



STAFF REPORT ACTION REQUIRED

19 Chauncey Avenue – Zoning Amendment Application - Preliminary Report

Date:	December 14, 2009
To:	Etobicoke York Community Council
From:	Director, Community Planning, Etobicoke York District
Wards:	Ward 5 – Etobicoke-Lakeshore
Reference Number:	09 182898 WET 05 OZ

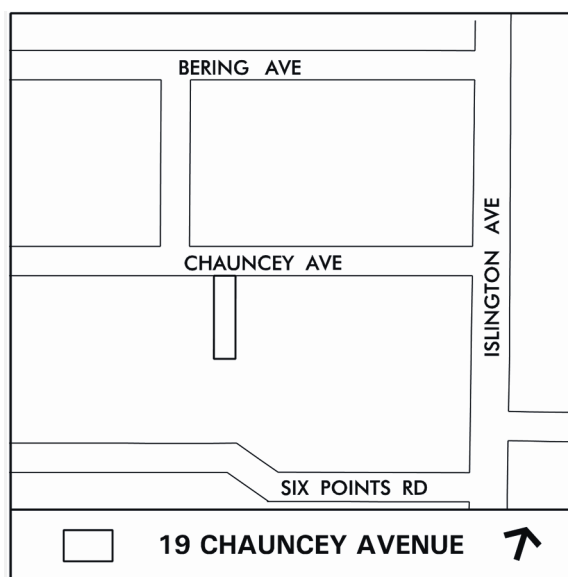
SUMMARY

This application was made on October 27, 2009 and is subject to the new provisions of the Planning Act and the City of Toronto Act, 2006.

This application proposes to amend the former City of Etobicoke Zoning Code (Site-Specific By-law 1992-203) from Industrial Class 1 – IC1 (restricted to woodworking use only) to Industrial Class 1 (general) at 19 Chauncey Avenue. No changes are proposed to the existing building.

This report provides preliminary information on the above-noted application and seeks Community Council's directions on further processing of the application and on the community consultation process.

This application has been circulated to City divisions and external agencies, where appropriate, for comment. Staff anticipate holding a community consultation meeting in the first quarter of 2010.



RECOMMENDATIONS

The City Planning Division recommends that:

1. Staff be directed to schedule a community consultation meeting together with the Ward Councillor.
2. Notice for the community consultation meeting be given to landowners and residents within 120 metres of the site.
3. Notice for the public meeting under the Planning Act be given according to the regulations under the Planning Act.

Financial Impact

The recommendations in this report have no financial impact.

DECISION HISTORY

The property was originally zoned for residential (R2) uses. In 1992, the former City of Etobicoke adopted By-law 1992-203 which rezoned the site from Residential (R2) to Industrial Class 1 (IC1) restricted to woodworking operations only.

Pre-Application Consultation

A pre-application consultation meeting was held on May 13, 2009 with the owner of the property and his planning consultant. The proposal discussed at the time was very similar to the one that has been formally submitted for review, as part of this application. In reviewing the pre-application drawings, staff discussed a number of issues with the applicant, including but not limited to: the issue of adjacency of the subject property to a low scale residential neighbourhood, the possible deficiencies of the existing building and parking, loading and landscape open space issues and the lack of detail on the plans reviewed at the time.

The applicant has not yet provided an acceptable Landscaping Plan or Arborist Report.

ISSUE BACKGROUND

Proposal

Olar Limited is seeking to amend the former City of Etobicoke Zoning Code and more specifically, the provisions of Site Specific By-law 1992-2003, which zones the subject lands Industrial Class 1 - IC1 but restricts its use to a woodworking permission only.

The applicant proposes to extend the current permission to the general permissions under the Industrial Class 1 – IC1 zoning classification of the Zoning Code.

The existing building and site plan layout are proposed to be retained and no further development is proposed on-site (Attachment 1 and 2).

Site and Surrounding Area

The approximately 870 square metres (9,365 square feet) site is rectangular, regularly configured and flat. It is located on the south side of Chauncey Avenue, west of Islington Avenue.

