

244 Finch Avenue West – Rezoning and Site Plan Control Applications – Final Report

Date:	February 17, 2010
To:	North York Community Council
From:	Director, Community Planning, North York District
Wards:	Ward 23 – Willowdale
Reference Number:	08 199366 NNY 23 OZ and 08 199373 NNY 23 SA

SUMMARY

These applications were made on September 2, 2008 and are subject to the new provisions of the *Planning Act* and the *City of Toronto Act, 2006*.

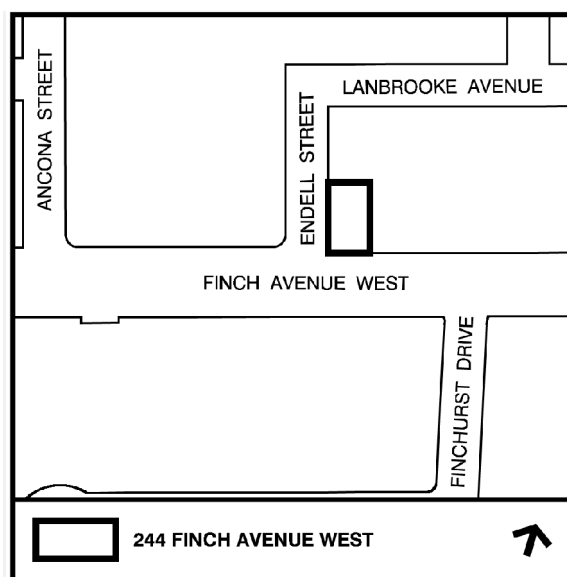
The applicant proposes to redevelop the lands known municipally as 244 Finch Avenue West to permit a two storey building with professional medical office uses on the ground floor (optometrist) and professional office uses on the upper floor.

This report reviews and recommends approval of the applications to amend the Zoning By-law and to approve in principal the Site Plan Control application.

RECOMMENDATIONS

The City Planning Division recommends that:

1. City Council amend Zoning By-law 7625 for the former City of North York substantially in accordance with the draft Zoning By-law Amendment attached as Attachment No. 6;
2. City Council authorize the City Solicitor to make such stylistic and



technical changes to the draft Zoning By-law Amendment as may be required;

3. City Council approve in principal the site plan as indicated on the drawing in Attachment No. 1, subject to the Draft Conditions of Site Plan Approval listed in Attachment 7; and
4. Before introducing the necessary Bills to City Council for enactment, require the applicant to:
 - (i) Obtain site plan approval from the Director, Community Planning, North York District and enter into a Site Plan Agreement under Section 41(16) of the *Planning Act* and Section 114 of the *City of Toronto Act, 2006*.

Financial Impact

The recommendations in this report have no financial impact.

ISSUE BACKGROUND

Proposal

The applicant proposes to redevelop this corner site and construct a two storey commercial building, with professional medical offices (optometrist) on the ground floor and professional office uses on the upper floor. The proposal would be served by 10 at grade parking spaces located at the rear of the building and accessed via Endell Street. The proposal would create a total of 488 m² of commercial gross floor area and have a Floor Space Index (FSI) of 0.73.

Site and Surrounding Area

The site is located on the northeast corner of Finch Avenue West and Endell Street. The lot has a frontage of approximately 20 metres along Finch Avenue West, a depth of approximately 24 metres on Endell Street, and a site area of approximately 670 square metres. A one story detached residential building is presently located on the site.

Abutting uses are as follows:

North: single detached residential dwellings;

South: single detached residential dwellings across Finch Avenue West, with a place of worship to the southwest;

East: single detached residential dwellings; further east in the same block is the site of current rezoning and site plan applications to permit a 4-storey 17 unit residential townhouse development (08 102445 NNY 23 OZ & 08 102458 NNY 23 SA); and

West: immediately across Endell Street is located a private school operated by Associated Hebrew Schools, followed by 4-storey apartments further west towards Bathurst Street.

Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise

use and management of resources; and protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems and cultivating a culture of conservation.

City Council's planning decisions are required by the *Planning Act*, to conform, or not conflict, with the Growth Plan for the Greater Golden Horseshoe.

Official Plan

The site is designated *Mixed Use Area "B"* in the Central Finch Area Secondary Plan. This designation provides for detached and multiple-unit residential, retail and service commercial uses, offices, places of worship, public parks and recreational facilities, and institutional uses.

For sites with less than 30 metres of frontage on Finch Avenue, the maximum density (FSI) permitted is 1.0 times the lot area, except that where the proposed use is solely commercial, such as with this proposal, the amount of gross floor area devoted to commercial uses can not exceed 0.75 times the lot area and the maximum permitted height is 2 storeys or 8 metres, whichever is the lesser.

