

Sign Variance - 2 Bloor St E

Date:	February 19, 2010
To:	Toronto and East York Community Council
From:	Director, Toronto Building, Toronto and East York District
Wards:	Ward 27 – Toronto Centre-Rosedale
Reference Number:	2010TE078 10 101970 ZSV 00 ZR

SUMMARY

This staff report is about a matter for which the Community Council has delegated authority from City Council to make a final decision.

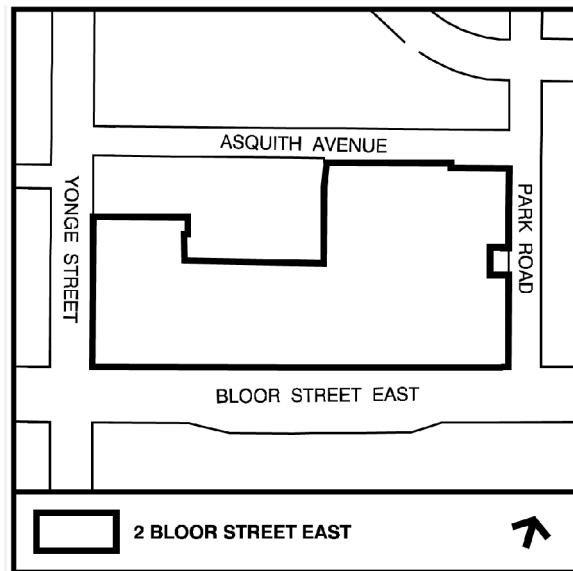
This report reviews and makes recommendations on a request by Len Wren of Total Signs Services Inc., on behalf of Herefordshire Capital, for approval of a variance from Chapter 297, Signs, of the former City of Toronto Municipal Code to permit, for identification purposes, an illuminated fascia sign, at the 6th floor level on the east elevation of a ten-storey podium of a high rise building at 2 Bloor Street East.

Staff recommends approval of this application. The variance is minor and within the general intent and purpose of the Municipal Code.

RECOMMENDATIONS

The Toronto Building Division recommends that:

1. Toronto and East York Community Council approve the request for a variance to permit, for identification purposes, an illuminated fascia sign, at the 6th floor level on the east elevation of a ten storey podium of a high rise building at 2 Bloor Street



- East; and require that energy efficient lights be used; and
2. Direct the City Clerk's Office to advise the applicant:
 - a. upon approval of a variance, of the requirement to obtain the necessary sign permits from the Chief Building Official.
 - b. that the sign permit application related to this approval be filed with the Toronto Building Division prior to April 6, 2010.

Financial Impact

The recommendations in this report have no financial impact.

ISSUE BACKGROUND

The property known as Hudson Bay Centre is located at the north-east corner of Yonge and Bloor Streets in a CR zone. The Hudson Bay Centre covers an entire city block along Bloor Street East from Yonge Street on the west to the Park Street on the east. The property address includes the municipal addresses from 2 Bloor Street East to 100 Bloor Street East. The property contains mixed-use multi-storey buildings consisting of a Marriott Hotel, a residential condominium apartment building, office building and retail uses at the sub-grade and at the grade levels of the buildings. A ten-storey high podium is located at the southeast corner of the property that forms a part of the Hudson Bay Centre. The first five storeys in this podium are design as a car parking lot and the top five storeys are designed for the office and other functions in the building. The applicant is seeking permission to install an illuminated fascia sign to identify “GoodLife Fitness” in the building. The sign would be located at the sixth and seventh floor level, facing Park Road, on the southeast portion of the east wall. The sign would be located 23.3m high above grade. The sign is 6.1m wide and 3.05m high with an area of 18.61m².

The sign does not comply with Chapter 297, Signs, of the former City of Toronto Municipal Code in the following ways:

Sign By-law Section and Requirements	Applicant's Proposal	Required Variance
1. Chapter 297-10D(5)(e)	The identification fascia sign would be located 23.3m high above grade.	The 23.3m sign height above grade would exceed by 13.3m, the maximum 10.0m sign height permitted.

COMMENTS

The variance is required because an identification fascia sign is permitted to be located within the first two storeys of a building or 10.0m above grade whichever is less. The height of signs on the building is regulated in order to minimize their negative impact on the building to which they are attached, surrounding uses and the streetscape. Staff

prefers to recommend approval of identification signs at their traditional location in order to minimize their negative impact on the building to which they are attached, surrounding uses and on the streetscape. In this case, because the first five storeys of the podium are a car parking lot and the applicant does not have an opportunity to display his sign within the first two storeys of the building or at a height of less than 10.0m above grade. It is staff's opinion that although the sign would be located at higher than the permitted height on the building, the sign is sized and positioned to minimize its adverse impact on the building, surrounding uses and the streetscape.