The site has a frontage of approximately 19 metres and depth of approximately 71 metres. It is currently occupied by a one-storey industrial style building. The rear portion of the building has been built as a two-storey addition.

Surrounding lands uses include:

North: detached residential dwellings (one-storey immediately across and west to Northrop Road and one to two-storey to the northeast to Islington Avenue from the subject site) and predominantly one-storey industrial buildings on the north side of Chauncey Avenue and West of Northrop Road.

South: predominantly one-storey industrial buildings to the southwest and up to the property immediately to the south of the site and a recently built townhouse development to the southeast.

West: Predominately one-storey industrial buildings.

East: One to two-storey residential dwellings extending to Islington Avenue (adjacent property to the east is a one-storey residential dwelling).

Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise use and management of resources; and, protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems and cultivating a culture of conservation. City Council's planning decisions are required to conform, or not conflict, with the Growth Plan for the Greater Golden Horseshoe.

Staff will review the proposed development for consistency with the PPS and for conformity with the Growth Plan for the Greater Golden Horseshoe.

Official Plan

The Official Plan designates the property as an Employment Area, as per Map 15. The site is also located within an Employment District, as per the Urban Structure Map 2.

Employment areas are places of business and economic activity which consists of offices, manufacturing, warehousing, distribution, research and development facilities, utilities, media facilities, parks, hotels, retail outlets ancillary to the preceding uses and restaurants and small-scale stores and services that serve the area businesses and workers. Residential uses are not permitted.

Development will contribute to the creation of competitive, attractive and functional Employment Areas by, among others, mitigating the effects of noise, vibration, dust, odours or particulate matter that will be detrimental to other businesses or the amenity of neighbouring areas and treating the boundary between Employment Areas and residential lands with landscaping, fencing, or other measures to minimize nuisance impacts.

Employment Districts shown on Map 2 will be protected and promoted exclusively for economic activity. Such Districts are to be enhanced through many actions including: the permission of a broad array of economic activity that encourages existing businesses to branch out into new areas of activity.

Development adjacent to or nearby Employment Districts will be appropriately designed, buffered and/or separated from industries as necessary to mitigate adverse impacts from noise, vibration, traffic, odour and other contaminants and to promote safety and security.

Zoning

The property is currently zoned Class 1 Industrial Zone (IC1), but Site Specific By-law 1992-203 limits the industrial use of the property to woodworking and related uses only.

The proposed and all other generally permitted uses in a Class 1 Industrial Zone (IC1) are not currently permitted.

The adjacent property to the west (21 Chauncey Avenue), is also currently zoned Class 1 Industrial Zone (IC1), but Site Specific By-law 1981-113 limits the industrial use of the property to an aluminium door and window fabrication and warehousing operation only.

Both properties were zoned Second Density Residential (R2) prior to being rezoned to Class 1 Industrial Zone (IC1).

Generally, all other properties in the industrial area to the west are zoned IC1. The area immediately to the east is a residential area (R2 and R4G) (Attachment 3).

Site Plan Control

Staff has not yet determined if the proposal is subject to Site Plan Control.

Tree Preservation

The applicant has not yet submitted an Arborist Report or a Tree Preservation Plan.

Reasons for the Application

The applicant proposes to expand the range of permitted uses under Site Specific By-law 1992-203, consistent with the uses generally permitted under the Industrial Class 1 – IC1 Zoning classification.

COMMENTS

Application Submission

The following reports/studies/drawings were submitted with the application:

- Survey
- Site Plan
- Floor Plans
- Elevations
- Property Data Map
- Planning Rationale

City staff are reviewing the application for completeness.

Issues to be Resolved

Issues that arise in relation to this proposal include but are not limited to:

- a) adjacency of an industrial use to a residential use, particularly in terms of mitigation of adverse impacts from noise, vibration, traffic, odour and other possible contaminants;
- b) review of the proposal in terms of the applicable development standards such as parking, landscaping, access and loading; and
- c) a review of the proposed development in respect to the Council approved Green Development Standard, which contains performance targets and guidelines that relate to site and building design to promote better environmental sustainability of development.

