

## Sign Variance - 751 King St W

<b>Date:</b>	December 8, 2008
<b>To:</b>	Toronto and East York Community Council
<b>From:</b>	Director, Toronto Building, Toronto and East York District
<b>Wards:</b>	Ward 19 – Trinity-Spadina
<b>Reference Number:</b>	2008TE044

### SUMMARY

This staff report is about a matter for which the Community Council has delegated authority from City Council to make a final decision.

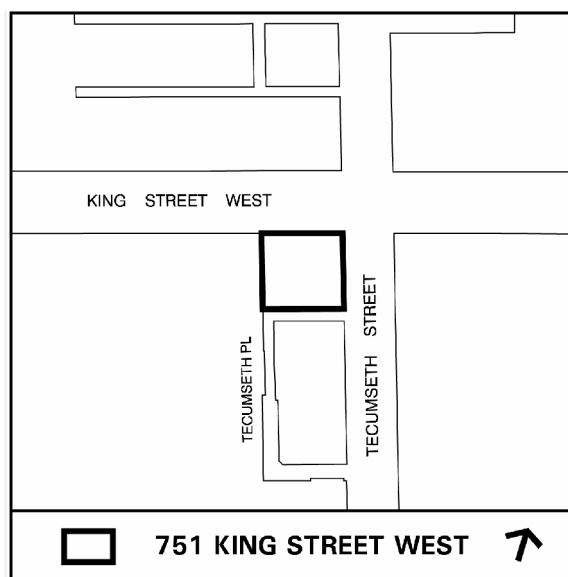
This report reviews and makes recommendations on a request by Kyla Schaefer of Minto Urban Communities Inc. on behalf of Minto 755 King Inc. for approval of variances from Chapter 297, Signs, of the former City of Toronto Municipal Code to maintain, for identification purposes, three set of lettering with a total area of 31.88m<sup>2</sup> on the plywood hoarding, an illuminated ground sign, three illuminated fascia signs on the north elevation, two illuminated fascia signs on the east elevation, one illuminated fascia sign and one canopy sign on the west elevation of the sales centre building at 751 King Street West.

Staff recommends approval of the application on condition that the signs are approved on condition. The variances are minor and within the general intent and purpose of the Municipal Code.

### RECOMMENDATIONS

**The Toronto Building Division recommends that:**

1. Toronto and East York Community Council approve the requested



- variance to permit, for identification purposes, three set of lettering with a total area of 31.88m<sup>2</sup> on the plywood hoarding, an illuminated ground sign, three illuminated fascia signs on the north elevation, two illuminated fascia signs on the east elevation, one illuminated fascia sign and one canopy sign on the west elevation of the sales centre at 751 King Street West, on condition that the signs are permitted for a period of only one year from the date of approval by the Toronto and East York Community Council; and
2. Toronto and East York Community Council direct the City Clerk's Office to advise the applicant, upon approval of variances, of the requirement to obtain the necessary sign permits from the Chief Building Official.

### Financial Impact

The recommendations in this report have no financial impact.

### ISSUE BACKGROUND

The property is located at the southwest corner of King Street West and Tecumseth Street in a CR zone. Minto Urban Communities Inc. intends to build a multi-storey high rise residential condominium building on this site. The property contains a single storey sales centre on the site. The applicant is requesting permission to maintain existing temporary signs, for the purpose of marketing the sale of residential units in the proposed building. The existing temporary sign are as follows: three set of lettering with a total area of 31.88m<sup>2</sup> on the plywood hoarding which separates the sales centre and the parking lot from rest of the site, an illuminated ground sign, three illuminated fascia signs on the north elevation, two illuminated fascia signs on the east elevation, one illuminated fascia sign and one canopy sign on the west elevation of the sales centre at 751 King Street West (see attached graphics for the location and sizes of signs). The applicant is seeking permission to maintain these signs for a period of one year from the date of approval by the Toronto and East York Community Council.

