigerator and sink <p>Theatre is on lower level with part of floor a sprung dance floor/stage, wheelchair access</p>
<p>L5</p>	<p>Wychwood Library 1431 Bathurst St.</p> <p>6381 sq. ft. (593 sq. m.)</p>	<p>Neighbourhood Branch.</p> <p>Collection Size: 46,736</p> <p>Collections Available:</p>	<p>All-Purpose Community Room (864 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 34 in lecture style, 12

Map Code	Library/Description	Services/Programs	Type of Facilities
TPL website info updated Aug. 25/06	TTC: Walk from St. Clair West subway station; bus 7 from Bathurst subway station.	<ul style="list-style-type: none"> • Local History Collection • Adult Literacy Materials • Black & Caribbean Heritage • Books on Tape or CD, Audiobooks, Cassette books • English as a Second Language Material – Adult • Graphic Books • Language Learning Kits • French collection- Adult & children • Spanish CDs <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – after hours • Internet workstations (9) • Seating (42) • Public Phones (inside) • Word processing stations (2) <p>Programs:</p> <ul style="list-style-type: none"> • Occasional Saturday book club meeting • Weekly midweek storytime and baby storytime, and summer weekly children’s activities. 	<p>in classroom style.</p> <ul style="list-style-type: none"> • Equipment includes 30 chairs and a couple of tables, flip chart stand, and film projection screen. • Program Room is beside children’s area on ground floor. Built-in tiered seating at south end of the room; wheelchair access. • Room used for limited children’s programming, and occasional community meeting.
L6 TPL website info	Forest Hill Library* 700 Eglinton Ave. West 10,399 sq. ft. (967 sq.m.) TTC: bus 32 west from Eglinton subway station, and east from Eglinton	Neighbourhood Branch. Collection Size: 55,889 Collections Available: <ul style="list-style-type: none"> • Local History Collections • Books on Tape, 	Room for story time activities. No space available for community use. Auditorium and boardroom now used by Public Health and not available for

Map Code	Library/Description	Services/Programs	Type of Facilities
updated July 23, 2007	West subway station. <i>*Located just outside study area boundary.</i>	<p>Audiobooks, Cassette books</p> <ul style="list-style-type: none"> English as a Second Language Material – Adult Language Learning Kits Large Print collection Parenting Collection Hebrew Language Collection <p>Services:</p> <ul style="list-style-type: none"> Book Drop – 24 hours Internet workstations (6) Seating (40) Word Processing Workstations (2) <p>Programs:</p> <ul style="list-style-type: none"> No adult or older adult programs Pre-registered baby time, toddler time, and preschool story time Weekly summer reading club activities for 3-6 yrs and 7& up. 	<p>general community use, with the exception of The Friendship Club, a seniors social club that meets Tues and Sat.</p> <p>Public Health do use their space for some community programming, e.g., prenatal classes.</p> <p>Lower level of building is used by a child care centre, an art club and the City Buildings staff.</p>

Table 6: Places of Worship

Map Code	Name	Address	Availability of Space/Rooms to Local Community
PW40	Beth Sholom Synagogue	1445 Eglinton Ave W	Preschool
PW28	Beth Tzedec Synagogue	1700 Bathurst St	
PW37	Bethel Worship Centre	611 Vaughan Rd	
PW19	Bracondale Gospel Hall	58 Arlington Ave	
PW13	Chabad Of Downtown Jewish Centre	1344 Bathurst St	

Map Code	Name	Address	Availability of Space/Rooms to Local Community
PW14	Community Of Christ	1443 Bathurst St	
PW20	Cornerstone Baptist Tabernacle	833 St Clair Ave W	Men's hostel
PW33	First Hungarian Presbyterian	439 Vaughan Rd	
PW15	Hillcrest Church Of Christ	2 Vaughan Rd	Day nursery
PW29	Holy Blossom Temple	1950 Bathurst St	Out of the Cold overnight hostel, nursery, Seniors program
PW25	Holy Rosary Church	354 St Clair Ave W	Out of the Cold lunch
PW26	Karma Sonam Dargye Ling	86 Vaughan Rd	
PW2	Kingdom Hall Of Jehovah's Witness	402 Oakwood Ave	
PW3	Mount Zion Apostolic Church	106 Holland Park Ave	
PW35	New Dawn Moravian Church	5 Glenora Ave	
PW36	Nova Jerusalem	5 Glenora Ave	
PW31	Prayer Outreach Ministries	587 Oakwood Ave	Child care program
PW39	Russian Orthodox Church	213 Winona Dr	
PW21	St Alphonsus Catholic Church	540 St Clair Ave W	Child care program
PW24	St Basil's Ukrainian Catholic	449 Vaughan Rd	
PW34	St Chad's Anglican Church	1695 Dufferin St	Child care program
PW6	St Clair Avenue Baptist Church	156 Wychwood Ave	
PW22	St Clare's R C Church	1118 St Clair Ave W	
PW7	St Hilda's Anglican Church	2353 Dufferin St	
PW1	St John Bosco Church	402 Westmount Ave	
PW5			
PW8	St Mary Of The Angels Church	1479 Dufferin St	

Map Code	Name	Address	Availability of Space/Rooms to Local Community
PW17	St. Matthew's United Church	259 Rushton Rd	Large meeting space used for community meetings, child care program, etc.
PW16	St Michael & All Angels	611 St Clair Ave W	Day care programs, Guides, AA, Out of the Cold
PW9	St Nektarioc Greek Orthodox	1223 Davenport Rd	
PW12	St Peter Temple	915 Davenport Rd	
PW11	St. Paul's Italian United Church	1116 Ossington Ave	
PW27	The Church Of J.C. Apostolic	10 Maplewood Ave	
PW18	The Good News Church	695 St Clair Ave W	
PW38	The House Of God	615 Vaughan Rd	
PW4	The New Jerusalem Church	312 Oakwood Ave	
PW32	Toronto Breakthrough Tabernacle	473 Oakwood Ave	
PW10	Toronto Korean Presbyterian	1183 Davenport Rd	
PW30	Toronto Mt. Zion Revival	347 Oakwood Ave	
PW23	Wychwood-Davenport Presbyterian	155 Wychwood Ave	

Source: Policy & Research Section, City Planning Division

Table 7: Human Services Inventory Table (locations as shown on Map C)

Ma Cod	Service Provider	Type of Service	User Groups
	Child Care Services		
A18	<p>Macaulay Child Development Centre*. Main Office 2010 Eglinton Ave. W., Ste 400 M6E 2K3 (416) 789-7441 www.macaulaycentre.org</p> <p><i>*Located just outside study area</i></p>	<p>Child care and family support agency. Some programs offered in other locations within the study area</p>	<p>Parents, caregivers and children birth-6 years, including children with developmental delays and other special needs</p>

Ma Cod	Service Provider	Type of Service	User Groups
A31	Macaulay Child Development Centre York Early Years – Wilcox Project 231 Ava Road	In partnership with Yorktown Child & Family Centre	Parents, caregivers and children birth-6 years
A2	St Bernadette's Family Resource Centre Program at 20 Bansley Avenue (Head Office: 23 McAdam Ave.* M6A 1S4 (416) 654-9810 Contact: Angie Carboni, Executive Director) <i>*Head Office located outside study area</i>	Breakfast & after-school programs, Parent Relief preschool program, March Break and summer day camp programs offered at D'Arcy McGee Catholic School.	City of Toronto * primarily former cities of Toronto and York
A22	Native Child and Family Services of Toronto. Epnigishmok Head Start Program 611 St Clair Ave W, 2nd Fl (416) 653-5381 Contact: Kim Kirkley, Manager www.nativechild.org	Early childhood education and parent and child programs for aboriginal children, youth outreach.	Aboriginal children 2-1/2 to 6 years
Seniors Services			
A1	York Fairbank Centre for Seniors 2213 Dufferin St (416) 651-8300 Contact: Lisa Tobio, Executive Director	Elderly persons centre with social, recreation and education programs, Italian men's group - card room and Bocce; Italian, Portuguese and Spanish-speaking women's groups, congregate dining, foot clinic.	Seniors 55 years and over Membership fee \$25/yr
A17	St. Clair West Services for Seniors* 2562 Eglinton Ave. W Toronto ON M6E 2H4 Contact: Andrea White Assistant Executive director	Adult day programs Home support services, Meals on Wheels, caregiver relief Older adult centre	Seniors 55 and over, adults with disabilities, convalescents Former City of York

Ma Cod	Service Provider	Type of Service	User Groups
	416-787-2114 <i>*Located outside study area.</i>		
	Health Services		
A28	George Brown College. Interprofessional Learning Clinic for Dental Hygiene and Denturism Casa Loma Campus 175 Kendal Ave M5R 1M2 Contact: Mary Clare Szabo, Dental Office Manager 416-415-4547	Dental clinic with supervised dental students	Children and adults with reasonable health and oral condition
A27	Toronto Rehabilitation Institute. Hillcrest Centre 47 Austin Terrace M5R 1Y8 416-597-3422 ext 4000	Rehabilitation Programs, including outpatient services: occupational therapy, physiotherapy, heated therapy pool	Persons with established diagnosis, rehabilitation achievable within 4 months
	Toronto Community Care Access Centre* 250 Dundas St. W., Ste 305 Toronto ON M5T 2Z5 416-506-9888 <i>*Located outside study area</i>	Arranges in-home or school-based health & social services, and placement in long term care homes, information and referral for related community services	Former City of Toronto residents with OHIP
	Counseling Services		
A21	Humewood House Association 40 Humewood Dr M6C 2W4 416-651-5657 Contact: Mardi Ennis- Gregory, Intake Worker	Young parent resource centre. Residence, secondary school program for pregnant and parenting youth, counseling service, computer training, job search skills	Pregnant young women and single mothers in need of support
A4	Yorktown Child and Family Centre* 21 Ascot Ave, 1st Fl M6E 1E6 Karen Engel, Exec. Dir. 416-394-2424 Linda Sumner, Clinical Dir.	Children's mental health centre, a service of Yorktown Family Services. Community Parent Education. Toronto Preschool Speech and Language Services; program for immigrant youth and parents; family support and	Children & youth to 18 years and their families or caregivers Former City of York, west Toronto for some programs

Ma Cod	Service Provider	Type of Service	User Groups
	* <i>Located just outside study area.</i>	education program for Somali community	Children and youth and their families or caregivers, teen mothers, Somali community
A5	Delisle Youth Services. Day Program* 21 Ascot Ave M6E 1E6 416-934-1103 * <i>Located outside study area.</i>	Counseling, day programs	Youth unable to function in school system or workplace
A6	West End Walk-in Counseling Centre* 21 Ascot Ave, 1st Fl M6E 1E6 Sharna Cohen, Coordinator 416-394-2424 ext. 34 * <i>Located outside study area.</i>	Program of Yorktown Family Services. Anger management, depression, family counseling	Parents, families, children, youth
Employment/Training			
A19	Skills for Change 791 St Clair Ave W M6C 1B8 416-658-3101	Employment Resource Centre: Contact: Libby Ackermann, Manager 416-658-3101 ext. 225. Employment Programs: 416-658-7090 Language training, skills upgrading and employment preparation, settlement services	Job seekers with a focus on immigrants & refugees, including internationally-trained professionals.
A26	St Stephen's Community House. 415 Bathurst Street M5R 3H8 Contact: Anne-Marie Curran, Manager 416-531-4631 ext. 235	Employment Training and Resource Centre	Targeted to youth and young adults 16-30
A24	African Training and Employment Centre of Toronto (ATEC) 1440 Bathurst St M5R 3J3 Contact: Raymond Tambwe,	Vocational counseling, ESL, computer and job search skills, LINC (Language Instruction for Newcomers to Canada)	Landed immigrants, Convention refugees

Ma Cod	Service Provider	Type of Service	User Groups
	Coordinator		
A29	Bloor Information and Life Skills Centre* 672 Dupont St, Ste 314 M6G 1Z6 Contact: Isabel Mahoney, Program Manager <i>*Located just outside study area.</i>	Information and referral, counseling, tax clinic, crisis management, immigrant and refugee settlement and orientation	City of Toronto
A25	NA-ME-RES (Native Men's Residence). Employment Centre 22 Vaughan Rd M6G 2N1 416-653-3091	Employment counseling, job search techniques and placement, computer use and training, Handyman Job Creation Program temporary handyman employment Also Homeless Resource Centre	All
A7	Learning Enrichment Foundation. Career Exploration Centre* 1278 St Clair Ave W, Unit 8 and 9 (Dufferin/St. Clair) <i>*Located outside study area.</i>	Two week program career workshops	Toronto West location EI Recipients, or individuals with maternity or parental benefits within past 5 years
Multi-Service Agencies			
	Learning Enrichment Foundation* 116 Industry Street (Weston Rd/Eglinton Ave W) 416-769-9912 <i>*Located outside study area</i>	Skill/job training, counseling, recruitment service for local employers, language instruction for newcomers, with nursery for children; operates several child care centres, and B&A school programs at various locations within the study area, preparation of meals for agencies serving the homeless, Wed. soup lunch. Partnerships with others organizations e.g., Second harvest, OCASI (immigrant service), York Early Years (child care), The Court's Diversionary Program (disadvantaged youth), Pardons Canada (ex-convicts)	Focus on children, youth, and new immigrants. Area of former City of York, although participants come from elsewhere in GTA.

