



STAFF REPORT ACTION REQUIRED

42 Park Lawn Road - Zoning Amendment Application - Preliminary Report

Date:	August 9, 2011
To:	Etobicoke York Community Council
From:	Director, Community Planning, Etobicoke York District
Wards:	Ward 6 – Etobicoke-Lakeshore
Reference Number:	11 205554 WET 06 OZ

SUMMARY

This application proposes a 41 storey residential building with 345 units and a separate two storey commercial building at 42 Park Lawn Road.

This report provides preliminary information on the above-noted application and seeks Community Council's directions on further processing of the applications and on the community consultation process.

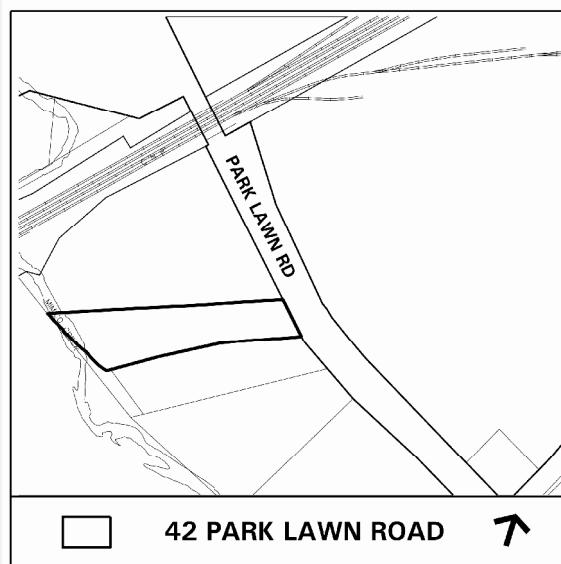
City Planning staff propose a community consultation meeting in the fourth quarter of 2011 to allow the applicant to present the proposal to the community. A further staff report and statutory public meeting is targeted for the second quarter of 2012.

These target dates assume that the applicant will provide all required information in a timely manner.

RECOMMENDATIONS

The City Planning Division recommends that:

1. Staff be directed to schedule a community consultation meeting for the lands at 42 Park Lawn Road together with the Ward Councillor.



2. Notice for the community consultation meeting be given to landowners and residents within 120 metres of the site.
3. Notice for the public meeting under the Planning Act be given according to the regulations under the Planning Act.

Financial Impact

The recommendations in this report have no financial impact.

DECISION HISTORY

This site is one of four properties referred to as the Park Lawn Block. The Block consists of 60-80 Park Lawn Road, 42 Park Lawn Road, 36 Park Lawn Road and 2200 Lake Shore Boulevard West and 10 Park Lawn Road.

In 2005, applications for Official Plan and Zoning amendments to redesignate the properties from Employment to Mixed Use were filed. These applications were appealed to the Ontario Municipal Board (OMB). During the OMB proceedings, the owners of 36 Park Lawn Road and 42 Park Lawn Road became parties to the hearing and requested that the OMB modify the proposed Official Plan amendment to enable the Block to be treated as a whole providing consistency across all four properties in terms of land use designations. OMB Decision 2919, dated October 18, 2006, redesignated the Official Plan land use from Employment to Mixed Use for the entire Block. Since 42 Park Lawn Road did not have development applications at the time of the OMB hearing, it was the decision of the OMB that should redevelopment of the site occur in the future, the appropriate zoning by-law amendment and site plan applications would need to be made in order to implement the Mixed Use permissions of the Official Plan. The owner has now submitted an application for zoning amendment for the site.

The site at 36 Park Lawn Road, immediately to the south, was recently subject to an Ontario Municipal Board hearing. An OMB decision dated June 17, 2011, approved a rezoning application for a 36 storey residential building and a two storey commercial building. The site plan was approved in principle. The final Order is being withheld until the site plan is finalized.

Pre-Application Consultation

A pre-application consultation meeting was held with the applicant to discuss complete application submission requirements.

