

**CITY OF TORONTO
BY-LAW No. ~-20~**

**To amend the Etobicoke Zoning Code, as amended,
With respect to the lands municipally known, in the year 2011, as
50 Firwood Crescent**

WHEREAS the Ontario Municipal Board pursuant to its Order No. dated , upon hearing the appeal of 2255781 Ontario Inc., under s 34(11) of the Planning Act, R.S.O.1990, c.P. 13 as amended, deems it advisable to amend the former Township of Etobicoke Zoning By-law;

THEREFORE the Zoning By-law of the former Township of Etobicoke is amended as follows:

1. That the Zoning Map referred to in Section 320-5, Article II of the Zoning Code, and originally attached to Township of Etobicoke By-law No. 11,737, is hereby amended by changing the classification of the lands located in former Township of Etobicoke as described in Schedule 'A' annexed hereto from Commercial Planned Local (CPL) to Second Density Residential Zone (R2) and Fourth Density Residential Zone (R4G)
2. Notwithstanding the provisions of Section 304-3 "Definitions" of the Etobicoke Zoning Code, the following development standards and definitions shall now be applicable to the lands identified on Schedule 'A' attached hereto:

A. Definitions

- (i) Hard Landscaping: For the purposes of this By-law, "hard landscaping" shall constitute stone, brick, interlocking concrete pavers and/or patterned impressed concrete.
- (ii) Soft Landscaping: For the purposes of this By-law, "soft landscaping" shall constitute sod and/or gardens.
- (iii) Minor Projections: For the purposes of this By-law, "minor projections" mean building elements which may project from the main wall of the building, including chimney breasts, roof eaves, bay windows, railings, cornices, guard rails and balustrades.
- (iv) Exterior Side Yard: For the purposes of this By-law "exterior side yard" means the side yard that abuts a municipal road or the boundary of the property with the municipal address of 50 Firwood Crescent in 2011.
- (v) Interior Side Yard: For the purposes of this By-law "interior side yard" means any other side yard.

B. Permitted Uses

No building or structures shall be erected or used on the Lands, except for the following uses:

- (i) Only townhouse dwellings and/or semi-detached dwellings are permitted in the area with a zone symbol of R4G.
- (ii) Only single-detached dwellings are permitted in the areas with a zone symbol R2.

- (iii) A temporary sales office for the purpose of marketing and sales of units related to the development on the lands identified in Schedule “A” shall be permitted and shall be exempt from all development standards listed in this By-law or the Zoning Code

C. Development Standards

	Total for Areas with a zone symbol R2	Area with a zone symbol R4G
Maximum number of townhouse or semi-detached dwellings	Nil	18 (eighteen)
Maximum number of single-detached dwellings	7 (seven)	Nil
Maximum height	9.8 metres	11.7 metres
Minimum lot area	As shown on Schedule “B”	As shown on Schedule “B”
Front yard landscaping (excluding the driveway)	Minimum 60% soft landscaping	Minimum 50% soft landscaping
Minimum front and rear yard setbacks	As shown on Schedule “B”	As shown on Schedule “B”
Minimum frontage	As shown on Schedule “B”	As shown on Schedule “B”
Minimum side yard setback (interior)	As shown on Schedule “B”	As shown on Schedule “B”
Minimum side yard setback (exterior)	As shown on Schedule “B”	As shown on Schedule “B”
Maximum distance a minor projection may extend from a unit	0.9 metres	0.9 metres
Maximum width of driveway	3.0 metres	3.0 metres
Minimum number of parking spaces in attached private garages having internal dimensions of at least 3.0 metres wide by 6.0 metres long	1 (one) per dwelling unit	1 (one) per dwelling unit
Minimum number of private parking spaces in front of the garage having dimensions of at least 3.0 metres wide by 6.0 metres long	1 (one) per dwelling unit	1 (one) per dwelling unit

3. Within the lands shown with the zone symbol R4G on Schedule “A” attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
- (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.
4. Within the lands shown with the zone symbol R2 on Schedule “A” attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.
5. Where the provisions of this By-law conflict with the provisions of the former City of Etobicoke Zoning Code, the provisions of this By-law shall take precedence.
6. Chapter 324, Site Specifics, of the Etobicoke Zoning Code, is hereby amended to include reference to this By-law by adding the following to Section 324-1, Table of Site Specific By-law:

BY-LAW NUMBER AND ADOPTION DATE	DESCRIPTION OF PROPERTY	PURPOSE OF BY-LAW
~ - 2011	Lands located north and west of Lloyd Manor Road and Firwood Crescent, municipally known as 50 Firwood Crescent.	To rezone the lands from Planned Commercial Local (CPL) to Second Density Residential Zone (R2) and Fourth Density Residential Zone (R4G) to permit up to 18 townhouse and semi-detached dwellings and up to 7 single-detached dwellings, subject to site specific development standards.