The signs do not comply with Chapter 297, Signs, of the former City of Toronto Municipal Code in the following ways:

Sign By-law Section and Requirements	Applicant's Proposal	Required Variance
1. Chapter 297-10 D	The three set of lettering with a total area of 31.88m <sup>2</sup> are located on the plywood hoarding which separates the sales centre and parking lot from rest of the site.	The sign is not a permitted type sign.
2. Chapter 297-10 D (8)	The illuminated ground sign is set back 0.0m from the property line.	The 0.0m sign set back is 2.0m less than the required 2.0m set back from the property line.
3. Chapter 297-10 D (5)	The illuminated Digital Tree fascia sign on the north elevation has an area about 43%	The area of sign equal to 43% of the

	<p>of the building face.</p> <p>The illuminated Digital Tree fascia sign on the north elevation has an area of 49.75m<sup>2</sup></p>	<p>building face exceeds by 13%, the maximum permitted 30% of the building face at the first floor level.</p> <p>The 49.75m<sup>2</sup> sign area on the north elevation exceeds by 24.75m<sup>2</sup>, the maximum permitted 25.0m<sup>2</sup> sign area.</p>
4. Chapter 297-10 D (5)	<p>The illuminated Digital Tree fascia sign on the east elevation has an area about 40% of the building face.</p> <p>The illuminated Digital Tree fascia sign on the east elevation has an area of 47.94m<sup>2</sup></p> <p>The illuminated fascia sign is located 4.8m from a lot in R zone.</p>	<p>The area of sign equal to 40% of the building face exceeds by 10%, the maximum permitted 30% of the building face at the first floor level.</p> <p>The 47.94m<sup>2</sup> sign area on the east elevation exceeds by 22.94m<sup>2</sup>, the maximum permitted 25.0m<sup>2</sup> sign area.</p> <p>The 4.8m separation distance of an illuminated sign located on the east elevation from a lot in R zone, which is 15.2m less than the required distance of 20.0m.</p>

## COMMENTS

The first variance is technical in nature and therefore it is acceptable. The three sets of lettering on a hoarding board is not permitted because it is not a defined type sign in the By-law. The sign looks like a fascia sign except that it does not meet the definition of a fascia sign. A fascia sign is required to be fully attached against the wall of a building, where as in this case, the three set of letterings are directly attached to the plywood hoarding that separates the sales centre and parking lot from rest of the site.

With regards to the second variance, the 2.0m set back requirement is aimed at ensuring that, where possible, commercial streetscapes and view corridors are preserved and enhanced and sight lines for motorists and pedestrians are improved. In this instance the

applicant installed the sign as close as possible to the property line, to ensure that it is visible to motorist and pedestrians while not blocking the view corridors or sight lines.

With regards to the third and fourth variances, the 49.75m<sup>2</sup> sign on the north elevation exceeds by 24.75m<sup>2</sup> the maximum permitted 25m<sup>2</sup> sign area and the 47.94m<sup>2</sup> sign on the east elevation exceeds by 22.94m<sup>2</sup>, the maximum permitted 25.0m<sup>2</sup> sign area. The first party signs located at the first floor are permitted to have a sign area of not to exceed 30% of the building face at the first floor level. In this case, the area of the sign on the north elevation exceeds the maximum permitted area by 13% and the area of sign on the east elevation exceeds the maximum permitted area by 10%.

The illuminated fascia sign on the east elevation is located 4.8m from a lot in R zone, whereas the By-law requires an illuminated signs to have separation distance of 20.0m from a lot in R Zone. In order to mitigate any concerns from illumination of signs, as a condition of approval, the applicant be required to the turn off the signs from 10:00 p.m. to 7:00 a.m. by means of an automated timing device.

Although, the signs in this case do not meet the By-law requirements, the signs are designed well and they are temporary, for a period of only one year from the date of approval by the Toronto and East York Community Council. It is staff's opinion that the signs at this location are designed, sized and positioned to complement the sales centre, property, surrounding uses and the streetscape.

Staff recommends approval of the application on condition that the signs are approved for a period of one year from the date of approval by the Toronto and East York Community Council and the signs are turned off from 10:00 p.m. to 7:00 am. by means of an automated timing device. The variances are minor and within the general intent and purpose of the Municipal Code.