ISSUE BACKGROUND

Proposal

The proposed development is a mixed use project consisting of a 41 storey residential building and a separate 2 storey commercial building. The residential building is proposed to be centrally located on the lot and contains 345 units. The tower is proposed to rise from a two storey podium and have a floor plate not larger than 750 square metres. The location of the tower portion of the building has been situated to provide separation space to the residential developments to the north and the south, as outlined in the City's Tall Building Guidelines.

A separate two storey commercial building with approximately 750 square metres of floor space is proposed adjacent to Park Lawn Road. An internal driveway will separate the proposed commercial building from the residential buildings.

Vehicular access to the site will be from an internal road way connecting to a new signalized intersection at 10 Park Lawn Road to the south. This new internal road will provide access to all the Block properties and is consistent with the OMB approval for the Block to reduce the number of driveways along the Park Lawn Road frontage. Access to the residential building will be from a circular driveway in front of the building. Access to the underground parking will be on the north side of the residential building. The proposal will provide 325 parking spaces in four levels of underground parking. Visitor parking is proposed both on the surface and in the underground parking structure.

The site is adjacent to the Mimico Creek Valley and the development proposes a new top of bank and buffer area. A trail system is proposed to be developed in the buffer area and final details are to be determined with the Toronto and Region Conservation Authority (TRCA).

Site and Surrounding Area

The site is located on the west side of Park Lawn Road south of the Gardiner Expressway and north of Lake Shore Boulevard West. The site area is approximately 0.66 hectares with approximately 33.57 metres of frontage on Park Lawn Road. The site is generally flat and drops substantially in grade at the rear of the property adjacent to the Mimico Creek Valley. A retaining wall marks the top of bank and the break in the property from the flat surface to the slope towards the creek. The site is currently vacant but was previously developed with a commercial building occupied by a bakery.

Land uses surrounding the site are as follows:

North: Immediately to the north is 60-80 Park Lawn Road, a site currently under construction with the South Beach development consisting of two residential buildings and a two storey commercial building adjacent to Park Lawn Road.

South: Immediately to the south is a vacant two storey industrial building formerly used as a print shop. At a recent OMB hearing, approval has been granted for a 36 storey residential with 314 units and a separate two storey commercial building adjacent to Park Lawn Road.

East: To the east, across Park Lawn Road is an industrial building occupied by Mr. Christies Bakery (Kraft) and a bank.

West: Immediately to the west is Mimico Creek and valley lands. Further west, across the valley is a mixed use development currently under construction.

Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise use and management of resources; and, protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems and cultivating a culture of conservation. City Council's planning decisions are required to conform, or not conflict, with the Growth Plan for the Greater Golden Horseshoe.

Staff will review the proposed development for consistency with the PPS and for conformity with the Growth Plan for the Greater Golden Horseshoe

Official Plan

The Official Plan designates the site Mixed Use. Mixed Use areas are made up of a broad range of commercial, residential and institutional uses, in single or mixed use buildings, as well as parks and open spaces and utilities. The proposed development is among those permitted in this designation, therefore no amendment is required providing the application complies with all other policies of the Official Plan.

Zoning

The site is zoned Industrial Class 1 (IC.1). The IC.1 zone permits manufacturing, vehicle related uses, education and research, institutional and storage and warehousing uses.

Site Plan Control

The proposed development is subject to site plan control. An application has yet to be submitted.

Ravine Control

The western portion of the site is part of the Mimico Creek valley system and is subject to provisions of the City of Toronto Municipal Code Chapter 658 - Ravine Protection. Any developments within designated ravine and natural protection areas may require a permit from the Urban Forestry. Forestry staff will be reviewing the submitted material.

Toronto and Region Conservation Authority

The western portion of the site falls within an area regulated by Toronto and Region Conservation Authority O. Reg. 166/06. A permit is required from TRCA for any development or site alteration within the regulated area. TRCA staff will review the proposal to ensure compliance with the concept for the Mimico Creek improvements.