ENACTED AND PASSED this ~ day of ~, A.D. 20~.

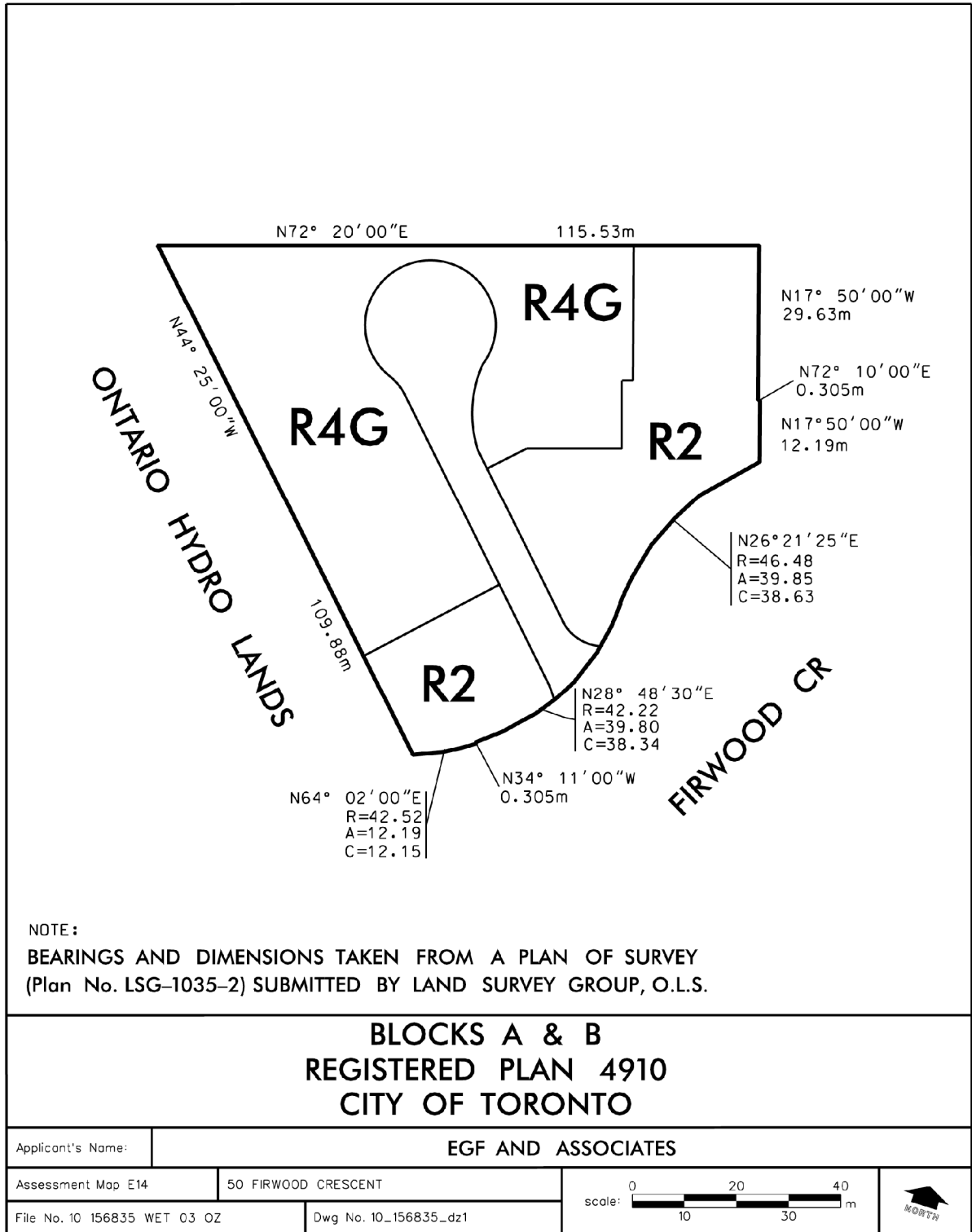
ROB FORD,
Mayor

ULLI S. WATKISS,
City Clerk

(Corporate Seal)