To buffer the effects of development in the Central Finch Area Secondary Plan and abutting residential neighbourhoods, the Secondary Plan requires that the height of any part of a building not exceed 70% of the horizontal distance separating that part of the building from the nearest residential property line, provided that the setback is not less than 9.5 metres. The plan also requires a 1.5 metre landscape strip and privacy fence along the north property line.

The Central Finch Area Secondary Plan encourages the consolidation of lots and the reduction in the number of private driveways accessing Finch Avenue. The Secondary Plan also encourages redevelopment that contributes to a strong and attractive pedestrian oriented street edge with emphasis on good design and an abundance of landscaping and tree features.

Zoning

The subject lands located are zoned "One-Family Detached Dwelling Fourth Density Zone" (R4) which permits single detached dwellings and accessory uses.

Site Plan Control

The applicant has submitted a concurrent Site Plan Control application (08 199373 NNY 23 SA). The approval of this Site Plan Control application will be required prior to the issuance of building permits for this proposed development (Draft Conditions of Site Plan Approval are attached as Attachment No. 7). The applicant will also be required to enter into a Site Plan Agreement which will also include a requirement to convey land for future road widening and corner rounding purposes.

Reasons for Application

An amendment to Zoning By-law 7625 for the former City of North York is required as the R4 zoning that applies to the lands does not permit the proposed professional medical office (optometrist) nor the professional office uses.

Community Consultation

A community consultation meeting was held on February 11, 2009. The meeting was attended by City Planning staff, the applicant and owner, representatives from the Ward Councillor's office, and approximately 12 members of the public.

Issues raised during the discussion of the proposal, which have been considered in the review of the application, were related to the following matters:

- concerns about traffic flow into the neighbourhood to the north of the subject site and the opportunity to restrict northbound traffic;
- concerns that the proposal will further add to the traffic and parking congestion caused by parents dropping off and picking up their children from the neighbouring private school;
- that water run off from the subject site might affect neighbouring properties;
- requiring appropriate landscaping and fencing around the proposed development; and
- the proposed building facade was dull and too close to the property line.

Agency Circulation

The applications were circulated to all appropriate agencies and City divisions. Responses received have been used to assist in evaluating the proposal and to formulate appropriate By-law standards.

COMMENTS

Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (2005) (PPS) includes policies to manage and direct land use to achieve efficient development and land use patterns. Municipal planning decisions are required to be "consistent with" the PPS. The PPS requires that a range of land uses be provided and that intensification and redevelopment opportunities are identified and promoted.

The PPS promotes intensification and redevelopment opportunities through a more compact building form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities. The proposal is consistent with the PPS.

The proposal also conforms with and does not conflict with the Growth Plan for the Greater Golden Horseshoe.

Land Use, Density

The proposed two storey commercial building comprised of professional medical office (optometrist) and professional office uses in a two storey building having a Floor Space Index (FSI) of 0.73 complies with the land use provisions and density policies of the Central Finch Area Secondary Plan.

Height, Massing

For sites with less than 30 metres of frontage on Finch Avenue, such as the subject site, and where the intended use is solely commercial, the Central Finch Area Secondary Plan permits has a maximum height of 2 storeys or 8 metres, whichever is the lesser. The Plan also requires that the height of any part of the building not exceed 70% of the horizontal distance separating that part of the building from the nearest residential property line, provided that the setback is not less than 9.5 metres. This provision is generally intended to ensure that new development is stepped back proportionately in order to minimize potentially negative impacts on the privacy and views of adjacent lower density residential uses.

In this particular case, the subject site is located at the north-east corner of Finch Avenue and Endell Street. The proposed two storey commercial building would be sited virtually on the new property line along Finch Avenue and Endell Street, once the road widening and corner rounding is conveyed to the City. A landscape strip would run along the face of the building and continue onto the Endell Street frontage. With a wall facing comprised of decorative stone, and coloured metal cladding, a unique architectural design which incorporates a vertical face and accent pole over the main entry doors, the proposed building creates a distinctive street wall along Finch Avenue. The proposed building would be a complementary addition to this corner site.

The building has also been designed with an off-set rear wall, having a setback from the rear property line of approximately 20 metres for over 50% of the wall length, and a setback of 13 metres at its closest. This setback allows for a building with a maximum permitted gross floor area while maintaining required parking, drive aisle and landscape strip dimensions as well as a greater than required minimum setback distance to the residential property line to the north.

The proposed flat roof design for the commercial building also minimizes the height of the roof and thereby creates a smaller and less imposing look to the roof-line of the development.

The addition of shrubbery and sodded area and a privacy fence will also create a green landscape strip along the northerly property line of the subject lands. Impacts on privacy and views of the existing residential buildings and their rear yards to the north can be considered negligible.

Road Widening

In the course of reviewing this proposal it has been determined that a 2.76 metre road widening dedication along the Finch Avenue frontage and a corner rounding at the intersection with Endell Street is required. This will be a condition of Site Plan approval and secured prior to enactment of the By-law Amendment to permit the proposed professional medical office and professional offices uses.