Tree Preservation

The site is subject to the provisions of the City of Toronto Municipal Code, Chapter 813 for Street Trees and Private Tree By-laws. The applicant has submitted an Inventory/Arborist Report and Conservation Plan which are under review by staff.

Reasons for the Application

The proposed residential and commercial development does not comply with the permitted uses in the IC.1 zone of the former City of Etobicoke Zoning Code.

COMMENTS

Application Submission

The following reports/studies were submitted with the application:

- Planning and Urban Design Rationale (including Community Services and Facilities Inventory)
- Survey
- Context Plan and Statistics
- Site Plan
- Residential Building Floor Plans, Roof Plan, Elevations and Sections
- Commercial Building Floor Plans and Elevations
- Underground Garage Plans

- Toronto Green Standard Checklist
- Natural Heritage Impact Study and Ravine Stewardship Plan
- Landscape Concept Plan and Tree Inventory and Assessment Report/Arborist Report
- Development Impact and Tree Conservation Plan
- Stage 1 and 2 Archaeological Assessment
- Preliminary Pedestrian Level Wind Study
- Sun/Shadow Study
- Traffic Impact and Parking Study
- Geotechnical Study
- Functional Servicing and Stormwater Management Report
- Phase 1 Environmental Site Assessment
- Environmental Air Quality and Odour Study
- Environmental Noise and Vibration Study

A Notification of Complete Application was issued on June 27, 2011.

Issues to be Resolved

City Planning has circulated the application, plans and studies to other city divisions and agencies. Staff will review and discuss with the applicant the issues that have been identified on a preliminary basis that are listed below, plus any others that may be identified through further review, agency comments and community consultation:

- Height of the residential tower in relation to the context of the adjacent developments
- Traffic impacts
- Servicing capacity
- Relationship of development to the valley and conformity with concept plan for Mimico Creek Improvements
- Relationship of the commercial building to Park Lawn Road frontage
- Continuation of Park lawn streetscape connection to the waterfront
- Identification and securing of community benefits under Section 37 of the Planning Act
- Public art opportunities

Toronto Green Standard

Green Standard (TGS) is a tool to implement the broader environmental policies of the Official Plan. Several of the natural environment policies of the Official Plan encourage green development. These policies are geared to reduce the negative impacts of development on the natural environment through practices such as improved stormwater management, water and energy efficiency, and waste reduction and recycling. These policies also promote development that enhances the natural environment and support green industry.

The TGS Checklist has been submitted by the applicant and is currently under review by City staff for compliance with the Tier 1 performance measures.