Ma Cod	Service Provider	Type of Service	User Groups
A15 & A14	<p>York Community Services* 1651 Keele St (416) 653-5400 Contact: Thom Burger Executive Director</p> <p><i>*Located outside study area.</i></p>	<p>Community health centre including dental clinic, legal clinic, tax clinic, community support programs, e.g., ESL classes, prenatal drop in, parent and child drop in, and support groups, community kitchen and community garden, health promotion, home support services, social services provided by other agencies.</p>	<p>Former City of York All ages * focus on families at risk, frail seniors, newcomers, refugees and immigrants, people with mental health issues, and adults with developmental disabilities</p>
Other Programs/Services			
A8	<p>The Stop Community Food Centre* 1884 Davenport Rd, Rear Entrance</p> <p>(Another location expected to open in 2008 at new Green/Arts Barns, Wychwood Ave., near Christie and St. Clair within the study area)</p> <p><i>*Located outside study area.</i></p>	<p>Community food centre, drop –in program, community dining, food bank, community gardening at Earls court Park and the Davenport-Perth Neighbourhood Centre, community kitchens, pre- and postnatal nutrition and family support, food box distribution, information and referral. Another new location within the study area expected to open in 2008 in the new Green/Arts Barns, near Christie and St. Clair.</p>	<p>Most programs and services are for residents in their service area: St. Clair to Bloor, Dovercourt to Keele.</p>
A23	<p>Eritrean Canadian Community Centre of Metropolitan Toronto 538 St. Clair Ave.W. (near Bathurst St.) M6C 1A4 416-658-8580 Contact: Rumana Khalifa, Office Coordinator</p>	<p>Information and referral, translation and interpretation, recreation, workshops, homework club, ESL, Women Helping Women support group, youth support groups, cooking class for male youth</p>	<p>Supports Eritrean immigrants scattered throughout the city</p>
A30	<p>West Toronto Community Legal Services 672 Dupont St, Ste 315 M6G 1Z6 416-531-7376</p>	<p>Community legal clinic Homelessness Prevention Project and West Toronto Housing Help Service</p>	<p>Area residents</p>
A3	<p>Art Starts Neighbourhood</p>	<p>Storefront arts facility</p>	<p>Programs for</p>

Ma Cod	Service Provider	Type of Service	User Groups
	Cultural Centre 324 Oakwood Ave M6E 2V7 416-656-9994 Contact: Tamara Steinberg, Gen'l Mgr		children, youth, adults in the area
A10	Community Action Resource Centre 1652 Keele St.	Information and referral, tax clinic, Community Access Program, internet access, outreach to Portuguese speaking community, newcomer settlement for Eritrean and Somali communities	Former City of York and neighbouring communities
A11	Community Social Planning Council of Toronto York West Office 1652 Keele St.	Community education, research, citizen involvement.	Former City of York, west part of former City of Toronto
A12	For Youth Initiative 1652 Keele St.	By youth for youth agency; program areas include life skills, recreation, community development, mentorship, cultural & artistic productions	Youth 13 – 25 years
A13	York Hispanic Centre 1652 Keele St.	Settlement services, information, referral, counseling, legal clinic, educational & employment workshops.	Spanish-speaking communities or Hispanic or Latin American cultural backgrounds
A16	Somali Immigrant Women's Association – York office 1652 Keele St.	Community and social services, settlement services, counseling, support groups, parent/child drop-in program, homework club, life skills workshops, internet job search	Somali women and children

Sources: Policy & Research Section, City Planning, www.211Toronto.ca, agency websites, and interviews with some agency staff. Information obtained in 2006 & 2007.

Appendix V

St. Clair Ave W – Bathurst to Glenholme Study Area 2006 Demographic Data Notes, Summary and Highlights

Data Notes

1. Population Data – The Undercount

Although Statistics Canada makes a great effort to count every person, some people are missed in each Census. Statistics Canada takes this into account and estimates an ‘undercoverage’ rate for the urban region (CMA) every Census, but not for the City, which will be released in the fall of 2008.

The 2006 Census counted an unexpectedly high number of unoccupied dwelling units. This leads City staff to suspect that the Census may have missed more households than usual.

2. Structure Type – Probable Data Problem

The 2006 data shows large changes in various dwelling structures. For example, the number of single and semi-detached dwellings fell by 55,600, whereas the number of duplexes and apartment units in buildings under 5 storeys increased by 66,400. Please note that this data may not reflect actual construction and demolition patterns, thus the data must be analyzed with caution.

Summary

The St. Clair Avenue Bathurst to Glenholme study area is bounded by Dufferin in the west, Spadina in the East, Eglinton to the north and the CPR rail tracks just north of Dupont to the south.

In 2006 there were 34,594 people living in the St. Clair Avenue study area. Between 2001 and 2006, the population fell by 8.8% or by 3,339 persons, from 37,933 in 2001 to where it stands today. The City as a whole experienced a slight increase of less than 1% during this period. Caution: see Data Notes above.

The St Clair Avenue study area is similar to Toronto in terms of the number of families with and without children, household size, and average number of persons per household. However, there are more non-family persons and non-family households in the study area. In 2006, there were 15,050 private households consisting of 8,750 families (6,880 couples/1,850 lone-parents) and 6,575 non-family households.

Although the age distribution of the study area does not differ significantly from the City, St. Clair has slightly fewer children 9 years of age and under as well as fewer youth

between 10 and 19 years of age. A slightly higher percentage of adult residents between the ages of 20 to 64 and seniors over 65 live in the study area than in the City as a whole.

The St. Clair housing stock is aging. Almost half of dwellings were built before 1946 and another 22% between 1946 and 1960. Compared to Toronto, the study area has a higher proportion of low rise apartment buildings, relatively fewer high-rises and comparable proportion of single and semi detached houses.

St. Clair has a lower percentage of immigrants and a lower incidence of recent immigrants. This is reflected in home language where 'English' was the most frequently reported language. Furthermore, the proportion of the study population who moved into the study area in the 5 years following the 2001 Census fell below the City's average.

More St. Clair residents hold university degrees or certificates. Both average economic family and household income levels are only slightly lower than the City's average. The top three occupations for St. Clair residents are in Sales and Service; Business, Finance and Administration, and Social Science, Education, Government Service and Religion. The top 3 industries are Professional, Scientific and Technical Services, Educational Services, and Health Care and Social Assistance.

Highlights

Population

- Population fell by 8.8% between 2001 and 2006 (caution – see data notes)
- Slightly fewer children less than 10 (9% St. Clair /11% City)
- Fewer children between 10 to 19 (9% St. Clair /12% City)
- Slightly more adult residents aged between 20 and 54 (56% St. Clair /53% City)

Families

- Overall, couple families is similar to the City (79% St. Clair / 80%)
- Overall, the percentage of lone parents is comparable to the City's average of one in 5 families; however, there are more lone parents with 1 son or daughter (71% St. Clair /61% City)
- The average number of children at home per census family is similar to the City (1.1% St. Clair / 1.2% City)

Seniors

- Slightly lower proportion of family persons 65 years of age or older (59% St. Clair /64% City)
- More persons 65 years of age or older living alone (32% St. Clair/27% City)

Households

- Less one-family households (55% St. Clair /62% City)

- More non-family households (44% St. Clair /35% City)

Tenure

- Less owners than renters (47% owners St. Clair /54% City)

Immigration

- Fewer immigrants (40% St. Clair /50% City)
- Fewer recent immigrants, 2001-2006 (15% St. Clair/22% City)
- Place of origin of recent immigrants (2001-2006) was predominantly Philippines (25%), Southern Europe excl. Italy (14%), Eastern Europe (14%), South America (9%) and Eastern Africa (8%).

Generation status

- 50% of population 15 years or older are 1st generation status versus 59% for the City
- 25% of population 15 years or older are 2nd generation status versus 20% for the City
- 25% of population 15 years or older are 3rd generation status versus 21% for the City

Language

- More residents reported English as home language (77% St. Clair /67% City). After English, Italian is spoken most in the home, compared to Chinese in the City (Italian 4.5% St. Clair / Chinese 3.5% City)

Education

- Slightly higher proportion of population with university certificate or degree (42% St. Clair /37% City)

Mobility

- Over a 5 year period, residents moved less than the city over all. Non-movers outnumbered movers (60% St. Clair /55% City)

Income

- Average household income is lower than the City (\$72,067 St. Clair /\$80,343City)

Labour Force

- Lower unemployment rate (6.4% St. Clair /7.6% City)

Data Source: Statistics Canada, 2006 Census
Prepared by: Toronto, City Planning Division, Research and Information,
August 2008

**Attachment 7: Community Services and Facilities Review
(Keele Street to Glenholme Avenue)**

**COMMUNITY SERVICES AND FACILITIES REVIEW
ST. CLAIR AVENUE WEST – GLENHOLME TO KEELE
AVENUE STUDY**

**Policy & Research Section
City Planning Division
August 2008**

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EXECUTIVE SUMMARY

This report provides a review of community services and facilities (CS&F) that are available to the local population in the St. Clair Avenue –Glenholme to Keele *Avenue* Study Area. Key services and facilities include publicly funded schools, child care facilities, community centres, and parks and open space and public libraries. The review also includes human service agencies that offer support to area residents. The purpose of the review is to identify the range of available community services and facilities and emerging priorities for additional community resources that should be considered when planning for future growth within the study area. Policy 2.2.3.2 (a) (iii) in the new Official Plan requires that an *Avenue* Study set out investments in community improvements including community services and facilities needed to support city living and make the area attractive for residents and businesses. The CS&F review was prepared to assist planning staff in their *Avenue* Study for the section of St. Clair Avenue between Glenholme Avenue and Keele Street.

The study examined available data, such as, enrollment, capacity, service deficiencies, service boundaries and types of programs, augmented with information derived from discussions with local community service staff. Demographic characteristics of area residents are briefly described in Section 1.5.

Section 2, Community Services and Facilities, reviews the availability of key services and facilities in the area, including publicly funded schools, child care facilities, libraries, community centres, parks and open space, and discusses emerging priorities. See also Map B and the accompanying list in Appendix II. Human Service Providers are shown on Map C and the list in the Appendix III. Details on individual services and facilities are included in the tables in Appendix IV.

The review of these community resources revealed the following:

Schools: School Board staff reported that school facilities overall are operating satisfactorily. Toronto Catholic District School Board staff noted however that several of their schools are oversubscribed and students may have to be transported by bus to schools outside of the immediate community depending on the availability of space.

Child care: Only 16% of the estimated 6709 children who required some form of child care were being served in licensed child care centres in the St. Clair Avenue ‘West’ CS&F Avenue Study Area. Children’s Services staff are looking to increase the percentage of the area’s children (0 – 9 years) who are served to 50%. In order to accommodate increased demand, as well as to raise the overall level of service, additional child care spaces are needed for this area. Given the existing deficiency, child care would be a top priority to service any future growth in the area.

Community

Centres: Three city owned and operated community centres are located in the study area and together offer programs for all ages. Swimming was the most popular activity and staff at Fairbank Memorial Community Centre commented on the lack of an indoor pool in their building. Area residents do have aquatics programs available to them at JJ Piccininni Community Recreation Centre and Centennial Recreation Centre West as well as other nearby facilities, including Wallace Emerson Community Centre and the Toronto District School Board Secondary School, Vaughan Road Academy. Recreation staff also reported that the area could use more sports fields to accommodate the demand from soccer enthusiasts for field space.

Recent improvements at Fairbank Memorial included the addition of a new gym. The gym has provided an important venue for basketball and other popular activities for area youth. There is however a shortage of storage space that limits program options, for example, requiring large equipment. When facilities are shared among multiple users, storage becomes critical. It may be hard to find solutions in existing buildings where space is at a premium. However, thought should be given to providing adequate equipment storage when planning proceeds for future facilities, such as the new York Community Centre at Black Creek Drive and Eglinton Avenue. Construction on the new centre is scheduled to begin by 2010. Programs at Centennial Recreation Centre will migrate to the new community centre. The school board owns the Centennial Recreation Centre facility, and it is assumed that these facilities will be available through the school board.

Parks and

Open Space: Access to local parkland is limited particularly for most study area residents north of St. Clair Avenue and those living south of St. Clair between Caledonia Rd. and Keele St. Options for increasing local parkland should be considered when development occurs in this area. The new alternative parkland dedication rate will apply for residential and the residential portion of mixed use development.

Public

Libraries: Library Board staff reported that there is excellent service coverage across the St. Clair Avenue West “Avenue” study area.

Human Service

Agencies: Human service agencies help residents meet the challenges of everyday living

with home support services, family resource programs, health services, family and youth counseling, employment and job training, immigrant services, and legal services. Several human service agencies reported about recent and planned facility expansions. They are hopeful that their expansions will free up more programming space for smaller service providers and local community groups. This is important because there is a city-wide shortage of affordable space for smaller service agencies with limited budgets. Additional multi-purpose community service space should be considered if the opportunity presents itself in the future to help address the city-wide shortage. In order to determine how much space should be provided and who the key users could/should be in this area, further follow-up through key informant meetings with local community groups and human service agencies would be needed at that time.

COMMUNITY SERVICES AND FACILITIES REVIEW ST. CLAIR AVENUE WEST – GLENHOLME TO KEELE AVENUE STUDY

1.0 INTRODUCTION

1.1 Purpose

A review was undertaken of community services and facilities (CS&F) that are available to the local population in the vicinity of St Clair Avenue West, between Glenholme Avenue and Keele Street. Key services and facilities include publicly funded schools, childcare facilities, libraries and community centres. The review also looked at human service agencies that offer support to area residents. The purpose of the review was to identify the range of available community services and facilities and emerging priorities that should be considered when planning for future growth within the study area.

1.2 Background

The City's Official Plan makes a strong link between building good communities and the provision of local community services and facilities. Accordingly, Policy 2.2.3.2 (a) (iii) requires that an *Avenue Study* set out investments in community improvements including community services and facilities needed to support city living and make the area attractive for residents and businesses.

A review of community services and facilities can help identify service provision issues that exist within the study area, and assist in determining what CS&F improvements may be necessary to enhance the quality of life for current and future area residents.