## **CONTACT**

Norm Girdhar, Assistant Planner, Tel. No.416-392-7209, Fax No.416-392-7536  
E-mail: ngirdhar@toronto.ca

## **SIGNATURE**

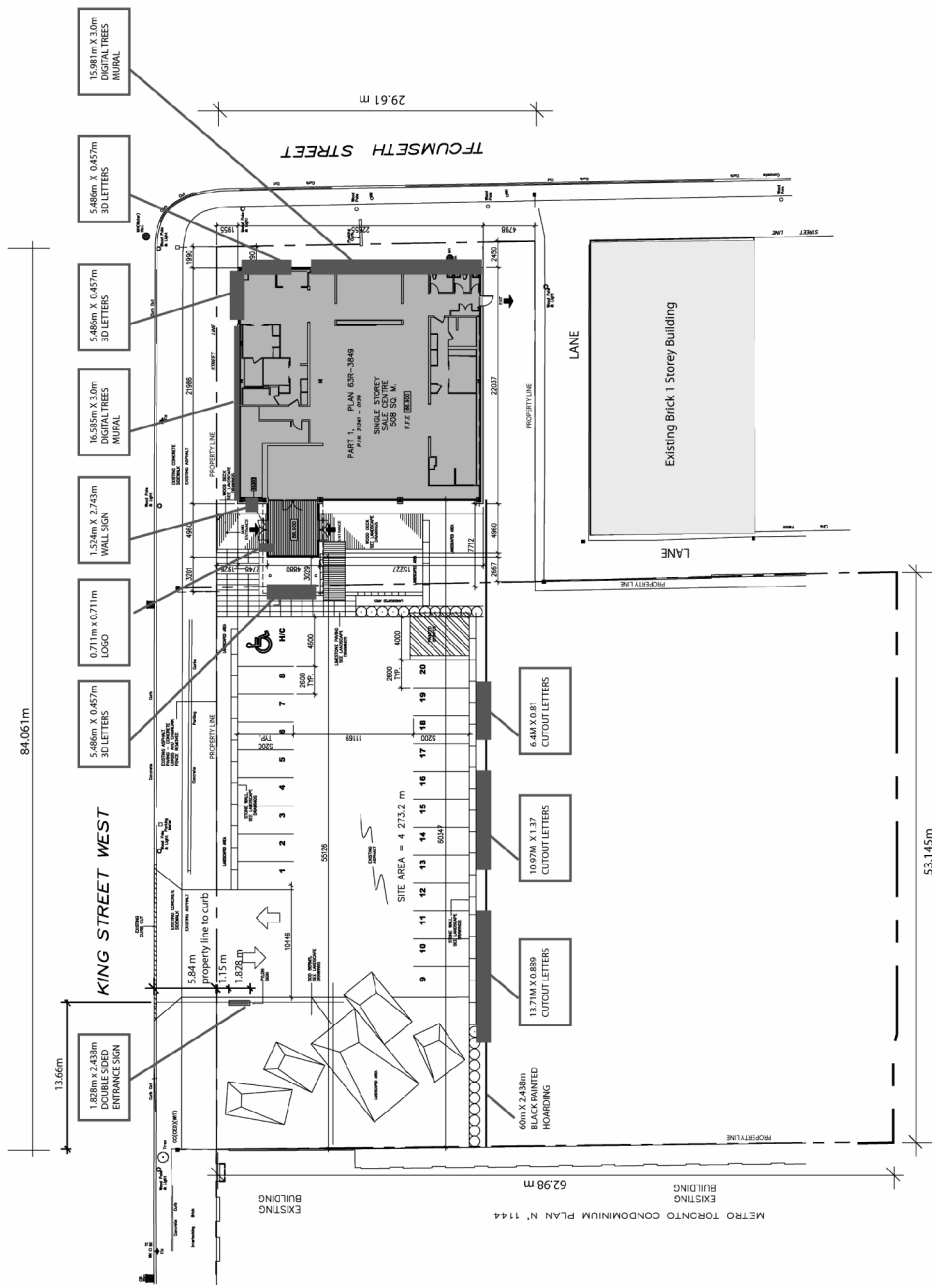
---

Mario Angelucci, Acting Director, Toronto Building  
Toronto and East York District