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

CONTACT

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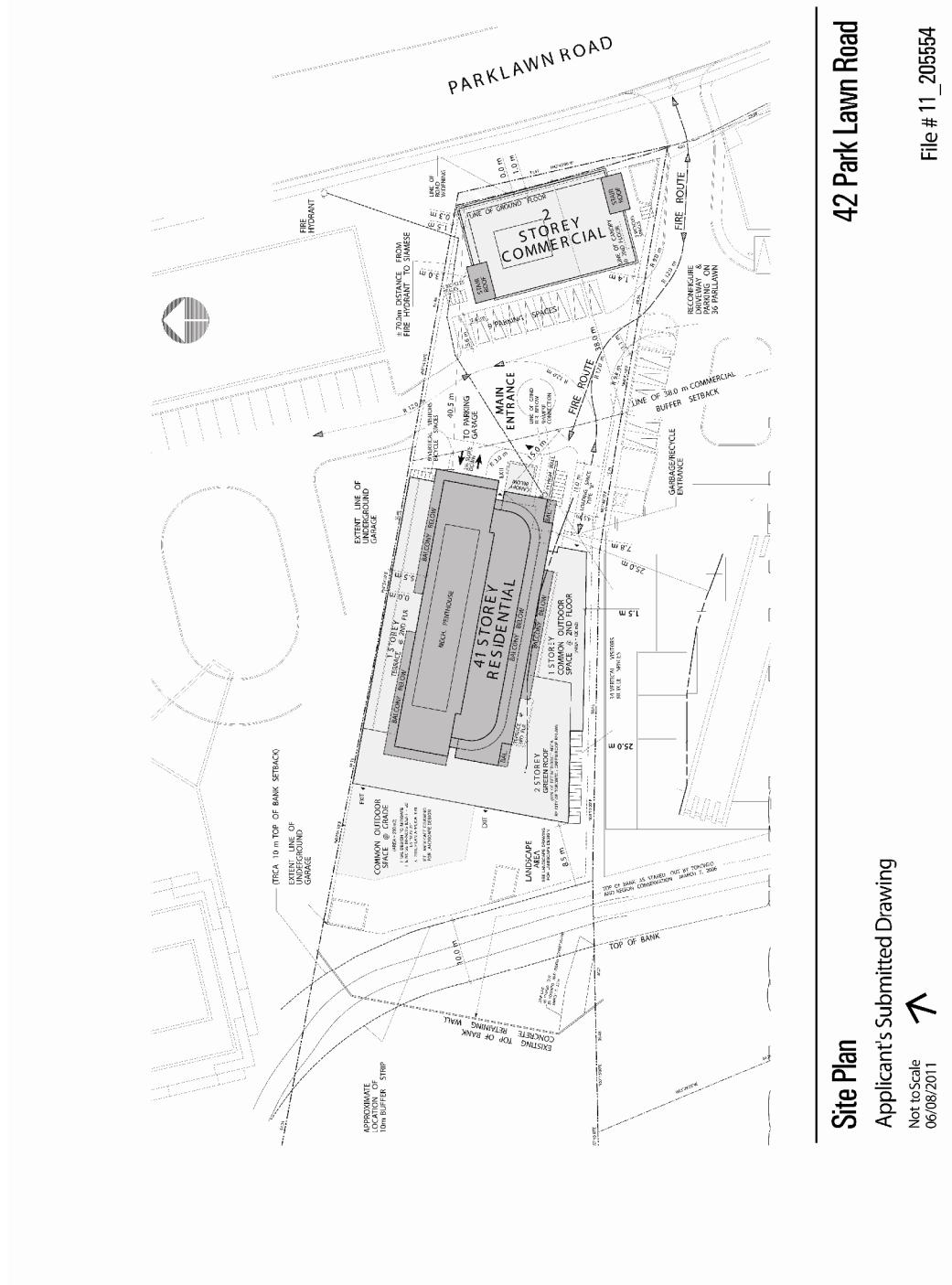
SIGNATURE

Thomas C. Keefe
Director, Community Planning
Etobicoke York District

ATTACHMENTS

- Attachment 1: Site Plan
- Attachment 2: Elevations – Commercial Building
- Attachment 3: Elevations - South
- Attachment 4: Elevations – East
- Attachment 5: Zoning
- Attachment 6: Application Data Sheet