1.3 Study Area

The Avenue Study examines the portion of St. Clair Avenue between Glenholme Avenue and Keele Street. The Community Services and Facilities (CS&F) Review study area covered a larger area in order to identify community services and facilities that may also serve this population, as service areas vary. The CS&F Study Area extended between Eglinton Avenue south to the railway tracks, just north of Dupont Street, and from Oakwood Avenue on the east to Runnymede Road/Humber Boulevard/Black Creek Drive as the west boundary. The area is shown in blue (shaded area in non-coloured versions) on Map B in Appendix II.

1.4 Methodology

An inventory was compiled of existing community services and facilities located in the CS&F Study Area. This report includes publicly-funded schools, childcare facilities, community centres, parks and open space, public libraries, and human service agencies using available data, such as, enrollment, capacity, service deficiencies, service boundaries and types of programs. Limited contact was made with some community and human service staff. Census data for the study area were analyzed to develop a demographic profile of area residents.

1.5 Demographic Profile

The demographic profile was based on census data from 2001 and 2006 for the CS&F Study Area. See Study Area in Appendix II. In 2006 there were 34,576 people living in the study area. Between 2001 and 2006, the population fell by 0.6%. The previous census recorded a decline of 2% between 1996 and 2001. (See Appendix V Data Notes concerning population data and possible undercounting in the 2006 census.)

According to census data, residents in the area are similar to the City as a whole with respect to age and sex distribution. Both locally and city-wide, the numbers of children and youth show a slight decline between 2001 and 2006. In the study area, there are fewer non-family households, average household size is slightly higher, and fewer seniors are living alone. Most of the housing stock was built before 1960. House-form buildings predominate, and associated with this characteristic is the high rate of home ownership in the area. As in the city overall, more than half of the residents are immigrants, although only a few are recent arrivals. The level of educational achievement is lower. Labour force participation is similar to the city population, but average household income is significantly below the city's figure.

A summary of 2006 demographic characteristics is included as Appendix V.

2.0 COMMUNITY SERVICES AND FACILITIES

This section summarizes the availability of community services and facilities. Key services and facilities include publicly funded schools, childcare facilities, community centres, parks and open space, and libraries. See also Appendix II, Map B and the accompanying list. Human service providers are shown on Map C and the accompanying list in Appendix III. Details on individual services and facilities are included in the tables in Appendix IV.

2.1 Schools

Capacity and enrolment data for elementary schools in the study area indicate that these facilities are generally operating satisfactorily and that there is capacity overall in area facilities to accommodate additional students. At the Secondary School level, school board staff noted, students have greater options and often make choices outside their neighbourhood school.

2.1.1 Toronto District School Board (TDSB)

There are eleven elementary schools serving the CS&F study area. George Harvey Collegiate Institute and Vaughan Road Academy are the secondary schools located in the area. See Table 1a in Appendix IV for capacity and enrolment information for TDSB schools serving the area.

School enrolment statistics suggest a low utilization at many of the schools serving this area. However, as board staff pointed out, the presence of community programs operating in these facilities is not reflected in the utilization rates. Staff have advised that these schools are operating satisfactorily and generally have capacity to accommodate additional students.

2.1.2 Toronto Catholic District School Board (TCDSB)

TCDSB staff advised that there are a significant number of schools enrolled over capacity in this area. In some instances students may have to be transported by school bus to schools outside of the immediate community depending on the availability of space.

There are twelve Catholic elementary schools located in the CS&F study area. According to data provided by School Board staff, three schools, St. Matthew on Lavender Road (133%), St. Nicholas of Bari on Rogers Road (112%) and St. Thomas Aquinas on Glenholme Avenue (129%) are oversubscribed at this time. Staff reported that, overall, the utilization rates are acceptable. Secondary level students attend Archbishop Romero Secondary School on Humber Blvd.

2.2 Child Care Centres

The review examined both non-profit and “for profit” programs offered in child care centres located within the CS&F Study Area. There are 22 child care centres, including ½ day nurseries. These facilities together are licensed for a total of 1097 spaces. Table 2 in Appendix IV provides details of child care programs. Many centres operate near capacity. For those with a subsidy agreement, there is often a wait list for a subsidized space.

Only 16% of the estimated 6709 children who require some form of child care are now being served in licensed child care centres in the St. Clair Avenue – Glenholme to Keele CS&F Study Area. Children’s Services staff recommend that 50% of all children 0-9 years should have access to a licensed child care space in their neighbourhood. They explained: “This recommendation is based on having adequate licensed child care services for families where both parents are working or going to school as well as for those families who may have a parent at home but still want a preschool early learning experience for their child.” The current supply of 1097 licensed spaces is far short of the 4792 spaces needed to meet Children’s Services recommended standard of service provision. Additional child care spaces are needed to meet current demand. Given the existing deficiency, child care would be a top priority to service any future growth in the area.

The proportion (29%) of children in this area living below LICO (Low Income Cut-off – Statistics Canada) is similar to the Toronto average of 30%. Children’s Services staff reported that only about 1/3 of these children were able to access a subsidized child care space. There are waiting lists for subsidized spaces for all age groups, but the numbers are particularly high for infants. An increase in subsidized spaces would help make licensed child care more accessible to low income families in the study area.

There are also several Parent and Child Resource Centres offering Ontario Early Years drop-in programs for caregivers and their children. These publicly-funded programs are typically organized by service agencies and are offered free of charge in their own space and at several satellite locations in the neighbourhood, such as schools, libraries, and community centres. These programs will not meet the needs of working parents looking for all-day child care. However, free drop-in programs are an important alternative to full time child care centres, particularly for parents who are not eligible for subsidized child care but would still benefit from the support and parenting resources that these can provide. For recent immigrant families, a drop-in program also offers an opportunity to integrate into their new community.

2.3 Community and Recreation Facilities

Community centres in the area provide critical services and programming for all ages. Three city owned and operated community centres are located within the community services and facilities study area: Fairbank Memorial Community Centre (CC) on

Dufferin Street, Joseph J. Piccininni Community Recreation Centre (CRC) on St. Clair Avenue West and Centennial Recreation Centre West, on Eglinton Avenue.

Fairbank Memorial Community Centre

The Fairbank Memorial CC facility has several multi-purpose/meeting rooms, indoor bocce, kitchen, office space, and fitness centre. The centre lacks an indoor pool, a point noted by centre staff who reported that “the community wants a pool”. Swimming was the most popular activity among area residents (30% of registrations in 2005). An indoor pool is highly desired by centre staff who believe it can encourage overall use of a recreation centre year round; residents are often drawn to a centre initially by popular swimming and aquafit classes. Note: there are several other centres nearby including J.J. Piccininni CRC and Centennial RCW that do offer year-round indoor aquatics.

Fairbank Memorial CC does have a new gym. The gym provides an important venue for basketball and other popular activities for area youth. This building was originally a seniors centre. The York-Fairbank Centre for Seniors continues to be a major user, with daily programming. Fairbank Memorial CC provides activities for all ages, including some very popular dance programs, music lessons, fitness and sports. The centre attracted 10% of area resident registrations (2005). Note that registrations account for only a portion of the activities. Many programs, such as, the popular basketball sessions in this centre, operate as drop-in’s and attendance may not be included in program statistics.

J.J. Piccininni Community Recreation Centre

The centre is equipped with facilities to provide activities for all ages, including several multipurpose rooms, a gym, indoor pool, indoor bocce, weight room, seniors rooms, etc. Staff described JJ Piccininni as “well used”. JJ Piccininni attracted about 32% of all the program registrations by residents in the study area, according to Parks, Forestry, and Recreation registration statistics for 2005. Recreation staff commented that the area could use more sports fields to accommodate the demand from soccer enthusiasts for field space. Staff are now turning people away.

Centennial Recreation Centre West

The emphasis at this location is on its swimming programs. The centre accounts for almost 10% of area registrations (2005), most for swimming. The new York Community Centre to be constructed near Black Creek Drive and Eglinton Avenue will ultimately replace Centennial RC West with a larger pool.

Parks, Forestry and Recreation staff advised that area residents are also served by other nearby facilities. Wallace Emerson CC, located just outside the study area, attracted the second most study area registrants, almost 14%, for swimming and other activities. A small percentage attended other nearby facilities, including Vaughan Road Academy (4.2%) for swimming and camps. See Table 3 in Appendix IV for more details about facilities serving residents of this study area.

Recreation staff commented about a shortage of storage space that limits program options, for example, that require large equipment. When facilities are shared among multiple users, storage becomes critical. It may be hard to find solutions in existing buildings where space is at a premium. However, thought should be given to providing adequate equipment storage when planning proceeds for future facilities, such as the new York Community Centre at Black Creek Drive and Eglinton Avenue.

2.4 Parks and Open Space

There are about 69 hectares of open space within the CS&F Study Area, including parkland and natural areas, forest, ravine, playfields, outdoor pool, tennis courts, wading pools and playgrounds as well as the 41 hectare Prospect Cemetery. Map 8B, Local Parkland Provision in the Official Plan shows that access to local parkland is limited for most study area residents north of St. Clair Avenue and those living south of St. Clair between Caledonia Rd. and Keele St.

Official Plan designated “Avenues” have been identified as Parkland Acquisition Priority Areas to help minimize the impact on service levels that may come with growth and development.

The alternative parkland dedication rate of 0.4 hectares per 300 units will apply to proposals for residential development and for the residential portion of mixed used development, in accordance with the provisions of Policy 5 of Section 3.2.3 of the Official Plan.

2.5 Public Libraries

The Toronto Public Library has multiple tiers of library service including neighbourhood libraries that serve a minimum of 25,000 residents living within a 1.6 km area and district libraries that serve a minimum of 125,000 residents living within a 2.5 km area.

Library Board staff reported that there is excellent service coverage across the St. Clair Avenue West “Avenue” study area. Six branches currently serve the area, including the Neighbourhood Branches: Annette Library on Annette Street, Evelyn Gregory Library on Trowell Avenue, Mount Dennis Library on Weston Road, Oakwood Village Library and Arts Centre on Oakwood Avenue, St. Clair/Silverthorn Library on St. Clair Avenue West, and the District Branch, Maria A. Shchuka on Eglinton Avenue West. In addition, the Dufferin/St. Clair Branch on Dufferin Street is closed for a major renovation and restoration. Renovations will update the facilities, improve building accessibility and add a new program room. The branch is expected to re-open in the summer of 2008. See Table 4 in Appendix IV for more details on area libraries.

2.6 Programming or Community Meeting Space in Places of Worship

Places of worship often provide space to community groups and agencies for local programs and services. It can be an important resource. There are drawbacks, however,

in relying on availability of this type of space. In some instances, agencies are reluctant to use a location that some residents of a different faith may not want to enter. There is also the risk of losing the space as older congregations choose to sell off their property.

The study area has numerous places of worship. Names and addresses are included in Table 5, Appendix IV. The congregations should be contacted if future consultations are held with service providers about the use and availability of community space in the area.

2.7 Human Service Providers

Human service agencies provide a broad range of services that help residents meet the challenges of everyday living. These services include home support services, family resource programs, health services, family and youth counseling, employment and job training, immigrant services, and legal services. Of course, these agencies can be most effective when they are able to offer the services locally. It is therefore important to ensure that adequate space is available to them in the area, at minimum cost, as many of these agencies lack the resources to secure space on their own.

An inventory was compiled of human service providers. See Map C and the accompanying list in Appendix III. See Table 7 in Appendix IV for a description of available services.

A number of service providers in the area reported about recent or planned facility expansions. St. Clair West Services for Seniors relocated just over a year ago to a larger space near Keele Street. The move was prompted by a need for more space for offices and day programs. The Centre is well attended, and able to meet its clients' needs in the new location. York Fairbank Centre for Seniors operates in dedicated space in the Fairbank Community Centre. This long-term association has benefited both the seniors and other users of the community centre. Through funding obtained by the Seniors, a non-profit organization, they recently acquired fitness and computer equipment for the community centre. The Seniors are currently negotiating private corporate funding for an improved outdoor running track.

York Community Services has expansion plans for a new satellite Community Health Centre, at Jane and Trethewey, in the Mount Dennis Priority Neighbourhood. Although the new location is outside the study area, agency staff are hopeful that demand at the Keele Street site will ease when they are able to redirect their Mount Dennis clients to the new location. Davenport-Perth Neighbourhood Centre programs are full and space is tight during the day, but is sometimes available to non-profits without cost in the evenings. This centre has also received funding for an expansion of its Community Health Centre and is in the initial planning stages. A new wing for more health services will free up extra space for community use programming for non-profits. The City-owned community hub at 1652 Keele Street houses seven agencies that offer programs to area residents, including the drop-in space used by "For Youth Initiative". There is additional space on the second floor of this building that will become available soon for more youth programming.

There are also a number of smaller community organizations that have located in the area because they are able to find affordable space to rent. Area residents are welcome to attend their programs but in reality their services are directed to a specific group and their clients are scattered throughout the city. There is a city-wide shortage of affordable space for these smaller human service organizations with limited budgets. In the event that further growth develops in this area, opportunities for additional multi-purpose community service space should be considered to ensure that agencies and community groups can offer their services where they are most needed. Further consultation with these agencies will be required at that time to assess their particular needs.

3.0 CONCLUSIONS

The review of community services and facilities inventoried key community resources that currently serve the population in this area, and emerging priorities were identified. School facilities overall are adequate for current school enrolment and the Boards have advised that arrangements are available to accommodate additional students. With respect to TCDSB students, these arrangements may involve transportation by bus to schools outside of the immediate community.

Library Board staff reported that there is excellent service coverage across the St. Clair Avenue West study area. In addition, the Dufferin/St. Clair Branch on Dufferin Street is closed for a major renovation and restoration that will increase its options for teen programming and community use.