Traffic Impact, Access, Parking

The applicant is proposing 10 parking spaces located at the rear of the site and accessed via Endell Street. City Transportation staff have reviewed the proposal and determined that as

presented there would be a deficiency of four parking spaces. As per Council policy, payment-in-lieu of parking will be required for the deficiency.

The applicant has also submitted a loading study substantiating that given the proposed uses and the size of the property and that delivery needs will be negligible, a loading space is not required. City Transportation staff have concurred with this position.

Servicing, Grading and Storm-Water Management

The proposed development as designed, complies with the Best Management Practices for Stormwater Management and the City of Toronto Wet Weather Flow Management Guidelines, which requires grades that allow overland water flow.

Streetscape

Forestry staff has indicated that there is sufficient growing space along the Endell Street road allowance for the provision of 3 additional City trees, and this provision will be included as a condition of Site Plan approval. As such the existing streetscape along Endell Street and for the overall view of this corner site when approached from the west will be improved.

The location of a future transit stop immediately in front of the site and the need for hard surfacing limits the ability for any public or private trees along the Finch Avenue frontage. However, as discussed above, the design of the building incorporates interesting architectural features, and as a commercial building with its main doors onto Finch Avenue, will animate and create a welcome improvement to the street and a distinctive presence at the corner with Endell Street.

Open Space/Parkland

The Official Plan contains policies to ensure that Toronto's system of parks and open spaces are maintained, enhanced and expanded. Map 8B of the Toronto Official Plan shows local parkland provisions across the City. The lands which are the subject of this application are in an area with 0.43-0.79 hectares of local parkland per 1,000 people. The site is in the second lowest quintile of current provision of parkland. The site is in a parkland priority area, as per Alternative Parkland Dedication By-law 1420-2007.

The use is proposed to be commercial. Therefore, By-law 30152 of the former City of North York is applicable. The site is subject to 2% parkland dedication. Based on a site area of 671m², the required parkland dedication is equivalent to 13.42m². Although these comments are premised on the former City of North York by-laws, if the application is approved subsequent to adoption of a new parkland dedication by-law for the commercial uses, the latter shall prevail.

The applicant proposes to satisfy the parkland dedication requirement by cash-in-lieu and this is appropriate as the amount of land is too small to be of a functional size. The actual amount of cash-in-lieu to be paid will be determined at the time of issuance of the building permit.

Toronto Green Standard

The applicant has been encouraged to review and implement the principles of the Toronto Green Standard. The applicant has indicated that the project will incorporate environmentally friendly building materials. Most notable, the applicant has introduced a significant amount of permeable

paving in the rear parking area, as well as on-site water storage. The proposed two storey building would also incorporate a white roof (or cool roof) to minimize solar heat absorption.

Development Charges

It is estimated that the development charges for this project will be \$47,125.00. This is an estimate. The actual charge is assessed and collected upon issuance of the building permit.

CONTACT

Ben DiRaimo, Planner
Tel. No. (416) 395-7119
Fax No. (416) 395-7155
E-mail: bdiraimo@toronto.ca