Attachment 1: Site Plan



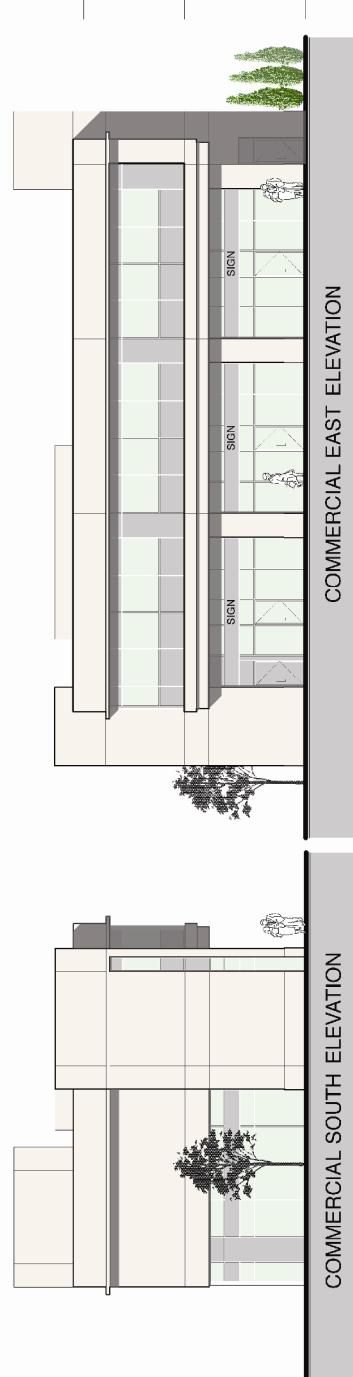
Site Plan

Applicant's Submitted Drawing

Not to Scale
06/08/2011

File # 11 205551

Attachment 2: Elevations- Commercial Building

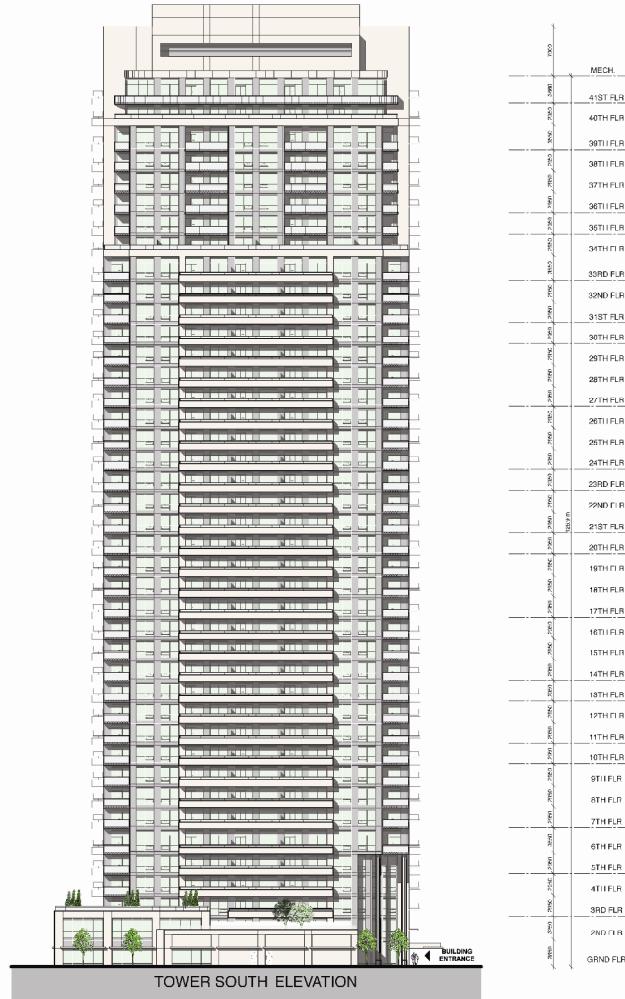


42 Park Lawn Road

File # 11_205554