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

CONTACT

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SIGNATURE

Gregg Lintern, MCIP, RPP
Director, Community Planning
Etobicoke York District

ATTACHMENTS

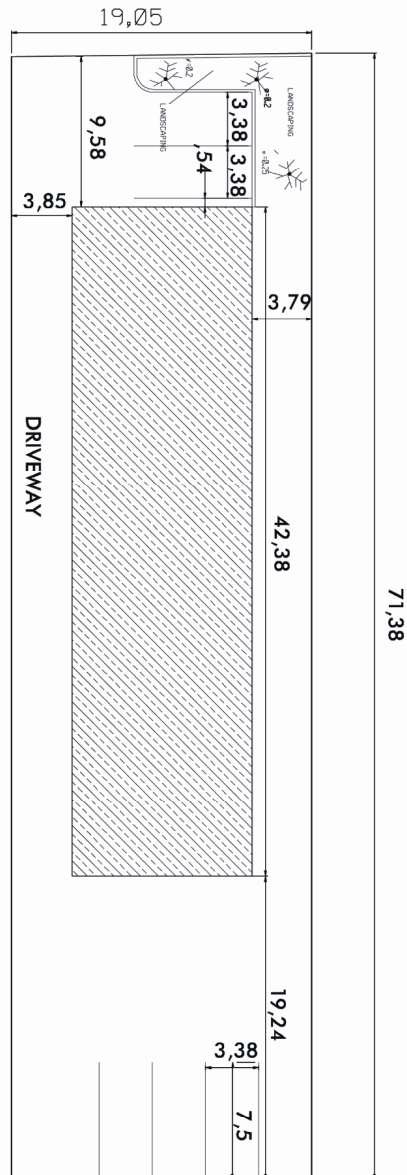
Attachment 1: Site Plan

Attachment 2: Elevations [as provided by applicant]