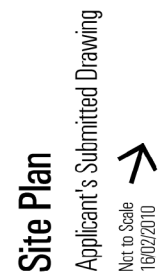
SIGNATURE

Thomas C. Keefe, Director
Community Planning, North York District

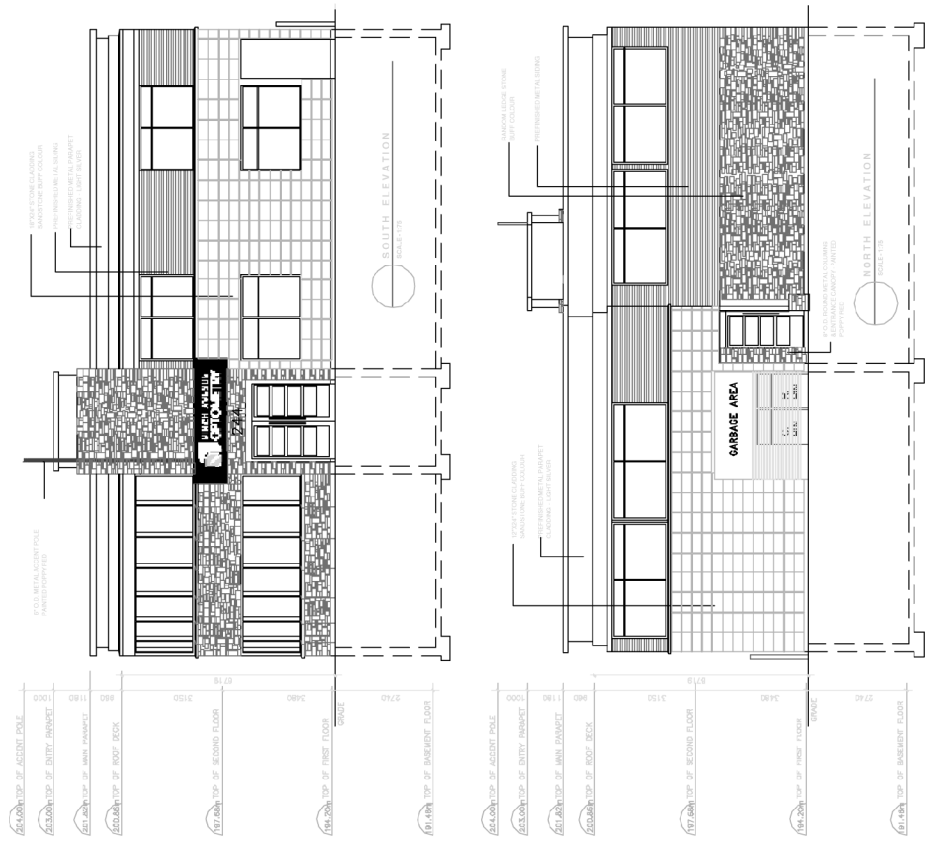
ATTACHMENTS

Attachment 1: Site Plan
Attachment 2: South and North Elevations
Attachment 3: West and East Elevations
Attachment 4: Zoning
Attachment 5: Application Data Sheet
Attachment 6: Draft Zoning By-law Amendment
Attachment 7: Draft Conditions of Site Plan Approval