## **ATTACHMENTS**

Attachment 1: Sign Location  
Attachment 2: Elevation  
Attachment 3: Elevation  
Attachment 4: Elevation

# Attachment 1: Sign Location



## Sign Locations

Applicant's Submitted Drawing

Not to Scale  
11/26/08



## 751 King Street West

File # 08\_209698

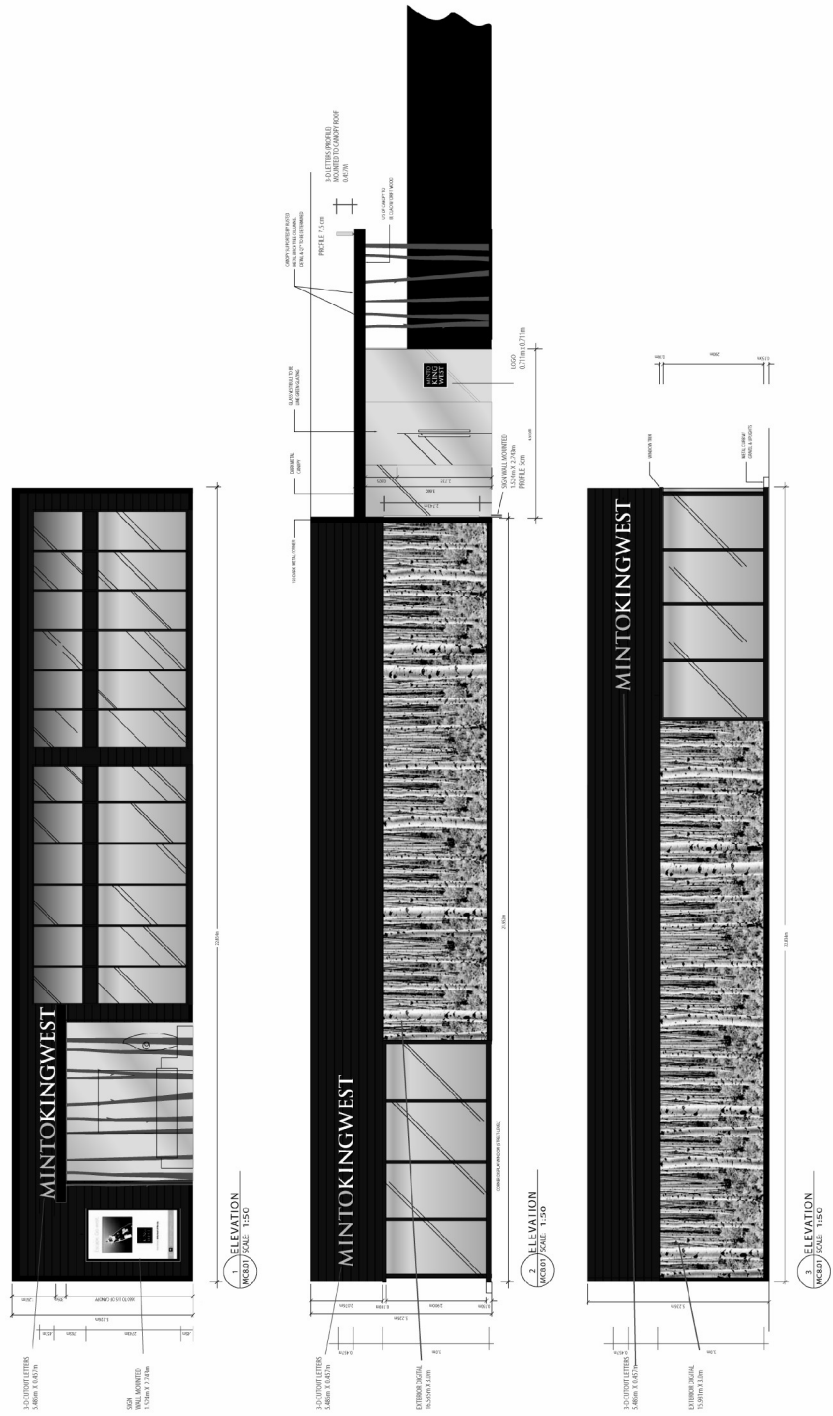
[illegible]