Attachment 3: Zoning

Attachment 4: Application Data Sheet

CHAUNCEY AVENUE



Site Plan

Applicant's Submitted Drawing

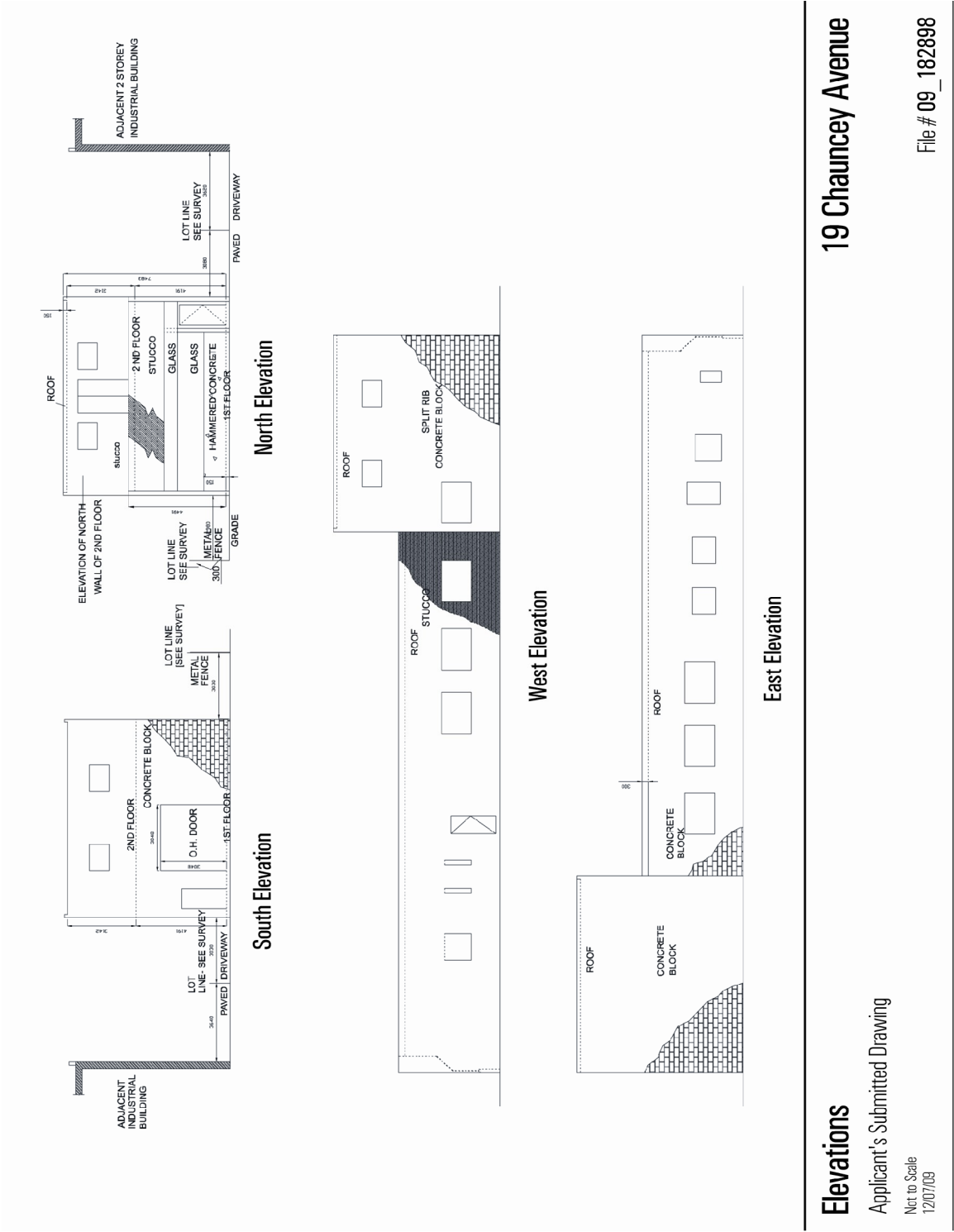
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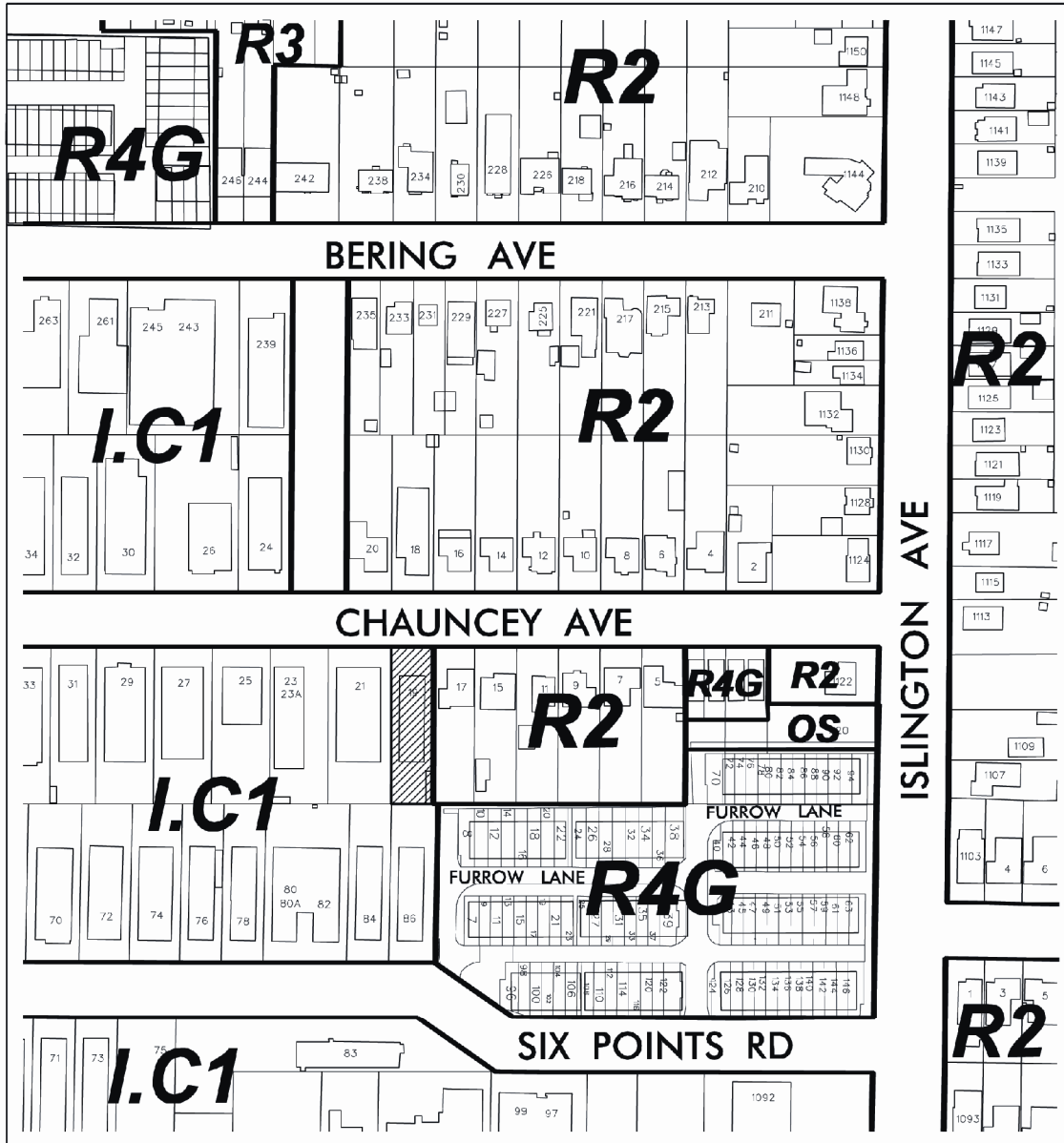
19 Chauncey Avenue