Based on information obtained from Children's Services staff, it appears that child care should be a top priority to service any future growth in the area. An increase in subsidized spaces would help make licensed child care more accessible to low income families in the study area. With respect to local parkland, access is limited particularly for most study area residents north of St. Clair Avenue, and those living south of St. Clair between Caledonia Rd. and Keele St. Options for increasing local parkland should be considered when development occurs in this area. The new alternative parkland dedication rate will apply for residential developments and the residential portion of mixed use development.

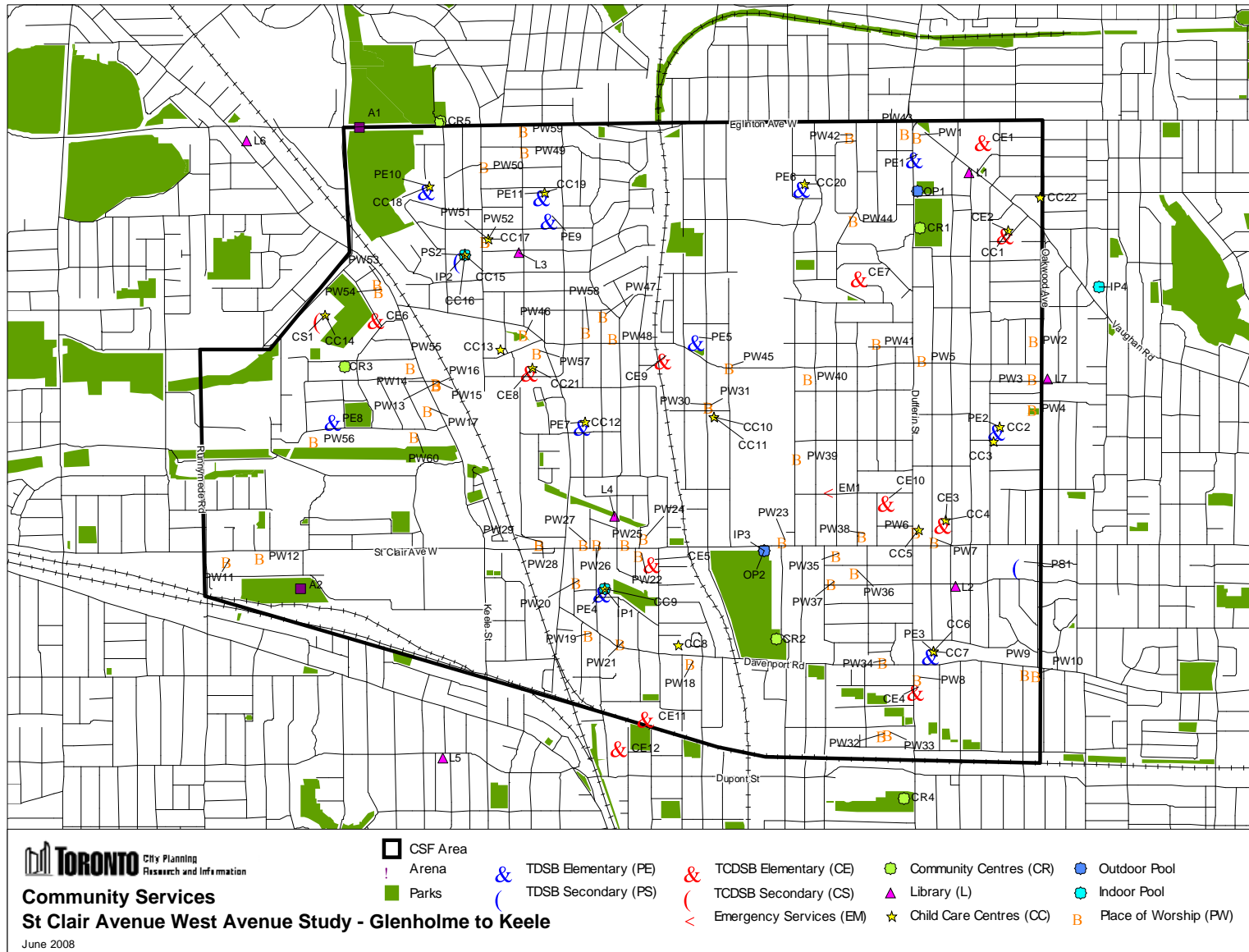
Additional multi-purpose space should be considered if the opportunity presents itself in the future to help address a city-wide shortage of affordable programming and administration space for smaller service agencies and local community groups. In order to determine how much space should be provided and who the key users could/should be in this area, further follow-up through key informant meetings with local community groups and human service agencies would be required at that time.

August, 2008

Appendix I
Map A



Appendix II Map B



List of Community Services in the St. Clair Avenue –Glenholme to Keele CS&F Study Area (as shown on Map B)

Map No.	Name	Address
PE4	Carleton Village Sr PS / The City School	315 Osler Street
PE5	F H Miller Jr PS	300 Caledonia Road
PE6	Fairbank Memorial Community School	555 Harvie Avenue
PE1	Fairbank MS	2335 Dufferin Street
PE7	General Mercer Jr PS	30 Turnbury Avenue
PE8	Harwood Jr PS	50 Leigh Street
PE9	Kane MS	300 Kane Avenue
PE10	Keelesdale Jr PS	200 Bicknell Avenue
PE2	Rawlinson Community School	231 Glenholme Avenue
PE3	Regal Road Jr PS	95 Regal Road
PE11	Silverthorn Jr PS	55 Ypres Road
PS2	George Harvey CI	1700 Keele Street
PS1	Oakwood CI	991 St Clair Avenue West
CE2	D'Arcy McGee	20 Bansley Ave.
CE5	Pope Paul	270 Laughton Ave.
CE6	Santa Maria	25 Avon Ave.
CE3	St. Clare	124 Northcliffe Blvd
CE7	St. John Bosco	75 Holmesdale Rd.
CE11	St. Josaphat	55 Pelham Ave.
CE4	St. Mary of the Angels	1477 Dufferin St.
CE8	St. Matthew	18 Lavender Rd.
CE9	St. Nicholas of Bari	363 Rogers Rd.
CE12	St. Rita	178 Edwin Ave.
CE1	St. Thomas Aquinas	636 Glenholme Ave.
CE10	Stella Maris	31 Ascot Ave.
CS1	Archbishop Romero	99 Humber Blvd
CC6	Ascot	95 Regal Rd
CC10	Beatrice House	177 Caledonia Rd
CC9	Carleton Village	315 Osler St
CC8	Davenport/Perth	1900 Davenport Rd
CC7	Dufferin- St.Clair Bears	95 Regal Rd
CC20	Fairbank	555 Harvie Ave
CC12	General Mercer	30 Turnberry Ave
CC16	George Harvey	1700 Keele St
CC4	Harmony	124 Northcliffe Blvd
CC11	Hughes	177 Caledonia Rd
CC17	Just Kids	1695 Keele St
CC18	Keelesdale	200 Bicknell Ave
CC15	Macaulay School Age	1700 Keele St Room 132,
CC13	Macaulay-Regent St	48 Regent St
CC3	Rawlinson	40 Earnscliffe Rd
CC2	Rawlinson B & A	231 Glenholme Ave
CC14	Romero Bears	99 Humber Blvd

CC19	Silverthorn B & A	55 Ypres Rd
CC1	St. Bernadette's	20 Bansley Ave
CC5	St. Chad's	1695 Dufferin St
CC21	St. Matthew B & A	18 Lavender Rd.
CC22	Sunflower Montessori	582 Oakwood Ave.
CR2	Joseph J. Piccininni Community Recreation	1200 Lansdowne Ave.
CR1	Fairbank Memorial Community Centre	2213 Dufferin St
CR3	Harwood Hall	85 Cayuga Ave
CR5	Centennial Recreation Centre West	2694 Eglinton Ave. W.
CR4	Wallace Emerson Community Centre	1260 Dufferin St.
OP1	Fairbank Park Outdoor Pool	40 Keywest Ave
OP2	Giovanni Caboto Outdoor Pool	1369 St. Clair Ave W
IP1	Carlton Village North Indoor	315 Osler Ave
IP2	George Harvey Indoor Pool	1700 Keele St
IP3	Joseph J. Piccininni Indoor Pool	1369 St. Clair Ave We
IP4	Vaughan Road Academy	529 Vaughan Rd.
A1	Chris Tonks Arena	2801 Eglinton Ave. W.
A2	George Bell Arena	215 Ryding Ave.
L2	Dufferin St. Clair Library	1625 Dufferin St.
L3	Evelyn Gregory Library	120 Trowell Ave.
L4	St. Clair Silverthorn Library	1748 St. Clair Ave. W.
L1	Maria A. Shchuka District Library	1745 Eglinton Ave. W.
L5	Annette Library	145 Annette St.
L6	Mount Dennis Library	1123 Weston Rd.
L7	Oakwood Village Library & Arts Centre	341 Oakwood Ave.
EM1	Toronto Fire Department Station 423	358 Keele St.
PW49	ANJUMAN-E-ISLAHUL-MUSLEMIN	277 Scott Rd
PW17	APOSTOLIC CHRISTIAN CHURCH	274 Weston Rd
PW60	BIBLEWAY PENTECOSTAL CHURCH	33 Mc Cormack St
PW38	BOON AVE BAPTIST CHURCH	11 Boon Ave
PW18	CANADIAN HINDU SATSANG ORG.	1871 Davenport Rd
PW40	CARISMA CHURCH	236 Nairn Ave
PW28	CELESTIAL CHURCH OF CHRIST	1870 St Clair Ave W
PW35	CHURCH OF STE NICOLA DI BARI	1277 St Clair Ave W
PW41	CHURCH OF UNITED BRETHEREN	48 Bloem Ave
PW27	COLLEGE ST. CHURCH OF GOD	1780 St Clair Ave W
PW58	DAVENPORT RD. GOSPEL HALL	223 Chambers Ave
PW42	ENNERDALE ROAD BAPTIST CHURC	228 Ennerdale Rd
PW56	ETHIOPIAN CANADIAN MUSLIM	171 McCormack St
PW51	EVENING LIGHT CHURCH OF GOD	1695 Keele St
PW44	FAIRBANK GOSPEL HALL	119 Ennerdale Rd
PW50	FIRST CHURCH OF GOD	1947 Keele St
PW36	HUNGARIAN UNITED CHURCH	73 Mackay Ave
PW12	IGREJA VIDA NOVA	2365 St Clair Ave W
PW26	INTERNATIONAL PENTECOSTAL	1764 St Clair Ave W
PW37	JANE ST CHURCH OF GOD	238 Rosemount Ave
PW2	KINGDOM HALL OF JEHOVAH'S WI	402 Oakwood Ave
PW13	LA LUZ DE CRISTO PENTECOSTAL	325 Weston Rd

PW16	MEDHANIE CHURCH	325 Weston Rd
PW43	MIRACLE LIFE CHRISTIAN FELLO	2350 Dufferin St
PW33	MISSION CHRISTIANA TORONTO	15 Brandon Ave
PW3	MOUNT ZION APOSTOLIC CHURCH	106 Holland Park Ave
PW31	MY FATHERS HOUSE	24 Innes Ave
PW19	NEWBORN CHURCH OF GOD	2061 Davenport Rd
PW11	NEWHOPE TABERNACLE	2431 St Clair Ave W
PW32	OAKWOOD WESLEYAN CHURCH	33 Brandon Ave
PW48	OPEN DOOR PENTECOSTAL CHURCH	332 Silverthorn Ave
PW54	OUR LADY OF GUADELUPE CHURCH	694 Weston Rd
PW39	PATTERSON PRESBYTERIAN CHURC	115 Harvie Ave
PW52	PRESBYTHERIAN CHURCH	1695 Keele St
PW15	PRIMERA IGIESIA	325 Weston Rd
PW45	PROSPECT CEMETERY	250 Rogers Rd
PW53	REDEEMERS VICTORY CHURCH	700 Weston Rd
PW21	ROMAN CATHOLIC EPISCOPAL	1 Gillespie Ave
PW47	ROMANIAN ORTHODOX CHURCH	247 Rosethorn Ave
PW59	SMILE BACK MINISTRIES	2547-2549 Eglinton Ave W
PW6	ST CHADS ANGLICAN CHURCH	1695 Dufferin St
PW7	ST CLARE'S R C CHURCH	1118 St Clair Ave W
PW1	ST HILDA'S ANGLICAN CHURCH	2353 Dufferin St
PW5	ST JOHN BOSCO CHURCH	402 Westmount Ave
PW22	ST JOHN THE BELOVED	1683 St Clair Ave W
PW8	ST MARY OF THE ANGELS CHURCH	1479 Dufferin St
PW57	ST MATTHEW'S CHURCH	708 Old Weston Rd
PW9	ST NEKTARIOC GREEK ORTHODOX	1223 Davenport Rd
PW34	ST PAULS LUTHERN CHURCH	1424 Davenport Rd
PW24	ST. MARK & CALVARY CHURCH	21 Blackthorn Ave
PW23	ST. MICHAEL CHURCH	1384 St Clair Ave W
PW29	THE MOUNT ROCK HALIBETH ZION	1870 St Clair Ave W
PW4	THE NEW JERUSALEM CHURCH	312 Oakwood Ave
PW46	THE TORONTO SPANISH CHURCH	523 Rogers Rd
PW30	TORONTO HERITAGE SEVENTH DAY	24 Innes Ave
PW10	TORONTO KOREAN PRESBYTERIAN	1183 Davenport Rd
PW55	VAN HANH VIETNAMESE BUDDHIST	338 Weston Rd
PW14	YORK CHURCH OF GOD	325 Weston Rd
PW20	ZION APOSTOLIC CHURCH	65 Ford St
PW25	ZION SACRED HEART CHRISTIAN	1708 St Clair Ave W