File # 08_199366



Attachment 2: South and North Elevations



Elevations

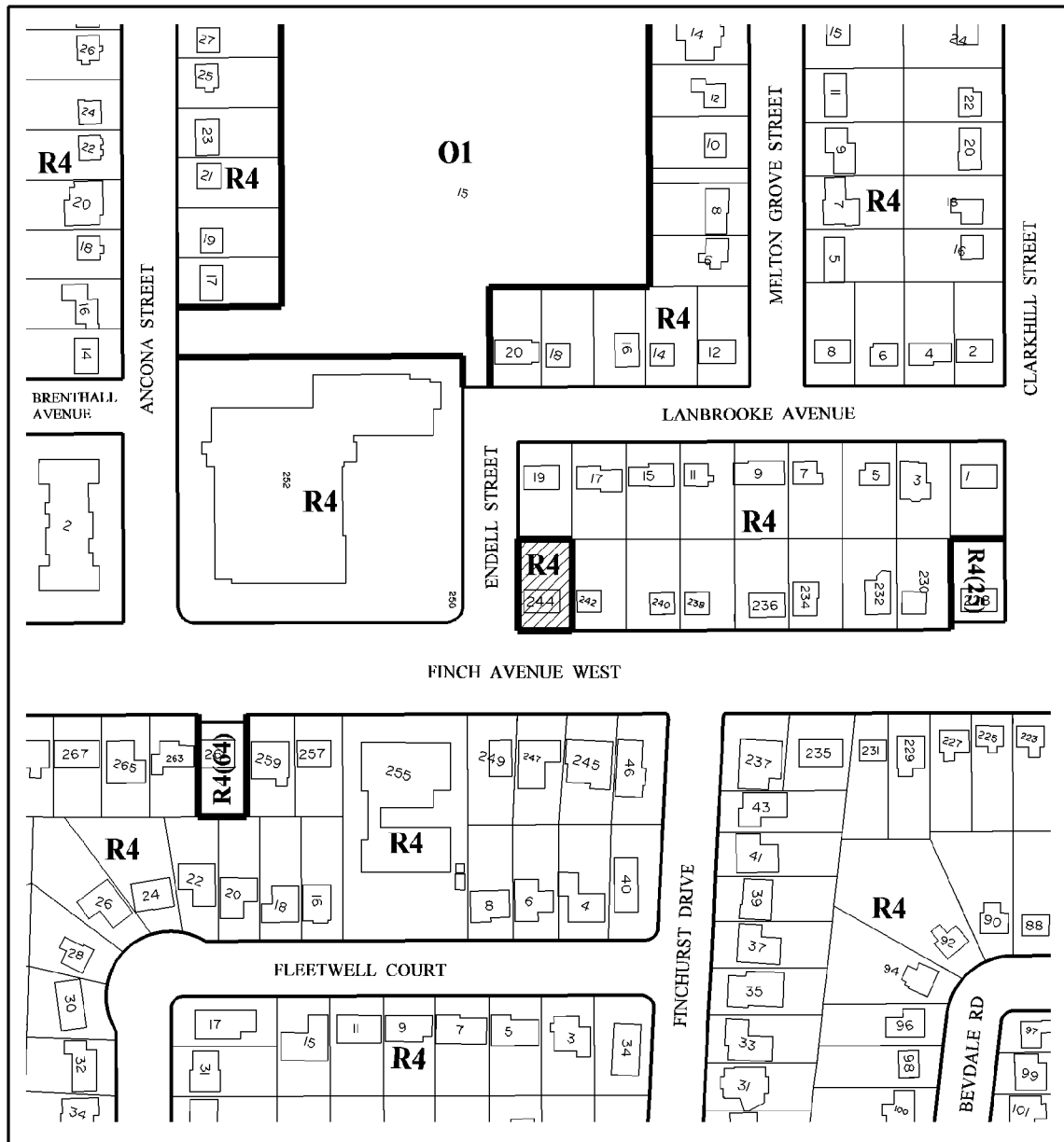
Applicant's Submitted Drawing

Not to Scale
16/02/2010

244 Finch Avenue West

File # 08_199366

Attachment 4: Zoning



Attachment 5: Application Data Sheet

APPLICATION DATA SHEET

Application Type	Rezoning	Application Number:	08 199366 NNY 23 OZ
Details	Rezoning, Standard	Application Date:	September 2, 2008

Municipal Address:	244 FINCH AVE W
Location Description:	PLAN 4259 LOT 180 **GRID N2301
Project Description:	Proposed two storey mixed use building - Medical office (Optometrist) on main floor - commercial offices on 2nd floor, with 10 at grade parking spaces. Corner lot. Concurrent site plan application - 08-199373 NNY 23 SA

Applicant:	Agent:	Architect:	Owner:
ANTONIO DIGIACINTO			GEORGE PAPADAKIS

PLANNING CONTROLS

Official Plan Designation:	Mixed Use Areas	Site Specific Provision:	
Zoning:	R4	Historical Status:	
Height Limit (m):	8.8	Site Plan Control Area:	Y

PROJECT INFORMATION

Site Area (sq. m):	666.8	Height:	Storeys:	2	
Frontage (m):	19.81		Metres:	8	
Depth (m):	30.9				
Total Ground Floor Area (sq. m):	263.46				Total
Total Residential GFA (sq. m):	0		Parking Spaces:	10	
Total Non-Residential GFA (sq. m):	487.58		Loading Docks	0	
Total GFA (sq. m):	487.58				
Lot Coverage Ratio (%):	39.51				
Floor Space Index:	0.73				

DWELLING UNITS

FLOOR AREA BREAKDOWN (upon project completion)

Tenure Type:			Above Grade
Rooms:	0	Residential GFA (sq. m):	0
Bachelor:	0	Retail GFA (sq. m):	0
1 Bedroom:	0	Office GFA (sq. m):	487.58
2 Bedroom:	0	Industrial GFA (sq. m):	0

Attachment 6: Draft Zoning By-law Amendment

Authority: North York Community Council Item ~ [or Report No. ~, Clause No. ~] as
adopted by City of Toronto Council on ~, 2010
Enacted by Council: ~, 2010

CITY OF TORONTO

Bill No. ~

BY-LAW No. --2010

**To amend former City of North York Zoning By-law No. 7625, as amended,
With respect to the lands municipally known as,
244 Finch Avenue West**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules “B” and “C” of By-law 7625 of the former City of North York are amended in accordance with Schedule “1” of this By-law.
2. Section 64.26 of By-law 7625 is amended by adding the following subsection:

“64.26 (10) C4 (10)

DEFINITIONS

- | | | |
|-----|-------------------|--|
| (a) | Established Grade | Means the geodectic elevation of 194.2 metres taken at the centre line of Finch Avenue West at the mid-point of the abutting lot. |
| (b) | Net Site | For the purposes of this exception, Net Site means the gross site area minus any lands conveyed to the City of Toronto for road widening purposes, with such Net Site comprising an area of 604.2 m ² . |

PERMITTED USES

- | | |
|-----|---|
| (c) | All of the uses permitted in a C4 zone are permitted with the exception of a commercial school, day nursery, fitness centre, place of worship, restaurant or take-out restaurant. |
|-----|---|

EXCEPTION REGULATIONS

- | | |
|-----|--|
| (d) | The maximum total gross floor area on the Net Site shall be 490 m ² . |
|-----|--|