Elevations
Applicant's Submitted Drawing
Not to Scale
06/08/2011

Attachment 3: Elevations – South



Elevations

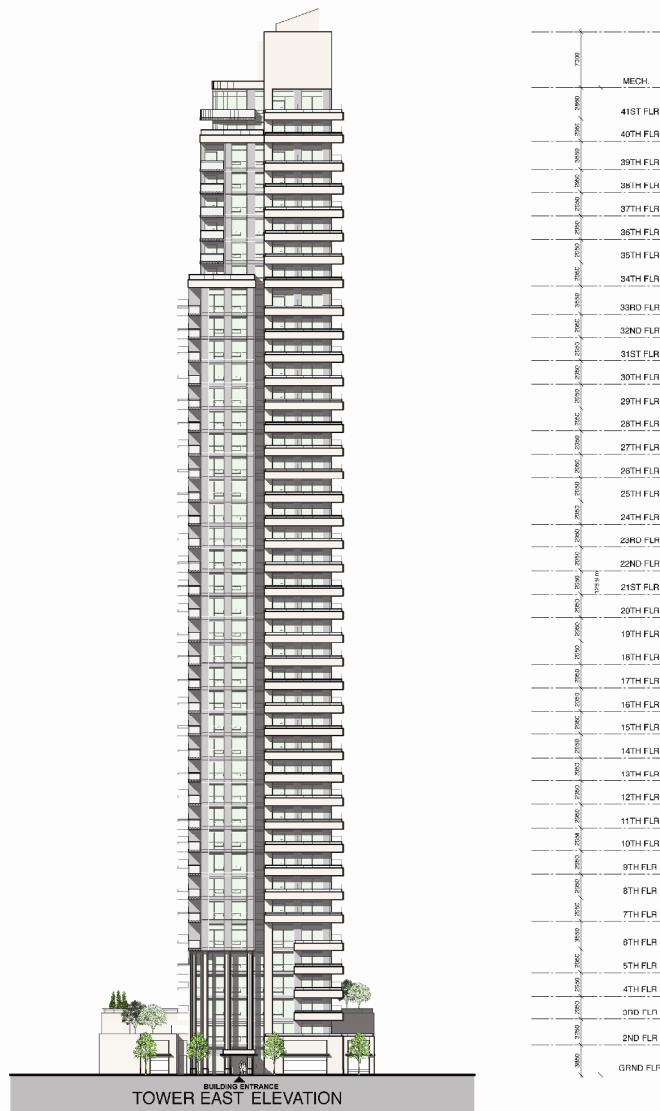
Applicant's Submitted Drawing

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Attachment 4: Elevations – East