Appendix III Map C



List of Human Services in the St. Clair Avenue – Glenholme to Keele CS&F Study Area (as shown on Map C)

MAP NO.	AGENCY NAME	ADDRESS
A1	York Fairbank Centre for Seniors	2213 Dufferin St
A2	St Bernadette's Family Resource Centre	20 Bansley Ave
A3	Art Starts Neighbourhood Cultural Centre	324 Oakwood Ave
A4	Yorktown Child and Family Centre	21 Ascot Ave, 1st Fl
A5	Delisle Youth Services. Day Program	21 Ascot Ave
A6	West End Walk-in Counseling Centre	21 Ascot Ave, 1st Fl
A7	Learning Enrichment Foundation. Career Exploration Centre	1278 St Clair Ave W, Unit 8 and 9
A8	Stop Community Food Centre, The	1884 Davenport Rd, Rear Entrance
A9	Islamic Social Services and Resources Association	2375 St Clair Ave W
A10	Community Action Resource Centre	1652 Keele St
A11	Community Social Council of Toronto York West Office	1652 Keele St
A12	For Youth Initiative	1652 Keele St
A13	York Hispanic Centre	1652 Keele St
A14	Legal Aid Ontario. Advice Lawyer -- York (Keele St)	1651 Keele St
A15	York Community Services	1651 Keele St
A16	Somali Immigrant Women's Association	1652 Keele St
A17	St. Clair West Services for Seniors	2562 Eglinton Ave W
A18	Macaulay Child Development Centre Main Office	2010 Eglinton Ave W
A19	Child Development Institute. St Clair Gardens Site	46 St Clair Gdns
A20	Humber College Institute of Technology and Advanced Learning. Government and Community Relations: St Clair West Employment Resource Centre and Centre for Experienced Workers, New Tools/New Rules	1345 St Clair Ave W, 2nd Fl
A21	Davenport Perth Neighbourhood Centre. Employment Resource Centre and Toronto Adult Literacy for Action Centre	1900 Davenport Rd
A22	Salvation Army. Services to Seniors. West Toronto Corps	343 Keele St
A23	Macaulay Child Development Centre. Junction Caregiver Resources	145 Annette St

A24	The Syme 55 Plus Centre	33 Pritchard Ave
A25	Toronto. Social Services Division. York/Humber Social Services	605 Rogers Rd
A26	Salvation Army. Services to Seniors. York Temple Corps	1100 Weston Rd
A27	Learning Enrichment Foundation	116 Industry St

Appendix IV Community Services and Facilities Inventory Tables (locations as shown on Map B; Human Service Providers shown on Map C)

Table 1a: Toronto District School Board

Map Code	Name	Address	Capacity 2006-07	Enrolment (Full Time Equivalent) as of Oct. 31, 2006	Utilization Rate
Elementary					
PE4	Carleton Village Sr PS / The City School	315 Osler Street	692	442.5	63.95%
PE5	F H Miller Jr PS	300 Caledonia Road	280	174	62.14%
PE6	Fairbank Memorial Community School	555 Harvie Avenue	553	247	44.67%
PE1	Fairbank MS	2335 Dufferin Street	331	242	73.11%
PE7	General Mercer Jr PS	30 Turnbury Avenue	498	222	44.58%
PE8	Harwood Jr PS	50 Leigh Street	348	190	54.60%
PE9	Kane MS	300 Kane Avenue	492	350	71.14%
PE10	Keelesdale Jr PS	200 Bicknell Avenue	262	188	71.76%
PE2	Rawlinson Community School	231 Glenholme Ave	903	410	45.40%
PE3	Regal Road Jr PS	95 Regal Road	547	473	86.47%
PE11	Silverthorn Jr PS	55 Ypres Road	596	308	51.68%
Elementary Totals:			5502	3246.5	59.01%
Secondary					
PS2	George Harvey CI	1700 Keele Street	1,728	839.1	48.56%
PS1	Oakwood CI	991 St Clair Ave W	1,047	877.81	83.84%
Secondary Totals:			2775	1716.91	61.87%

Source: TDSB updated August, 2007

Note: An elementary school with a utilization rate of 80% is considered to be operating ‘at capacity’ by the Toronto District School Board (TDSB). Similarly, a secondary school with a utilization rate of 90% is considered to be operating ‘at capacity’.

Table 1b: Toronto Catholic District School Board

Map Code	Name	Address	Capacity	Enrolment October 2007 (Full Time Equivalent)	Utilization Rate
Elementary					
CE2	D'Arcy McGee	20 Bansley Ave.	724	362	50%
CE5	Pope Paul	270 Laughton Ave.	400	402	100%
CE6	Santa Maria	25 Avon Ave.	268	205	76%
CE3	St. Clare	124 Northcliffe Blvd	525	501	95%
CE7	St. John Bosco	75 Holmesdale Rd.	389	215	55%
CE11	<i>St. Josaphat *</i>	55 Pelham Avenue	542	147	27%
CE4	St. Mary of the Angels	1477 Dufferin St.	467	334	72%
CE8	St. Matthew	18 Lavender Rd.	405	540	133%
CE9	St. Nicholas of Bari	363 Rogers Rd.	553	620	112%
CE12	St. Rita	178 Edwin Ave.	386	137	35%
CE1	St. Thomas Aquinas	636 Glenholme Ave.	535	693	129%
CE10	Stella Maris	31 Ascot Ave.	677	432	64%
Elementary Totals:			5,871	4,588	78%
Secondary					
CS1	Archbishop Romero	99 Humber Blvd	945	818	87%
Secondary Totals:			945	818	87%

* *St. Josaphat is an Eastern Rites only school.*

Source: TCDSB updated April 15, 2008

Table 2: Child Care and Nursery Programs

Map Code	Name	Address	Capacity	Details
CC6	Ascot Day Care	95 Regal Rd (Davenport/Dufferin) 416-653-7760	36 Pre-school 30 School Age Total: 66 licensed spaces	Subsidy may be available. Located in Regal Road Public School
CC10	Beatrice House	177 Caledonia Rd (Rogers Rd/Caledonia) 416-652-0077 ext 229	10 Infant 10 Toddler 24 Pre-school Total: 44 licensed spaces	Subsidy may be available Located in Hughes Public School-Beatrice House

Map Code	Name	Address	Capacity	Details
				Hostel
CC9	Carleton Village Child Care Centre	315 Osler St (Davenport/Symington) 416-651-2550	24 Pre-school 30 School Age Total: 54 licensed spaces	Subsidy may be available. Located in Carlton Village South Public School North Priority given to Davenport/Perth Day Care
CC8	Davenport/Perth Child Care Centre	1900 Davenport Rd (Old Weston Rd/Davenport) 416-392-5066	10 Infant 10 Toddler 16 Pre-school Total: 36 licensed spaces	City Operated Subsidy may be available Located in Davenport Perth Community Centre Priority to City of Toronto Employees
CC7	Dufferin - St.Clair Bears Nursery School	95 Regal Rd (Davenport/Dufferin) 416-653-6233	16 Pre-school Total: 16 licensed spaces	No subsidy available Located in Regal Road Public School
CC20	Fairbank Memorial Operated by Learning Enrichment Foundation	555 Harvie Ave (Eglinton/Dufferin) 416-656-8675	32 Pre-school 75 School Age Total: 107 licensed spaces	Subsidy may be available. Located in Fairbank Memorial Public School
CC12	General Mercer Child Care	30 Turnberry Ave (Old Weston/St. Clair) 416-651-3983	24 Pre-school 24 School Age Total: 48 licensed spaces	Subsidy may be available. Located in General Mercer Public School
CC16	George Harvey Operated by Learning Enrichment Foundation	1700 Keele St 416-658-9244	10 Infant 15 Toddler 16 Pre-school Total: 41 licensed spaces	Subsidy may be available. Located in George Harvey Collegiate Institute
CC4	Harmony Child Care	124 Northcliffe Blvd (Dufferin/St. Clair) 416-656-8902	40 Pre-school 30 School Age Total: 70 licensed spaces	No subsidy available Located in St. Clair Catholic School
CC1	Hughes child	177 Caledonia Rd	16 Pre-school	Subsidy may be

Map Code	Name	Address	Capacity	Details
1	Care Centre Operated by Learning Enrichment Foundation	(St. Clair/Caledonia Rd) 416-656-8774	40 School Age Total: 56 licensed spaces	available. Located in Hughes Jr. Public School
CC17	Network Child Care Services - Just Kids Child Care Centre	1695 Keele St (Keele/Rogers) 416-653-9944	15 Toddler 52 Pre-school Total: 67 licensed spaces	Subsidy may be available. Located in York Memorial Church
CC18	Keelesdale Day Care Centre Operated by Learning Enrichment Centre	200 Bicknell Ave (Keele/Eglinton) 416-656-5181	60 Pre-school Total: 60 licensed spaces	Subsidy may be available. Located in Keelesdale Junior Public School
CC15	Macaulay Satellite School Age	1700 Keele St Room 132, (Keele/Eglinton Ave W) 416-653-8322	25 School Age Total: 25 licensed spaces.	Subsidy may be available. Located in George Harvey Collegiate - Room 132
CC13	Macaulay Child Development - Regent Street	48 Regent St (Keele/Rogers) 416-653-8322	10 Toddler 38 Pre-school Total: 48 licensed spaces	Subsidy may be available. Also main site for York South Weston Riding OEYC program. 416-653-3270
CC3	Rawlinson Child Care Centre	40 Earnscliffe Rd (Oakwood/St. Clair W) 416-392-5068	10 Infant 10 Toddler 68 Pre-school Total: 88 licensed spaces	Subsidy may be available. Located in Rawlinson Community School Priority admission to City employees.
CC2	Rawlinson B & A School Program	231 Glenholme Ave 416-769-0830 ext. 2004	30 School Age Total: 30 licensed spaces	Subsidy may be available. Located in Rawlinson Community School
CC1	Romero Bears	99 Humber Blvd	10 Toddler	Subsidy may be

Map Code	Name	Address	Capacity	Details
4	Child Care Centre Operated by the Learning Enrichment Foundation	(Weston/Humber Blvd) 416-769-1174	24 Pre-school Total: 34 licensed spaces	available. Located in Archbishop Romero Catholic School
CC19	Silverthorn B & A School Program	55 Ypres Rd (Keele/Eglinton) 416-394-3124 ext. 20025	30 School age Total: 30 licensed spaces	Subsidy may be available. Located in Silverthorn Junior Public School
CC1	St. Bernadette's Family Resource Centre	20 Bansley Ave 416-397-6300	36 Pre-school 50 School Age Total: 86 licensed spaces	Subsidy may be available. Located in D'Arcy McGee Catholic Elementary School
CC5	St. Chad's Day Nursery	1695 Dufferin St (St. Clair/Dufferin) 416-652-1868	5 Toddler 30 Pre-school 20 School Age Total: 55 licensed spaces.	Subsidy may be available. Located in St Chad's Anglican Church
CC21	St. Matthew Before & After School	18 Lavender Rd. (Rogers/Weston Rd) 416-843-5124	15 School Age Total: 15 licensed spaces 1 vacancy.	Subsidy may be available. Located in St. Matthew Catholic School.
CC22	Sunflower Montessori	582 Oakwood Avenue	10 Toddler 11 Pre-school Total: 21 licensed spaces	No subsidy available

Source: Children Services staff Jan. 2007

Infants (0 – 18 months): 40
 Toddlers (18 months to 2 ½ years): 95
 Preschool (2 ½ to 5 years): 563
 School Age (6 to 10 years): 399
Total Licensed Spaces: 1097

Table 3: Community Centres, Arenas and Pools and other Program Facilities

Map Code	Name & Address	Facilities	Programs
Community Centres			
CR5	Centennial Recreation Centre West 2694 Eglinton Ave. W. 416-395-6040	Community room, crafts room, gymnasium, indoor pool, kitchen, lounge and office space.	Emphasis is on Swimming programs. Other programs offered include Pre-school, camps, sports, fitness and arts and heritage. Programs with wait lists include: Preschool, Sports and Swimming.
CR1	Fairbank Memorial Community Centre 2213 Dufferin St	Outdoor pool (See separate listing under Pools), crafts room, gymnasium, indoor bocce, 3 meeting rooms, 2 multi-purpose rooms, kitchen and office space.	Arts & Heritage, Fitness & Wellness, Pre-school, Sports and camps, Older Adults. Programs with wait lists include: Arts & Heritage, Pre-school, Sports and Camps.
CR3	Harwood Hall 85 Cayuga Ave	Community room, kitchen and office space.	
CR2	Joseph J. Piccininni Community Recreation Centre 1200 Lansdowne Ave.	Community room, 2 crafts rooms, gymnasium, indoor bocce, indoor pool, meeting room, 5 multipurpose rooms, 2 seniors rooms, weight room, kitchen & office space.	Arts & Heritage, Fitness & Wellness, General Interest, Older Adults, Pre-school, Sports, Camps, Swimming. Earls court Youth Centre Mon – Sun evening drop in programs for youth ages 13-24 yrs. Programs with wait lists include: Sports, Swimming.
	Mary McCormick Recreation Centre* 66 Sheridan Ave. <i>* Located outside study area, but some residents register in centre programs</i>	Crafts room, 2 gymnasiums, indoor pool, 3 meeting rooms, multipurpose room, seniors room, sewing room, studio room, weight	Arts & Heritage, clubs, Fitness & Wellness, General Interest, Preschool, Sports, Camps, swimming. Programs with wait lists include: Arts & Heritage, Preschool, Sports, Camps and Swimming.