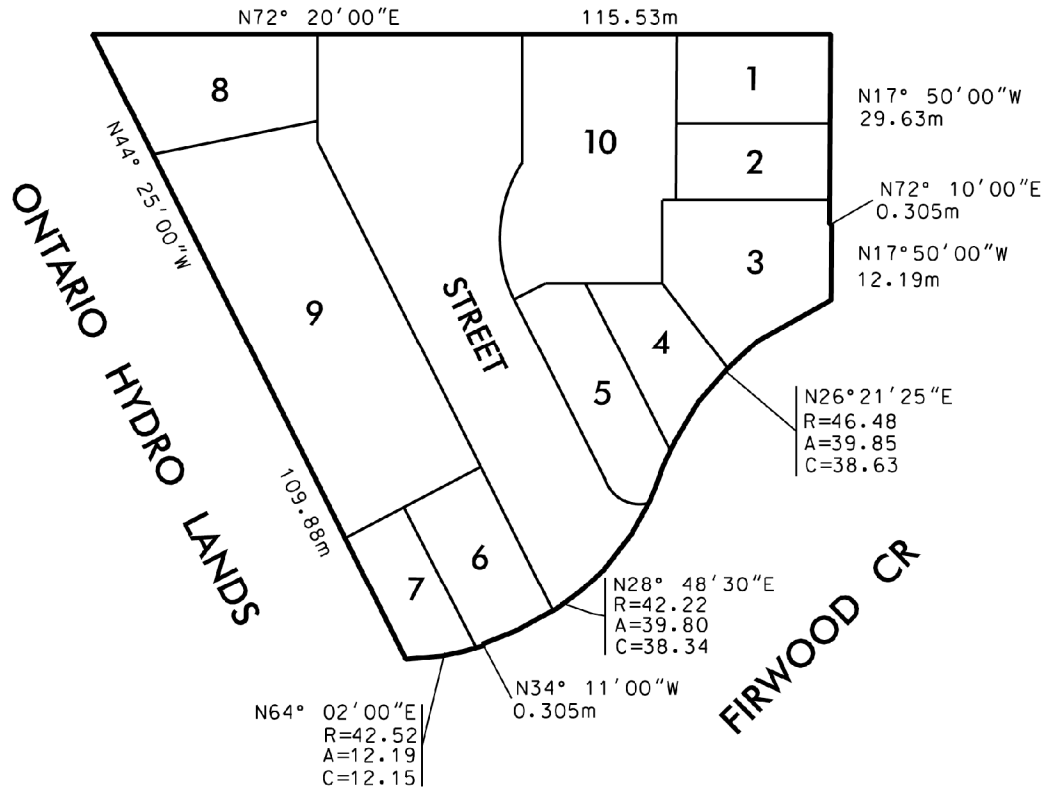


Schedule 'A' BY-LAW





Schedule 'C' BY-LAW

**NOTE:**

BEARINGS AND DIMENSIONS TAKEN FROM A PLAN OF SURVEY
(Plan No. LSG-1035-2) SUBMITTED BY LAND SURVEY GROUP, O.L.S.

**BLOCKS A & B
REGISTERED PLAN 4910
CITY OF TORONTO**

Applicant's Name:		EGF AND ASSOCIATES		
Assessment Map E14		50 FIRWOOD CRESCENT		<div>scale:  m</div> <div> NORTH</div>
File No. 10 156835 WET 03 OZ		Dwg No. 10_156835_dz3		



SCHEDULE B

Development Standard	Block or Lot No.	1	2	3	4	5	6	7	8	9	10
Type of Dwellings T=Townhouse or Semi-Detached D= Single Detached		D	D	D	D	D	D	D	T	T	T
Maximum Number of Dwelling Units		1	1	1	1	1	1	1	2	10	6
Minimum lot area (m ²)		330	280	530	270	380	340	240	505	1530	960
Minimum front yard setback (metres)		6.0	6.0	6.7	3.4	7.9	6.6	4.1	7.4	6.0	6.0
Minimum lot frontage per dwelling unit (metres)		14.0	12.0	25.0	13.0	11.0	13.0	10.0	7.0	6.0	6.0
Minimum rear yard setback (metres)		8.0	8.0	8.0	5.0	10.0	8.0	8.0	8.0	6.0	6.0
Minimum side yard setback (interior) (metres)		1.2	1.2	1.2	1.2	1.2	1.2	1.5	1.0	1.0	1.2
Minimum side yard setback (exterior) (metres)		2.0	N/A	N/A	N/A	0.9	3.45	0.9	2.0	N/A	2.0

Note: Blocks and Lots are as illustrated on Schedule C