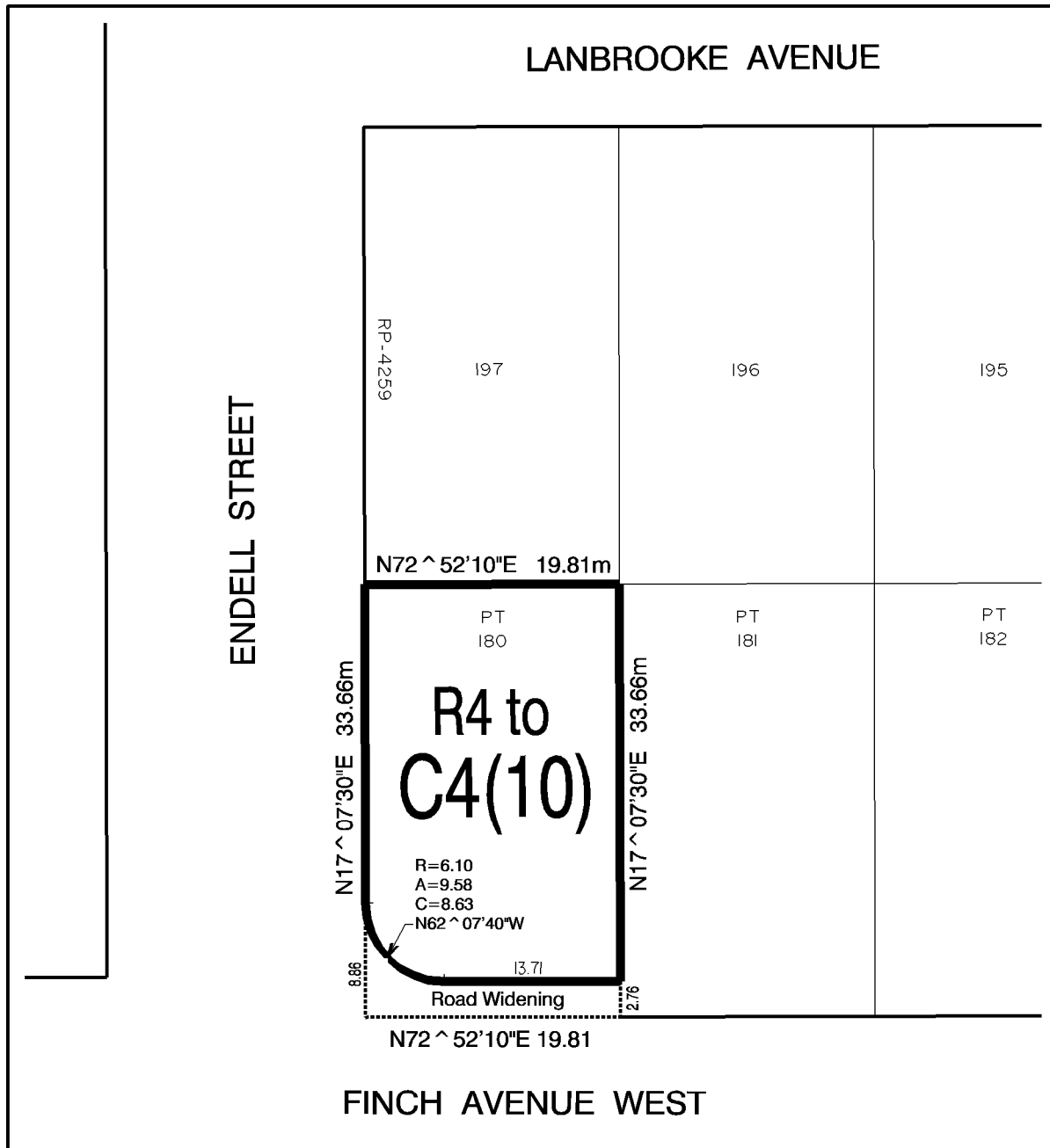
- (e) For the purposes of calculating the gross floor area, the basement area shall be exempted, which shall be used only for storage and mechanical purposes.
 - (f) The maximum yard setbacks shall be as shown on Schedule “C4 (10)”.
 - (g) No portion of any building or structure erected and used above established grade shall be located other than wholly within the maximum potential building envelope unless otherwise identified on Schedule “C4 (10)”.
 - (h) The building height shall not exceed 8 metres or 2 storeys measured from established grade to the roof deck, except that a parapet with a maximum height of 2 metres shall be permitted.
 - (i) For the purposes of building height any roof-top mechanical equipment or decorative elements shall be excluded.
 - (j) The minimum number of parking spaces shall be 10.
 - (k) A 1.5 metre landscaping strip and a 2 metre high opaque fence shall be provided along the north property line.
 - (l) The provisions of Sections 6A(16)(a)(b)(c)(d) (Loadings Spaces Required), and Section 23.2.1 (Lot Coverage) of By-law 7625 as amended, shall not apply.
- 3.** Within the lands shown on Schedule "C4 (10)" attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
 - (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.”
- 4.** Section 64.26 (10) of By-law 7625 is amended by adding Schedule “C4 (10)”.

ENACTED AND PASSED this ~ day of ~, A.D. 2010.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS,
City Clerk

(Corporate Seal)