751 King Street West

Not to Scale  
11/26/08

File # 08\_209698

Attachment 3 : Elevation



Elevations

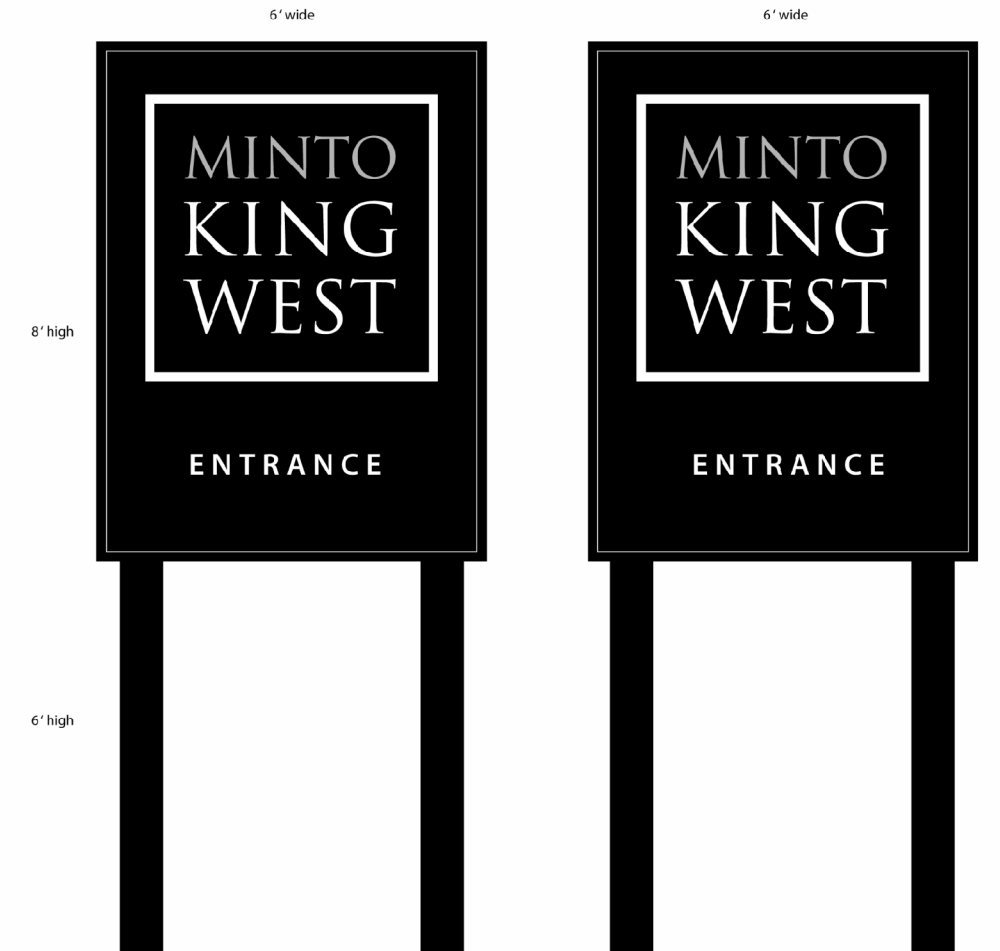
Applicant's Submitted Drawing

Not to Scale  
11/26/08

751 King Street West

File # 08\_209698

## Attachment 4: Elevation



### MintoKingWest Entrance Sign

6' wide x 8' high backlit, two sided, raised 6' above grade on posts

Positioned on west side of entrance drive, immediately inside property line

---

## Elevations

Applicant's Submitted Drawing

Not to Scale  
11/26/08

751 King Street West

File # 08\_209698

---