File # 09_182898

Attachment 2: Elevations



Attachment 3: Zoning



Toronto City Planning
Zoning

19 Chauncey Avenue
File # 09_182898

R2 Residential Second Density
R3 Residential Third Density
R4G Residential Fourth Density Group

I.C1 Industrial Class 1
OS Public Open Space



Not to Scale
Zoning By-law 11,737 as amended
Extracted 12/07/09- KP

Attachment 4: Application Data Sheet

Application Type	Rezoning	Application Number:	09 182898 WET 05 OZ
Details	Rezoning, Standard	Application Date:	October 27, 2009

Municipal Address:	19 CHAUNCEY AVENUE
Location Description:	PL 1553 LT119 **GRID W0506
Project Description:	Proposed rezoning of existing industrial land to extend existing Industrial permissions.

Applicant:	Agent:	Architect:	Owner:
BARRY J. MORRISON AND ASSOCIATES LTD.			OLAR LIMITED

PLANNING CONTROLS

Official Plan Designation:	Employment Areas	Site Specific Provision:	1992-203
Zoning:	IC1 industrial IC1 Restricted.	Historical Status:	No
Height Limit (m):		Site Plan Control Area:	

PROJECT INFORMATION

Site Area (sq. m):	870.2	Height:	Storeys:	1	
Frontage (m):	19.02		Metres:	0	
Depth (m):	71.38				
Total Ground Floor Area (sq. m):	0				Total
Total Residential GFA (sq. m):	0		Parking Spaces:	6	
Total Non-Residential GFA (sq. m):	0		Loading Docks	1	
Total GFA (sq. m):	0				
Lot Coverage Ratio (%):	35				
Floor Space Index:	0.45				

DWELLING UNITS

FLOOR AREA BREAKDOWN (upon project completion)

Tenure Type:			Above Grade	Below Grade
Rooms:	0	Residential GFA (sq. m):	0	0
Bachelor:	0	Retail GFA (sq. m):	0	0
1 Bedroom:	0	Office GFA (sq. m):	86.3	0
2 Bedroom:	0	Industrial GFA (sq. m):	274.4	0
3 + Bedroom:	0	Institutional/Other GFA (sq. m):	82.2	0
Total Units:	0			

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