Attachment 7: Draft Conditions of Site Plan Approval

- (a) **Site Plan (A-0)**, prepared by The DAKT Group Design Build, revised Feb. 3-2010, and stamped received February 5, 2010, City of Toronto Planning, North York Civic Centre.
- (b) **Basement Plan (A-1)**, prepared by The DAKT Group Design Build, revised Feb. 3-2010, and stamped received February 5, 2010, City of Toronto Planning, North York Civic Centre.
- (c) **First Floor Plan (A-2)**, prepared by The DAKT Group Design Build, revised Feb. 3-2010, and stamped received February 5, 2010, City of Toronto Planning, North York Civic Centre.
- (d) **Second Floor Plan (A-3)**, prepared by The DAKT Group Design Build, revised Feb. 3-2010, and stamped received February 5, 2010, City of Toronto Planning, North York Civic Centre.
- (e) **Roof Plan (A-4)**, prepared by The DAKT Group Design Build, revised Feb. 3-2010, and stamped received February 5, 2010, City of Toronto Planning, North York Civic Centre.
- (f) **Elevations (A-5)**, prepared by The DAKT Group Design Build, revised Feb. 3-2010, and stamped received February 5, 2010, City of Toronto Planning, North York Civic Centre.
- (g) **Elevations (A-6)**, prepared by The DAKT Group Design Build, revised Feb. 3-2010, and stamped received February 5, 2010, City of Toronto Planning, North York Civic Centre.
- (h) **Landscape Plan (L-1)**, prepared by The DAKT Group Design Build, revised Feb. 3-2010, and stamped received February 5, 2010, City of Toronto Planning, North York Civic.

A. PRE-APPROVAL CONDITIONS

LEGAL SERVICES – Stephanie Morrow, Supervisor of Law Clerks, 416-397-5379

Enter into the City's standard site plan agreement to and including registration of the site plan agreement on title to the subject lands by the City at the Owner's expense.

TECHNICAL SERVICES – Eddy Bologna, Engineering Technical Coordinator, 416-395-6233

1. The Stormwater Management Report, prepared by Cook Consulting Engineers Limited, dated October 11, 2009, requires the following revisions:
 - Must be revised to reflect the following correct 2 and 100 year storm intensity values and initial time of concentration:
$$i_2 = 21.8/(T)^{0.78}$$
$$i_{100} = 59.7/(T)^{0.8}; \text{ and}$$
$$t = \text{initial time of concentration} = 10.0 \text{ minutes}$$

Please note the above "T" is to be converted into hours.

- Supporting calculations must be provided to demonstrate there is sufficient storage for the 100-year event and that the water balance target has been achieved.
 - There are concerns that over time the subsurface storage/infiltration area TSS removal efficiency will decrease, therefore, the consulting engineer should consider the installation of an oil/grit separator in order to better satisfy the long term water quality objectives. The WWFM Guidelines recognize OGS devices as being capable of achieving a TSS removal efficiency of only 50%; even though manufacturers claim 80%. The presence of the proposed infiltration area will assist the OGS device in achieving the required 80% TSS removal efficiency.
2. Prepare all documents and convey to the City, at nominal cost, a 2.76 metre road allowance widening along the Finch Ave. W. frontage & appropriate 6.1 metre radius corner rounding at Finch Ave. W. & Endell St. in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have been dedicated as a public highway, all to the satisfaction of the Executive Director of Technical Services and the City Solicitor.
 3. Submit a draft Reference Plan of Survey to the Executive Director of Technical Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
 - a) be in metric units and integrated with the Ontario Co-ordinate System (3° MTM, Zone 10, NAD 27, 1974 Adjustment);
 - b) delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and
 - c) show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan.
 4. Pay all costs for registration and preparation of reference plan(s).
 5. The owner shall deposit with the Technical Services Division prior to Site Plan Approval, certified cheques, for the following:

Construction of a new 1.7 metre wide sidewalk at the standard location of 1.0 metre from the Endell St. property line. The new sidewalk must commence at the north limit of the driveway entrance, extend across the driveway entrance as per City of Toronto Engineering Design Standard No. T-350.01, and connect with the existing sidewalk on Finch Ave. W. The cost of this work is estimated to be \$5515.65.

Construction of driveway curbs as per City of Toronto Engineering Design Standard No. T-350.01. The cost of this work is estimated to be \$5000.00.

\$525.78 representing the 5% Engineering review fee of the above construction works.

The above works shall be constructed by the owner anytime after Site Plan Approval provided the owner contacts Technical Services to confirm that:

A City representative has approved the proposed location of the above sidewalk.

The owner is required to make an application for the necessary permits.

The owner shall deposit with the Technical Services Division prior to Site Plan Approval, certified cheques, for the following:

Future Relocation/Construction of a 1.7 metre wide sidewalk across the entire Finch Ave. W. frontage of the site to the standard location of 1.0 metre from the (widened) property line. The cost of this work is estimated to be \$3570.00.

\$178.50 representing the 5% Engineering review fee of the above construction works.

The above work shall be constructed by the City at the time of the road widening of Finch Ave. W. / once all the necessary land across Finch Ave. W. frontages have been conveyed to the City.

CITY PLANNING – Ben DiRaimo, Planner, 416-395-7119

1. The Owner shall submit as a deposit a letter of credit or certified cheque for 75% of the value of the on-site landscaping, including but not limited to any plantings, fencing, decorative paving, retaining walls, terraces, lighting and/or other landscape features as detailed on the approved Landscape Plan.