Map Code	Name & Address	Facilities	Programs
		room, kitchen and office space.	
CR4	Wallace Emerson Community Centre* 1260 Dufferin Street 416-392-0039 <i>*Located just outside study area</i>	Educational/Training room, gymnasium, indoor pool, kitchen, 3 meeting rooms, 2 multipurpose rooms, music room, shop room, weight room, workshop and office space.	Arts & Heritage, Fitness & Wellness, Clubs, Preschool, Sports, Camps, Swimming. Located just outside the study area, this centre attracted 1350 (13.9%) registrations in 2005 from area residents. Programs with wait lists include: Arts & Heritage, Pre-school, Camps and Swimming.
Arenas			
A1	Chris Tonks Arena 2801 Eglinton Ave W	1 pad, change rooms	Skating programs for all ages.
A2	George Bell Arena 25 Ryding Ave.	1 pad, change rooms	
	McCormick Arena* 66 Sheridan Ave. <i>* Located outside study area, but some residents register in centre programs</i>	2 pads, change rooms	
Pools/Rinks			
IP1	Carlton Village North Indoor Pool Carlton Village North Public School 315 Osler St.	Indoor Pool	
OPI	Fairbank Park Outdoor Pool Fairbank Park 40 Keywest Ave	Change rooms, office space (facilities shared with Community Centre)	
IP2	George Harvey Indoor Pool George Harvey Collegiate Institute 1700 Keele St	Indoor Pool	
OP2	Giovanni Caboto Outdoor Pool & Outdoor Rink Earlscourt Park 1369 St. Clair Ave W	2 pads, change rooms (facilities shared with Community Centre)	Skating programs: Child/Youth and Adult

Map Code	Name & Address	Facilities	Programs
IP4	Vaughan Road Academy* <i>* Located outside the study area, but some residents register in facility programs.</i>	Indoor Pool, change rooms	Camps and Swimming. Programs with wait lists include: Swimming.
Other Program Facilities			
	Earlscourt Park St. Clair Ave. We. & Caledonia		4 Sports courses for Child/Youth
	General Mercer Public School 70 Turnberry Ave.	Wading Pool	
	Keelesdale Elementary School 200 Bicknell Ave.		General Interest, Clubs, Preschool and Sports. Programs with wait lists include: General Interest.
	Loretta College South of St. Clair Ave., west of Dufferin St.	Wading Pool	
	Runnymede CI* 569 Jane St. <i>* Located outside study area, but some residents register in facility programs</i>		Arts & Heritage, Fitness & Wellness, General Interest, Leadership, Preschool, Sports, camps and Swimming. Programs with wait lists include: Sports, Swimming.

Source: Parks, Forestry & Recreation. Registration data from 2005; program and facility info updated Jan. 2007

Table 4: Parks and Open Spaces

Parks Map	Park	Size (ha)	Address	Amenities
49K	Greyton Site	0.05	Greyton Cres.	
49K	Charles Brereton Park	0.17	Earlscdale Ave.	Outdoor Bocce Court
49K	St. Hilda's Parkette	0.17	Eglinton Ave W & Vaughan Rd.	
49K	Fairbank Memorial Park	3.53	Dufferin Street & Keywest Ave.	Multi-purpose sports pad, softball diamond, outdoor bocce court, community centre,

Parks Map	Park	Size (ha)	Address	Amenities
				waterplay/spray pad/wading pool, outdoor pool, playground
49J	Bristol Avenue Parkette	0.51	Bristol Ave.	Softball diamond, playground
49J	Bartlett Parkette	0.34	Bartlett Ave.	
48J	Earlscourt Park	12.65	1369 St. Clair Ave. W.	Parks yard, wading pool, outdoor bocce court, soccer field, outdoor pool, washroom and change room, snack bar, softball diamond, public tennis, outdoor hockey rink, indoor bocce court, indoor pool, community centre, lawn bowling club, wading pool, volleyball court, track, playground, outdoor amphitheatre, pathways.
48J	Wadsworth Park	1.40	120 Connolly St.	Soccer field, wading pool, softball diamond, outdoor bocce court, playground
48J	Pelham Avenue Playground	0.21	20 Pelham Ave.	Wading pool, playground
48J	Keele-Mulock Parkette	0.13	Mulock Ave.	Playground
48J	Primrose Avenue Parkette	0.44	120 Primrose Ave.	Wading pool, playground
48J	Beaver-Lightbourn Parkette	0.90	Beaver Ave & Lightbourn Ave.	
48J	Brandon Avenue Parkette	0.53	Brandon Ave. & Dufferin St.	
47J	Runnymede Park	4.49	221 Ryding Ave.	Indoor arena, public tennis, soccer field, outdoor bocce court, washroom and change room, wading pool, softball diamond, playground
48 K	Prospect Cemetery	41.0	Eglinton Ave. to St. Clair Ave., east of Caledonia Rd.	Cemetery
48K	Nairn Park	0.45	Nairn Ave.	Outdoor bocce court, multi-purpose sports pad, playground
48K	Marble Hill Parkette	0.08	Hatherly Rd. & Ennerdale Rd.	Playground
48K	Bert Robinson Park	2.14	Gilbert Ave.	Softball diamond, outdoor bocce court, soccer field, multi-purpose sports pad, storage building, playground
48K	Caledonia/Rogers Parkette	0.08	Rogers Rd. & Caledonia Rd.	
48K	Eglinton-	0.16	Gilbert Ave.	

Parks Map	Park	Size (ha)	Address	Amenities
	Gilbert Parkette			
48K	Eglinton-Venn Parkette (Temporary name)	0.14	Venn Cres.	
48K	Haverson Park	0.33	Haverson Blvd.	Storage building, playground
48K	Regent Park	0.20	Hillary Ave. & Regent St.	Playground
48K	Turnberry North Park	0.09	Algarve Cres.	
48K	Turnberry South Park	0.12	Alehtejo St.	
48K	S.A.D.R.A. Park	1.18	464 Old Weston Rd.	Outdoor bocce, playground, volleyball
48K	St. Clair Gardens	0.20	St. Clair Ave. & East St.	
48K	Hydro Lands	1.46	Union St., 63 Terry Dr.	Allotment gardens on 0.40 hectares at Union St.
47K	Cayuga Park	0.26	Cayuga Ave	Softball diamond, playground
47K	Harwood Park	1.33	Avon Ave.	Softball Diamond, playground
47K	Black Creek Site East	3.70	Rockliffe Blvd.	Outdoor bocce
47K	City of York Stadium	4.38	Avon Ave.	Softball Diamond, Soccer field, multipurpose court
47K	Gaffney Park	1.41	Rockliffe Blvd.	Playground
47K	Henrietta Park	0.26	5 Henrietta St.	Playground
47K	Ontario Hydro Lands	4.17	Woolner Ave / Weston Rd. (63 Terry Dr)	
47K	Keelesdale Park	13.4	Eglinton Ave.W.	Arena, Multi-purpose Sports Pad, Soccer Field, Baseball Diamond
47K	Lavender Creek Recreation Trail	6.79	Terry Dr.	Pathway
47K	Symes/Viella Parkette	0.06	66 Symes Rd.	
47K	Viella/Tarragon a Parkette	0.87	Viella St.	
47K	Weston/Gunns Park	0.31	117 Weston Rd.	

Source: Parks, Forestry & Recreation, Jan. 2007

Table 5: Public Libraries

Map Code	Library/Description	Services/Programs	Type of Facilities
<p>L5</p> <p>Website info; updated: July 16, 2007</p>	<p>Annette Library* 145 Annette St.</p> <p>7806 sq. ft. (726 sq. m.)</p> <p>TTC: #89 Weston Rd. bus or #41 Keele bus from Keele subway station; #30 Lambton bus from High Park subway station.</p> <p><i>* Catchment area includes part of study area, although located outside study area boundaries.</i></p>	<p>Neighbourhood Branch</p> <p>Collection Size: 38.039</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Local History Collection • Adult Literacy Materials • Books on Tape or CC/Audiobooks/Cassette books • Career Information Collection • CD-ROMs- Children • English as a Second Language Materials – Adult • Government Publications • Graphic Books • Language Learning Kits • Large Print Collection • Parenting Collection • French Collections – Adult & Child <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – After hours • Internet workstations (9) • Seating (29) • Word Processing Workstations (2) <p>Programs:</p> <ul style="list-style-type: none"> • RAMP (On-line Teen program) • Leading to Reading • Children’s summer reading club activities • Macaulay Pre-school 	<p>Community Room #1: (1083 sq. ft.)</p> <ul style="list-style-type: none"> • Seating – 60 in lecture style, 24 in classroom style • Equipment includes film projector and screen, chairs, flip chart, tables <p>Community Room #2: (420 sq. ft.)</p> <ul style="list-style-type: none"> • Seating - 20 in lecture style, 18 in classroom style • Rooms and washroom are wheelchair access on the basement level.

Map Code	Library/Description	Services/Programs	Type of Facilities
		Drop-In: Mon., Thurs., Fri. afternoons <ul style="list-style-type: none"> • Pre-school Circle Drop-In: Tues. mornings	
L2 TPL website info, update d July 9, 2007	Dufferin/St. Clair Library 1625 Dufferin St. 8969 sq. ft. (834 sq. m.) TTC: Dufferin bus from Dufferin subway station; streetcars from St. Clair & St. Clair West subway stations. Note: This branch is closed for renovation and expansion project. Re-opening expected in the Summer of 2008.	Neighbourhood Branch Collection Size: 43,246 Collections Available: <ul style="list-style-type: none"> • Local history collection • Books on Tape, Audiobooks, Cassette books • Career information • English as a Second Language Materials – Adult & children • CD-ROMs – Children • Government Publications • Language Learning Kits • Large Print Collection • Parenting Collection • Adult & Children Italian, Portuguese & Spanish Collections Services: <ul style="list-style-type: none"> • Book Drop- after hours • Equipment for people with disabilities • Internet workstations (11) • Large Print terminals/workstations • Seating (40) Programs: <ul style="list-style-type: none"> • RAMP (Teen On-line programs) 	Program Room (797 sq. ft.) <ul style="list-style-type: none"> • Seating – 58 in lecture style, 12 in classroom style • Equipment includes film projector screen • Program room and wheelchair access washrooms on ground floor. Note: Renovation involves redesign of the interior and will include a new program room.

Map Code	Library/Description	Services/Programs	Type of Facilities
		<ul style="list-style-type: none"> • Teen Summer Book & Movie Club • Summer Reading Club • Preschool Storytime • Saturday Preschool • Yorktown Family Services Drop In • English Can Be Fun – children’s summer program • Kids@Computers • Leading to Reading • Adult Literacy program 	
<p>L3</p> <p>TPL Website info as of Jan 16/06</p>	<p>Evelyn Gregory Library 120 Trowell Ave.</p> <p>6200 sq. ft. (577 sq. m.)</p> <p>TTC: Bus #41 from Keele subway station</p> <p>Free parking lot off Trowell Ave.</p>	<p>Neighbourhood Branch.</p> <p>Collection Size: 43,070</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Adult Literacy Materials • Books on Tape or CD/Audio books, Cassette books • DVD’s • English as a Second Language – Adult & Children • Graphic Books • Language Learning Kits • Large Print Collection <p>Services:</p> <ul style="list-style-type: none"> • Book Drop- after hours • Internet workstations (8) • Seating (31) <p>Programs:</p> <ul style="list-style-type: none"> • Pre-school storytime • Summer Reading club 	<p>Auditorium (874 sq. ft.)</p> <ul style="list-style-type: none"> • Seating – 43 in lecture style, 24 in classroom style • Equipment includes chairs, chalkboard, whiteboard, cork board • Screen, tables, VCR, video projector • Located on ground floor • Washroom is not wheelchair accessible

Map Code	Library/Description	Services/Programs	Type of Facilities
		<ul style="list-style-type: none"> • Homework Club • Leading to Reading 	
<p>L1</p> <p>TPL Website info updated July 23, 2007</p>	<p>Maria A. Shchuka District Library 1745 Eglinton Ave. W.</p> <p>25,475 sq. ft. (2,367 sq. m.)</p> <p>TTC: Eglinton bus from Eglinton West subway station</p> <p>Free parking lot off Northcliffe Blvd.</p>	<p>District Branch.</p> <p>Collection size: 101,596</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Adult Literacy Materials • Black & Caribbean Heritage • Books on tape or CD, Audiobooks, Cassette books • CD-ROMs – Adult, Children • DVDs • English as a Second Language Material – Adult & Children • Large Print collection • Parenting Collection • French Collections – Adult & Children • Multilingual collections – Adult & Children <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – after hours • Internet workstations (32) • Le@rning Centre (15 of the workstations) • Seating (130) • Word Processing Workstations (16) <p>Programs:</p> <ul style="list-style-type: none"> • Adult Literacy Program • Programs for Newcomers and ESL Patrons 	<p>Meeting Room A (615 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 60 in lecture style • Equipment includes coffee urns, fridge, overhead projector and screen, tables, video data projector and DVD/VCR <p>Meeting Room B (390 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 35 in lecture style • Equipment includes projection screen, tables <p>Program Room (705 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 80 in lecture style • Equipment includes projection screen and tables <p>Wheelchair accessible washroom on main floor.</p>

Map Code	Library/Description	Services/Programs	Type of Facilities
		<ul style="list-style-type: none"> • RAMP for Teens • Children’s summer reading activities, films. • English Can Be Fun • Homework Clubs • Leading to Reading • Youth Advisory Program 	
<p>L6</p> <p>TPL Website info updated July 23, 2007</p>	<p>Mount Dennis Library* 1123 Weston Rd.</p> <p>11,350 sq. ft. (1,056 sq. m.)</p> <p>TTC: bus 89 from Keele subway station, bus 32B from Eglinton West subway station.</p> <p>Free parking lot off Weston Rd.</p> <p><i>*Catchment area includes part of study area, although located just outside study area boundaries.</i></p>	<p>Neighbourhood Branch.</p> <p>Collection size: 48,106</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Adult Literacy Materials • Books on tape or CD, Audiobooks, Cassette books • CD-ROMs – Adult, Children • English as a Second Language Material – Adult • Large Print collection • Parenting Collection • Adult & children Spanish collection <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – after hours • Internet workstations (8) • Seating (76) • Word Processing Workstations (3) <p>Programs:</p> <ul style="list-style-type: none"> • Family storytime • Summer Reading Club, movies • Program visits for Day Cares 	<p>Auditorium (896 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 50 in lecture style, 24 in classroom style • Equipment includes coffee urn, tables, video projector • Auditorium on lower level, wheelchair accessible washroom on main floor.