Staff recommends approval of the application. The variances are minor and within the general intent and purpose of the Municipal Code.

CONTACT

Norm Girdhar, Assistant Planner
Tel. No. 416-392-7209
Fax No. 416-392-7536
E-mail: ngirdhar@toronto.ca

SIGNATURE

Jim Laughlin, Deputy Chief Building Official and Director, Toronto Building
Toronto and East York District

ATTACHMENTS

Attachment 1: Elevations
Attachment 2: Elevations
Attachment 3: Sign Details

Attachment 1:



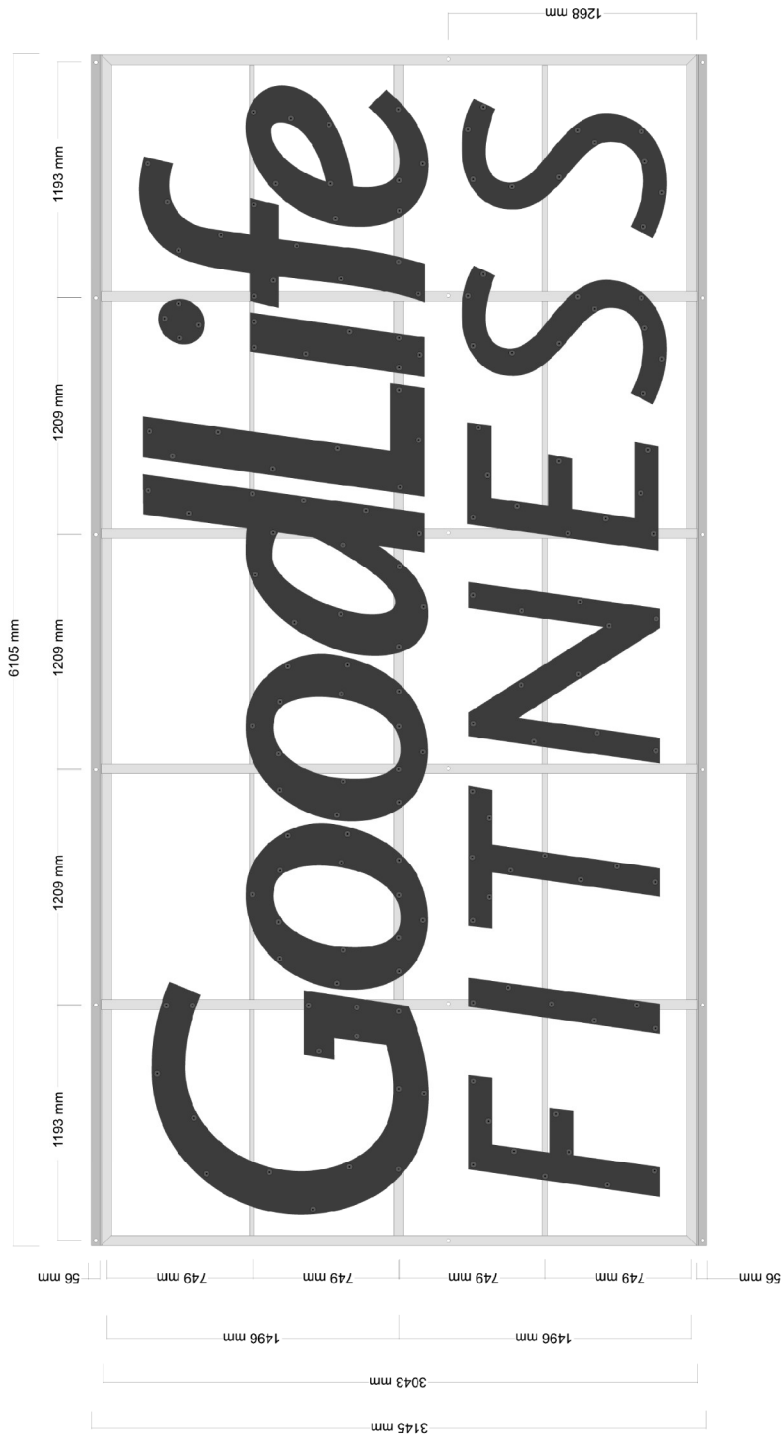
2 Bloor Street East

Elevations
Applicant's Submitted Drawing

Not to Scale
02/01/2010

File # 10_101970

Attachment 2:



Elevations

Applicant's Submitted Drawing

Not to Scale
02/01/2010

2 Bloor Street East

File # 10_101970