URBAN FORESTRY – Bruce Gordon, 416-395-6686

1. Submission of a tree planting security deposit of \$1,749.00 for three (3) new City trees proposed for the City street allowance on Ednell Street.
2. Submission of tree security guarantee deposit of \$3,261.00 for a Norway maple tree located within the street allowance on the south west corner of the site located on Endell Street.
3. Submission of completed permit application for removal of a City tree along with a permit fee of \$300.00 for Tree No 3W as well as the tree amenity value of \$2,004.00
4. Prior to removal and approval for Tree No. 3w, the consulting tree company must complete and submit the “*Contractors Agreement Form to do Maintenance or Removal of City Trees*”.

Please note that Urban Forestry only accepts the noted fee, payment and deposit in separate amounts, in the form of an irrevocable Letter of Credit, certified cheque or money order, payable to the Treasurer, City of Toronto.

B. POST APPROVAL CONDITIONS

In addition to the above pre-approval conditions, the following post approval conditions are to be fulfilled by the Owner following site plan approval and will be incorporated into a site plan agreement:

The proposed development shall be carried out and maintained in accordance with the plans and drawings referred to herein, to the satisfaction of the City of Toronto.

TECHNICAL SERVICES

1. Remove all existing accesses, curb cuts, traffic control sign, etc. along the development site frontage that are no longer required and reinstate the boulevard within the right-of-way, in accordance with City standards and to the satisfaction of the Executive Director of Technical Services.
2. The proposed driveway on City property must be graded downward towards the roadway and have a 2% to 6% slope.
3. Entrance curb radii of 3.0 metres must be provided for the Endell Street site access, a minimum of 6.0 metres wide.
4. Snow must be stored on the site such that the parking supply is not reduced and vehicular sightlines are not affected. Snow which cannot be adequately stored on-site must be cleared and removed from the site by the owner/building management after each snowfall.
5. Any designated spaces reserved for disabled parking must be a minimum of 3.65 metres wide by 5.6 metres long as per By-law 31770.
6. Provide and maintain a walkway on the private side from the principal entrance of the building to a sidewalk on the public street or to a driveway that provides access to a public street.
7. Driveway curbs must be flush on either side of the sidewalk for a minimum of 0.45 metres.
8. Construct and maintain all facilities necessary to permit the City to collect solid waste and recyclable materials in accordance with By-law 235-2001, Waste Collection for Residential Properties.
9. If the owner requests the city to collect trade waste, the owner will be required to make an application for garbage and recycling collection and enter into an agreement with the City, under the Yellow Bag Program, for such collection services. In the event the owner is not accepted, then a private contractor must collect all solid waste from this site. Collection of wastes from the commercial sector of this site will be in accordance with

Chapter 841, Solid Waste, of the City of Toronto Municipal Code. (Refer to appropriate By-Laws for Procedures associated with grease, etc.).

10. The basement level of the proposed building shall be used only for storage and utility purposes. No office or other parking-generating uses shall be accommodated in the basement.

CITY PLANNING

1. Provide and maintain the landscaping for the lands in accordance with the approved landscape plan to the satisfaction of the Director of Community Planning.

SITE SPECIFIC CONDITIONS

1. The applicant is required to obtain building location and access permits prior to construction of this project. Other permits associated with construction activities (such as hoarding, piling/shoring, etc.) may also be required. For your information we have attached a Permit and Application Fee Schedule. All fees are subject to change. The Municipal Service Guarantee Deposit is not included in the Schedule, as it will be determined by scope of work. The applicant is responsible for obtaining the applicable permits and must contact Right-of-Way Management at 416-395-6221.
2. The owner will be required to make an application to Toronto Water Division for the installation of any proposed services within the right-of-way after acceptance of the stormwater management report and site servicing plan. For further information, please contact District Operations, Toronto Water, North York District at 416-338-8888.
3. For single entity development such as a condominium, co-operative or rental property to be held under separate ownership and/or under its address, only one sanitary and one water service connection will be permitted for the entire development.
4. The owner is responsible to provide for the installation of the water, sanitary and any necessary storm service connections from the building to City services at the property line. Please note that servicing on private property requires plumbing approval under the Ontario Building Code, and accordingly, application for the necessary permits should be made to the Building Division.
5. The Owner will be required to provide the City with a Construction Management Plan outlining the following:
 - a) Dust/mud control on and offsite;
 - b) Location of truck loading points, trailer parking;
 - c) Location of temporary material storage areas;
 - d) Access/truck routing;
 - e) Provision of hoarding, temporary fencing & covered walkways;
 - f) Location and extent of aerial crane operations; and
 - g) Parking for construction trades;

for any work within the public right-of-way. For further information, please contact the Right-of-Way Management Section, North York District, at 416-395-6221

The owner's contractor will be required to make an application for a ROW permit from the Transportation Division for any work within the public-right-of-way. For further information please contact the Right-of-Way Management Section at 416-395-6221.