Map Code	Library/Description	Services/Programs	Type of Facilities
		<ul style="list-style-type: none"> • No adult or older adult programs • English Can Be fun • Leading to Reading • Youth Advisory Program • User Education Programs 	
<p>L7</p> <p>TPL Website info updated July 23, 2007</p>	<p>Oakwood Village Library and Arts Centre* 341 Oakwood Ave.</p> <p>17,270 sq. ft. (1606 sq. m.)</p> <p>TTC: Bus 161 or 63 from Ossington subway station, and 63 from Eglinton West subway station</p> <p><i>*Catchment area includes part of study area, although located just outside study area boundaries.</i></p>	<p>Neighbourhood Branch.</p> <p>Collection size: 40,328</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Books on Tape or CD, Audiobooks, Cassette books • CD-ROMs – Adult, Children • English as a Second Language Material – Adult, Children • Large Print collection • Graphic Books • Adult and children Tagalog print collection <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – after hours • Exhibit/Art Gallery • Internet workstations (9) • Seating (50) • Word Processing Stations (2) <p>Programs:</p> <ul style="list-style-type: none"> • No adult or older adult programs • Day Care Storytime • Weekly Storytime Drop In 	<p>Theatre (2640 sq. ft.):</p> <ul style="list-style-type: none"> • Seating – 120 in lecture style, 72 in classroom style • Equipment includes chairs, piano, tables <p>Kitchen:</p> <ul style="list-style-type: none"> • Equipment includes microwave, refrigerator and sink <p>Theatre is on lower level with part of floor a sprung dance floor/stage, wheelchair access</p>

Map Code	Library/Description	Services/Programs	Type of Facilities
		<ul style="list-style-type: none"> • Bi-weekly summer family movies • Homework Club • Leading to Reading 	
<p>L4</p> <p>TPL Website info updated Jan 8, 2007</p>	<p>St. Clair Silverthorn Library 1748 St. Clair Ave. W. 4,587 sq. ft. (427 sq. m.)</p> <p>TTC: streetcar 512 from St. Clair or St. Clair West subway stations, or bus 168 Symington from Dundas West subway station</p>	<p>Neighbourhood Branch.</p> <p>Collection Size: 19,820</p> <p>Collections Available:</p> <ul style="list-style-type: none"> • Local History Collection • Adult Literacy Materials • Books on Tape or CD, Audiobooks, Cassette books • English as a Second Language Material – Adult • Language Learning Kits <p>Services:</p> <ul style="list-style-type: none"> • Book Drop – after hours • Equipment for people with disabilities • Internet workstations (5) • Seating (15) • Word Processing (2=1 adult, 1 child) <p>Programs:</p> <ul style="list-style-type: none"> • No adult or older adult programs • Summer weekly children’s activities and summer reading club activities • Homework club 	<p>Program Room (357 sq. ft.):</p> <ul style="list-style-type: none"> • Seating- 35 in lecture style, 34 in classroom style • Equipment includes tables • Room is located on the second floor, access by stairs only.

Source: TPL Website. Updated info as indicated.

Table 6: Places of Worship

Map Code	Name	Address	Availability of Space/Rooms to Local Community
PW49	ANJUMAN-E-ISLAHUL-MUSLEMIN	277 Scott Rd	
PW17	APOSTOLIC CHRISTIAN CHURCH	274 Weston Rd	
PW60	BIBLEWAY PENTECOSTAL CHURCH	33 Mc Cormack St	
PW38	BOON AVE BAPTIST CHURCH	11 Boon Ave	
PW18	CANADIAN HINDU SATSANG ORG.	1871 Davenport Rd	
PW40	CARISMA CHURCH	236 Nairn Ave	
PW28	CELESTIAL CHURCH OF CHRIST	1870 St Clair Ave W	
PW35	CHURCH OF STE NICOLA DI BARI	1277 St Clair Ave W	
PW41	CHURCH OF UNITED BRETHREN	48 Bloem Ave	
PW27	COLLEGE ST. CHURCH OF GOD	1780 St Clair Ave W	
PW58	DAVENPORT RD. GOSPEL HALL	223 Chambers Ave	
PW42	ENNERDALE ROAD BAPTIST CHURCH	228 Ennerdale Rd	
PW56	ETHIOPIAN CANADIAN MUSLIM	171 McCormack St	
PW51	EVENING LIGHT CHURCH OF GOD	1695 Keele St	
PW44	FAIRBANK GOSPEL HALL	119 Ennerdale Rd	
PW50	FIRST CHURCH OF GOD	1947 Keele St	
PW36	HUNGARIAN UNITED CHURCH	73 Mackay Ave	
PW12	IGREJA VIDA NOVA	2365 St Clair Ave W	
PW26	INTERNATIONAL PENTECOSTAL	1764 St Clair Ave W	
PW37	JANE ST CHURCH OF GOD	238 Rosemount Ave	
PW2	KINGDOM HALL OF JEHOVAH'S WI	402 Oakwood Ave	

Map Code	Name	Address	Availability of Space/Rooms to Local Community
PW13	LA LUZ DE CRISTO PENTECOSTAL	325 Weston Rd	
PW16	MEDHANIE CHURCH	325 Weston Rd	
PW43	MIRACLE LIFE CHRISTIAN FELLO	2350 Dufferin St	
PW33	MISSION CHRISTIANA TORONTO	15 Brandon Ave	
PW3	MOUNT ZION APOSTOLIC CHURCH	106 Holland Park Ave	
PW31	MY FATHERS HOUSE	24 Innes Ave	
PW19	NEWBORN CHURCH OF GOD	2061 Davenport Rd	
PW11	NEWHOPE TABERNACLE	2431 St Clair Ave W	
PW32	OAKWOOD WESLEYAN CHURCH	33 Brandon Ave	
PW48	OPEN DOOR PENTECOSTAL CHURCH	332 Silverthorn Ave	
PW54	OUR LADY OF GUADELUPE CHURCH	694 Weston Rd	
PW39	PATTERSON PRESBYTERIAN CHURC	115 Harvie Ave	
PW52	PRESBYTHERIAN CHURCH	1695 Keele St	
PW15	PRIMERA IGIESIA	325 Weston Rd	
PW45	PROSPECT CEMETERY	250 Rogers Rd	
PW53	REDEEMERS VICTORY CHURCH	700 Weston Rd	
PW21	ROMAN CATHOLIC EPISCOPAL	1 Gillespie Ave	
PW47	ROMANIAN ORTHODOX CHURCH	247 Rosethorn Ave	
PW59	SMILE BACK MINISTRIES	2547-2549 Eglinton Ave W	
PW6	ST CHADS ANGLICAN CHURCH	1695 Dufferin St	
PW7	ST CLARE'S R C CHURCH	1118 St Clair Ave W	
PW1	ST HILDA'S ANGLICAN CHURCH	2353 Dufferin St	

Map Code	Name	Address	Availability of Space/Rooms to Local Community
PW5	ST JOHN BOSCO CHURCH	402 Westmount Ave	
PW22	ST JOHN THE BELOVED	1683 St Clair Ave W	
PW8	ST MARY OF THE ANGELS CHURCH	1479 Dufferin St	
PW57	ST MATTHEW'S CHURCH	708 Old Weston Rd	
PW9	ST NEKTARIOC GREEK ORTHODOX	1223 Davenport Rd	
PW34	ST PAULS LUTHERN CHURCH	1424 Davenport Rd	
PW24	ST. MARK & CALVARY CHURCH	21 Blackthorn Ave	
PW23	ST. MICHAEL CHURCH	1384 St Clair Ave W	
PW29	THE MOUNT ROCK HALIBETH ZION	1870 St Clair Ave W	
PW4	THE NEW JERUSALEM CHURCH	312 Oakwood Ave	
PW46	THE TORONTO SPANISH CHURCH	523 Rogers Rd	
PW30	TORONTO HERITAGE SEVENTH DAY	24 Innes Ave	
PW10	TORONTO KOREAN PRESBYTERIAN	1183 Davenport Rd	
PW55	VAN HANH VIETNAMESE BUDDHIST	338 Weston Rd	
PW14	YORK CHURCH OF GOD	325 Weston Rd	
PW20	ZION APOSTOLIC CHURCH	65 Ford St	
PW25	ZION SACRED HEART CHRISTIAN	1708 St Clair Ave W	

Source: Policy & Research Section

Table 7: Human Services Inventory Table (locations as shown on Map C)

Ma Cod	Service Provider	Type of Service	User Groups
	Child Care Services		
A18	Macaulay Child Development Centre. Main Office 2010 Eglinton Ave W., Ste 400 M6E 2K3 (416) 789-7441 www.macaulaycentre.org	Child care and family support agency. See also Child Care Centres for child care programs in the area.	Parents, caregivers and children birth-6 years, including children with developmental delays and other special needs
A23	Macaulay Child Development Centre. Junction Caregiver Resources 145 Annette Street	Parent and child programs; parenting support; special libraries; toy libraries.	Parents, caregivers and children birth-6 years, including children with developmental delays and other special needs
A2	St Bernadette's Family Resource Centre Program offered at 20 Bansley Avenue (Head Office: 23 McAdam Ave.* M6A 1S4 (416) 654-9810 Contact: Angie Carboni, Executive Director) <i>*Head Office located outside study area</i>	Breakfast & after-school programs, Parent Relief preschool program, March Break and summer day camp programs offered at D'Arcy McGee Catholic School; See also Child Care Centers for St. Bernadette's child care program.	City of Toronto * primarily former cities of Toronto and York
	Seniors Services		
A1	York Fairbank Centre for Seniors 2213 Dufferin St M6E 3S2 (416) 651-8300 Contact: Lisa Tobio, Executive Director	Elderly persons centre with social, recreation and education programs, Italian men's group - card room and Bocce; Italian, Portuguese and Spanish-speaking women's groups, congregate dining, foot clinic.	Seniors 55 years and over Membership fee \$25/yr

Ma Cod	Service Provider	Type of Service	User Groups
A22	Salvation Army. Services to Seniors. West Toronto Corps* 343 Keele St (416) 763-1021 www.salvationarmy.ca <i>* Located just outside study area</i>	Recreation; Seniors ;	Seniors
A26	Salvation Army. Services to Seniors. York Temple Corps* 1100 Weston Rd (416) 766-1361 <i>*Located just outside study area</i>	Recreation; Seniors ;	Seniors
A24	The Syme 55+ Centre George S Syme Seniors Centre of York* 33 Pritchard Ave. Toronto ON M6N 1T4 416-766-0388 <i>*Located just outside study area</i>	Social, recreation and education programs, drop-in clinics, congregate dining, wellness and support services.	Seniors 55 and over and adults with disabilities
A17	St. Clair West Services for Seniors 2562 Eglinton Ave. W Toronto ON M6E 2H4 Contact: Andrea White Assistant Executive director 416-787-2114	Adult day programs Home support services, Meals on Wheels, caregiver relief Older adult centre	Seniors 55 and over, adults with disabilities, convalescents Former City of York
Health Services			
A19	Child Development Institute. St Clair Gardens Site 46 St Clair Gdns (416) 654-8981 Main Office: 197 Euclid Ave. Contact: Kenneth Goldberg, Executive Director 416-603-6655	Community-based children's mental health programs; day programs, evening groups, residential care.	Children under 12 years exhibiting disruptive or antisocial behaviour

Ma Cod	Service Provider	Type of Service	User Groups
	www.childdevelop.ca		
	Etobicoke and York Community Care Access Centre* 401 The West Mall, Ste 1001 Etobicoke ON M9C 5J5 416-626-2222 <i>*Located outside study area</i>	Access centre for in-home health and social services, placement in long term care homes, information and referral for related community services	Residents of Etobicoke and former City of York with OHIP
	Counselling Services		
A4	Yorktown Child and Family Centre 21 Ascot Ave, 1st Fl M6E 1E6 Karen Engel, Exec Dir. 416-394-2424	Children’s mental health centre, a service of Yorktown Family Services. Community Parent Education Program (COPE) offered in English and Spanish. Toronto Preschool Speech and Language Services; program for immigrant youth and parents; family support and education program for Somali community; Ontario Early Years parent child drop-in. Supporting Young Families program for pregnant and parenting teens offered one night a week at York Community Services, 1651 Keele St.	Children & youth to 18 years and their families or caregivers Former City of York, west Toronto for some programs Children and youth and their families or caregivers, teen mothers, Somali community
A5	Delisle Youth Services. Day Program 21 Ascot Ave M6E 1E6 416-934-1103	Counselling, day programs	Youth unable to function in school system or workplace
A6	West End Walk-in Counselling Centre 21 Ascot Ave, 1st Fl M6E 1E6 Sharna Cohen, Coordinator 416-394-2424 ext. 34	Program of Yorktown Family Services. Anger management, depression, family counseling	Parents, families, children, youth No geographic catchment area
	Employment/Training		
A20	Humber College Institute of Technology and Advanced Learning. Government and Community Relations	Job search centre, job search assistance service, job search and computer skills workshops	City of Toronto