Elevations

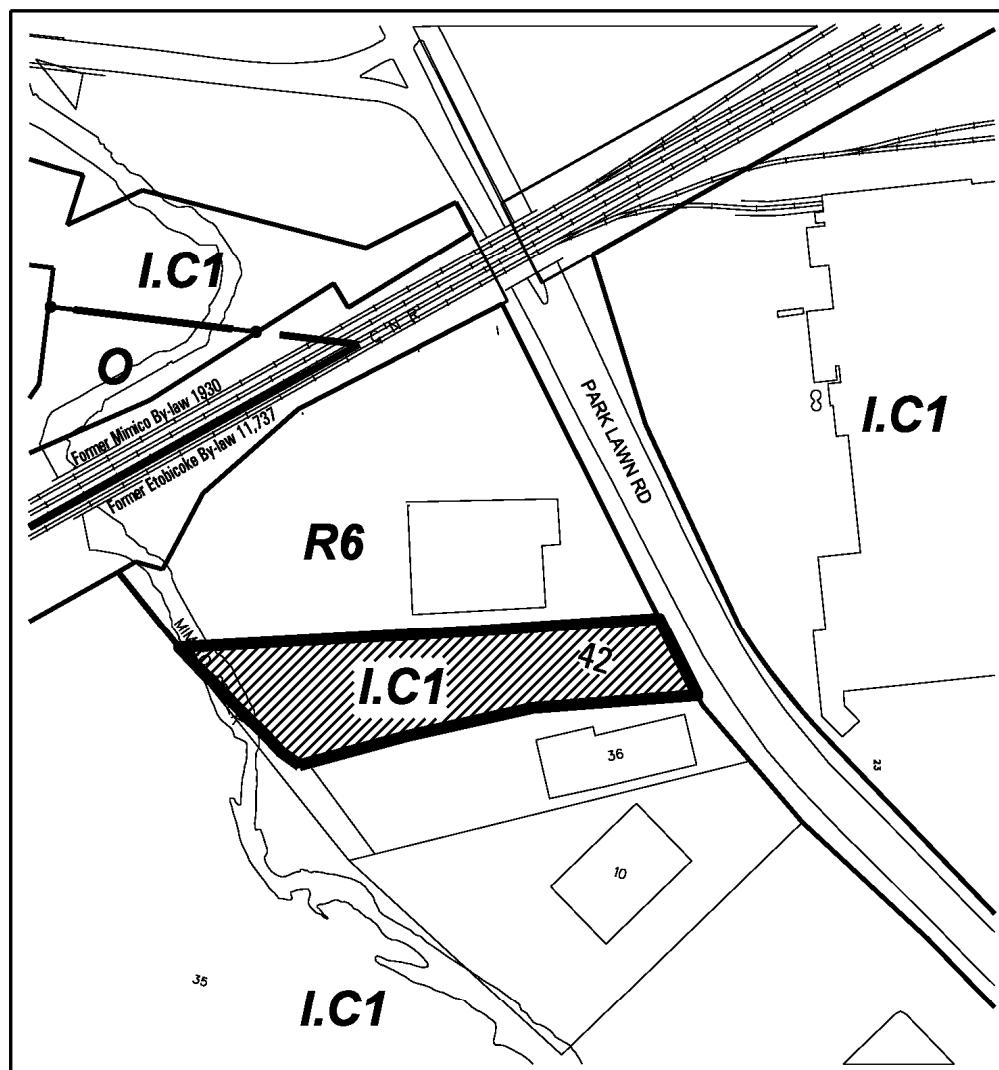
Applicant's Submitted Drawing

Not to Scale
06/08/2011

42 Park Lawn Road

File # 11_205554

Attachment 5: Zoning



TORONTO City Planning
Zoning

42 Park Lawn Road

File # 11_205554

Former Mimico By-law 1930
O Temporary Open Space

Former Etobicoke By-law 11,737
I.C1 Industrial Class 1
R6 Residential Sixth Density

Not to Scale
Zoning By-law 7625 as amended
Extracted 06/08/2011 - JM

Attachment 6: Application Data Sheet

Application Type Details	Rezoning Rezoning, Standard	Application Number: 11 205554 WET 06 OZ Application Date: May 30, 2011	
Municipal Address:	42 PARK LAWN RD		
Location Description:	PLAN 83 PT LOT 7 RP 66R14616 PARTS 6 & 7 **GRID W0608		
Project Description:	Proposed amendments to the Etobicoke Zoning Code to permit the development of a 41 storey apartment building containing 345 units.		
Applicant:	Agent:	Architect:	Owner:
BOUSFIELD INC			PETRO J DEVELOPMENTS LIMITED

PLANNING CONTROLS

Official Plan Designation:	Employment Areas	Site Specific Provision:
Zoning:		Historical Status:
Height Limit (m):		Site Plan Control Area:

PROJECT INFORMATION

Site Area (sq. m):	6596.61	Height:	Storeys: 41
Frontage (m):	33.59	Metres:	126.9
Depth (m):	0		
Total Ground Floor Area (sq. m):	1892.25		Total
Total Residential GFA (sq. m):	32360	Parking Spaces:	377
Total Non-Residential GFA (sq. m):	750	Loading Docks	0
Total GFA (sq. m):	33110		
Lot Coverage Ratio (%):	0		
Floor Space Index:	5.04		

DWELLING UNITS

FLOOR AREA BREAKDOWN (upon project completion)

Tenure Type:	Condo	Above Grade	Below Grade
Rooms:	0	Residential GFA (sq. m):	32360
Bachelor:	0	Retail GFA (sq. m):	355
1 Bedroom:	196	Office GFA (sq. m):	395
2 Bedroom:	149	Industrial GFA (sq. m):	0
3 + Bedroom:	0	Institutional/Other GFA (sq. m):	0
Total Units:	345		

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