Ma Cod	Service Provider	Type of Service	User Groups
	1345 St Clair Ave W, 2nd Fl M6E 1C3 <ul style="list-style-type: none"> • St Clair West Employment Resource Centre 416-654-5566 • Centre for Experienced Workers 416-654-4700 		
A7	Learning Enrichment Foundation. Career Exploration Centre 1278 St Clair Ave W, Unit 8 and 9 (west of Dufferin) Contact: Luis Vasquez, Counsellor 416-656-0444	Two week program career workshops	Toronto west location EI Recipients, or individuals with maternity or parental benefits within past 5 years
A25	Toronto. Social Services Division. York/Humber Social Services 605 Rogers Rd M6M 1B9 416-392-6200 Contact: Judith Kaufman, Community & Labour Market Manager	Ontario Works Program, employment supports and financial assistance	West Toronto: postal code areas M6H, M6M, M6N Youth and adults 18 years and over in financial need, and employable youth 16 & 17
Multi-Service Agencies			
A15 & A14	York Community Services 1651 Keele St (416) 653-5400 Contact: Thom Burger Executive Director	Community health centre including dental clinic. Also, legal clinic, tax clinic, community support programs, e.g., ESL classes, prenatal drop in, parent and child drop in, and support groups, community kitchen and community garden, health promotion, home support services, social services provided by other agencies, housing assistance.	Former City of York All ages; focus on families at risk, pregnant teens and teen parents, frail seniors, newcomers, refugees and immigrants, people with mental health issues, and adults with developmental disabilities
A21	Davenport Perth Neighbourhood Centre 1900 Davenport Rd (416) 656-8025	Multi-service community centre, including health centre and neighbourhood programs, volunteer skills development opportunities	Toronto Community Council northern limits- Bloor St W; Ossington Ave/Alberta Ave-CN/CP

Ma Cod	Service Provider	Type of Service	User Groups
	<p>Contact: Keith McNair, Executive Director</p>	<p>Drop in for socially isolated adults; children's (6-12) camps, community dining; medical and nursing service; OEY Centre – Davenport; Seniors program (55 & over) including social, education and recreation activities; Italian women's, and Portuguese women's groups, Spanish-speaking group; Counselling and settlement services; youth program (11-24) activities and leadership training; job search workshop program for new immigrants and Convention refugees.</p> <p>Community Action Resource Centre – Davenport site Contact Carola Cuadra, Community Programs Worker 416-654-0299 Community information and referral, counseling, settlement services</p> <p>Toronto Adult Literacy for Action Centre Drop-in literacy, numeracy & computer training</p>	<p>tracks</p>
<p>A27</p>	<p>Learning Enrichment Foundation* 116 Industry Street (Weston Rd/Eglinton Ave W) 416-769-0830 or 416-769-9575</p> <p><i>*Located outside study area</i></p>	<p>Head office is located outside study area. Skill/job training, counseling, recruitment service for local employers, language instruction for newcomers, with nursery for children; operates several child care centres, and B&A school programs at various locations within the study area, preparation of meals for agencies serving the homeless, Wed. soup lunch. Partnerships with others organizations e.g., Second harvest, OCASI (immigrant service), York Early Years (child care), The Court's Diversionary Program (disadvantaged youth),</p>	<p>Focus on children, youth, and new immigrants. Area of former City of York, although some participants come from elsewhere in GTA.</p>

Ma Cod	Service Provider	Type of Service	User Groups
		Pardons Canada (ex-convicts)	
	Other Programs/Services		
A8	The Stop Community Food Centre 1884 Davenport Rd, Rear Entrance M6N 4Y2 Mailing Address: Stn E, Box 69 M6H 4E1 416-652-7867	Community food centre, drop –in program, community dining, food bank, community gardening at Earls court Park and the Davenport-Perth Neighbourhood Centre, community kitchens, pre- and postnatal nutrition and family support, food box distribution, information and referral. Will be expanding in 2008 with a new location at Green/Arts Barns, near Christie and St. Clair.	Most programs and services are for residents in their service area: St. Clair to Bloor, Dovercourt to Keele.
A9	Islamic Social Services and Resources Association 2375 St Clair Ave W M6N 1K9 416-767-1531 Contact: Fatimah Faghihi, Counsellor	Information & referral, counselling, homework clubs, seniors programs, summer day camps, community education	Open to anyone but focus is Muslim community in GTA
A10	Community Action Resource Centre 1652 Keele Street Toronto ON M6M 3W3 416-652-2273 Contact: Peggy Liendo and Marilia Lana, Community Service Workers Also, Devenport site at 1884 Davenport Rd., Unit 1 (near Lansdowne)	Information and referral, tax clinic, free internet access, outreach to Portuguese-speaking community, newcomer settlement program for Eritrean and Somali communities, sign-up for Metro Voice Mail Project	Former City of York
A11	Community Social Planning Council of Toronto York/West Toronto Office 1652 Keele Street M6M 3W3 416-652-9772 Contact: Yasmin Khan, Community Planner	Facilitates active citizen involvement in analysis of social issues; community education, research, works with community groups to enhance quality of life and build community capacity.	Former City of York and part of former City of Toronto
A3	Art Starts Neighbourhood Cultural Centre 324 Oakwood Ave	Storefront arts facility	Programs for children, youth, adults

Ma Cod	Service Provider	Type of Service	User Groups
	M6E 2V7 416-656-9994 Contact: Tamara Steinberg, General Manager		
A12	For Youth Initiative 1652 Keele Street M6M 3W3 416-653-3311 Contact: Kristie Wright, Director of Community Engagement	By youth for youth agency Program areas include life skills, recreation, community development, mentorship, cultural and artistic productions, some programs for young women only	Youth 13 – 25 years
A13	York Hispanic Centre 1652 Keele Street M6M 3W3 416-651-9166 Contact: Alejandro Segura, Program Manager	Settlement services, information & referral, counselling, translation and interpretation, legal clinic, job search skills, employment counselling and workshops	Special focus on Spanish- speaking communities; Hispanic or Latin American cultural backgrounds
A16	Somali Immigrant Women's Association (SIWA) 1652 Keele Street M6M 3W3 416-656-7492	Settlement services and counselling, life skills workshops, parent and child drop- in program, homework club, job search internet access.	Somali women and children

Sources: Policy & Research Section, www.211Toronto.ca, agency websites, and interviews with some agency staff. Information obtained in 2006 & 2007.

Appendix V

St. Clair Ave W – Glenholme to Keele Study Area 2006 Demographic Data Notes, Summary and Highlights

Data Notes

3. Population Data – The Undercount

Although Statistics Canada makes a great effort to count every person, some people are missed in each Census. Statistics Canada takes this into account and estimates an ‘undercoverage’ rate for the urban region (CMA) every Census, but not for the City, which will be released in the fall of 2008.

The 2006 Census counted an unexpectedly high number of unoccupied dwelling units. This leads City staff to suspect that the Census may have missed more households than usual.

4. Structure Type – Probable Data Problem

The 2006 data shows large changes in various dwelling structures. For example, the number of single and semi-detached dwellings fell by 55,600, whereas the number of duplexes and apartment units in buildings under 5 storeys increased by 66,400. Please note that this data may not reflect actual construction and demolition patterns, thus the data must be analyzed with caution.

Summary

The St. Clair Avenue Glenholme to Keele study area is bounded roughly by Runnymede in the west, Oakwood in the East, Eglinton to the north and the CPR rail tracks just north of Dupont to the south.

In 2006 there were 34,576 people living in the St. Clair Avenue study area. Between 2001 and 2006, the population fell by 0.6% or by 205 persons, from 34,371 in 2001 to where it stands today. The City as a whole experienced a slight increase of less than 1% during this period. Caution: See Data Notes above.

Although the age distribution of the study area does not differ significantly from the City, St. Clair Avenue study area has slightly more youth between 10 and 19 years of age compared to the City as a whole. In addition, there is a lower percentage of seniors over 65 living in the study area than in the City as a whole.

St. Clair has 12,410 private households consisting of 9,595 families (7,350 couples/2,230 lone-parents) and 3,450 non-family households. The area also has relatively more one-family households and fewer non-families. The average number of persons in private households is slightly higher in the study area compared to the City.

The St. Clair housing stock is aging. Almost half of the dwellings were built before 1946 and another 20% were built in the post war years between 1946 and 1960. Compared to Toronto, the study area has a higher proportion of low rise apartment buildings and semi detached homes and significantly fewer high-rises.

St. Clair has a higher percentage of immigrants, however a lower incidence of recent immigrants. This is reflected in home language where although 'English' was the most frequently reported language, Portuguese was the next most spoken language at 16% compared to the next spoken language for the City overall, Chinese at 4%. Furthermore, the proportion of the population who moved into the study area in the 5 years following the 2001 Census fell below the City's average

Fewer St. Clair residents hold university degrees or certificates. Both average economic family and household income levels fell below the City's average. This lower income level is reflected in the type of employment residents are most often employed. The top three occupations for St. Clair residents are in Sales and Service; Trades, Transport and Equipment Operators and Related Occupations; and in Business, Finance and Administration. The top 3 industries are Construction, Manufacturing and Retail Trade.

Highlights

Population

- Population grew by less than 1% between 2001 and 2006 (caution – see data notes)
- Comparable number of children less than 10 (11% St. Clair /11% City)
- Comparable number of children between 10 to 19 (12% St. Clair /12% City)
- Slightly more adult residents aged between 20 and 54 (56% St. Clair /53% City)

Families

- Overall, percentage of couple families is slightly lower than the City (77% St. Clair / 80%)
- The percentage of lone parents is slightly higher than the City (23% St. Clair / 20% City)
- The average number of children at home per census family is same as the City (1.2%)

Seniors

- More proportion of family persons 65 years of age or older (72% St. Clair /64% City)
- Fewer Seniors live alone (17% St. Clair/27% City)

Households

- More one-family households (67% St. Clair /62% City)
- Less non-family households (28% St. Clair /35% City)

Tenure

- More owners than renters (65% owners St. Clair /54% City)

Immigration

- Slightly more immigrants (54% St. Clair /50% City)
- Fewer recent immigrants, 2001-2006 (11% St. Clair/22% City)
- Place of origin of recent immigrants primarily: Southern Europe excl. Italy (18%), South America (15%), China (11%), Philippines (10%), Central America (7.5%)

Generation status

- 66% of population 15 years or older are 1st generation status versus 59% for the City
- 24% of population 15 years or older are 2nd generation status versus 20% for the City
- 10% of population 15 years or older are 3rd generation status versus 21% for the City

Language

- Fewer residents reported English as home language (59% St. Clair /67% City). After English, Portuguese is spoken most in the home, compared to Chinese in the City (Portuguese 15.5% St. Clair / Chinese 3.5% City)

Education

- Less proportion of population with university certificate or degree (18% St. Clair /37% City)

Mobility

- Over a 5 year period, residents moved less than the city over all. Non-movers outnumbered movers (62% St. Clair /55% City)

Income

- Average household income is lower than the City (\$60,120 St. Clair /\$80,343 City)

Labour Force

- Similar unemployment rate (7.4% St. Clair /7.6% City)

Data Source: Statistics Canada, 2006 Census
Prepared by: Toronto, City Planning Division, Research and Information,
August 2008

Attachment 8: St. Clair Avenue West Action Plan

1. City Planning staff to apply the Urban Design Guidelines in evaluating development applications and to guide recommendations regarding streetscape improvements in the area.
2. City Planning and Transportation Services to encourage all new developments to incorporate a rear lane, where one does not currently exist.
3. City Planning staff and the Toronto Parking Authority to consider incorporating potential public parking opportunities in association with new developments.
4. Heritage Preservation Services staff to review the properties identified in the consultant reports as having historical significance and report back on whether these properties should be listed or designated.
5. Transportation Services and Technical Services staff to consult with TTC, City Planning and Economic Development when a workplan is being developed for scheduled improvements to the right-of-way within the study area to determine and coordinate streetscape improvements.
6. City Council forward this report to the Public Works and Infrastructure and Parks and Environment Committees for information purposes.
7. City Council request Toronto Water staff to investigate the sewer capacity within the study area to determine the availability of capacity and identify any infrastructure improvements which may be necessary to support the proposed intensification of this area and report back on any capacity issues.
8. City Council request staff from Technical Services and Parks, Recreation and Forestry and Transportation Services, in consultation with the Ward Councillor to examine the feasibility of creating a tree-lined promenade on the west side of Wychwood Avenue from St. Clair Avenue West to Tyrrel Avenue as recommended in the consultant Final Report (Brook McIlroy Planning + Urban Design/Pace Architects, dated December 2007, page 28) and to report back to the Toronto and East York Community Council;
9. City Council request Parks, Recreation and Forestry staff, in consultation with the Ward Councillors, the TTC and City Planning to investigate and report back to their respective Community Councils, on future locations and opportunities for additional tree plantings within the study area in order to maximize the number of trees along St. Clair Avenue West.
10. City Council request Parks, Forestry and Recreation staff and in consultation with the Ward Councillor to investigate improvements to Earls court Park and the J.J. Piccininni Community Centre as recommended in the consultant Final Report

(Office for Urbanism, dated August 2008), and to report back to the Etobicoke York Community Council.

11. City Council request Transportation Services and the Co-ordinated Street Furniture Program to consider St. Clair Avenue West as a priority area for the placement of Street furniture in Wards 17 and 21.
12. City Council request Economic Development, Culture and Tourism to examine the feasibility as well as any future opportunities for transforming the rail overpasses into compelling art installations to serve as gateways into the area and to report back to the Etobicoke York Community Council.
13. City Council request Economic Development, Culture and Tourism to examine the feasibility of expanding either the number or geographic catchment areas of the existing Business Improvement Associations in the study area and to report back to the respective Community Councils on this matter.