

**784 Sheppard Avenue East - Zoning Amendment
Application - Preliminary Report**

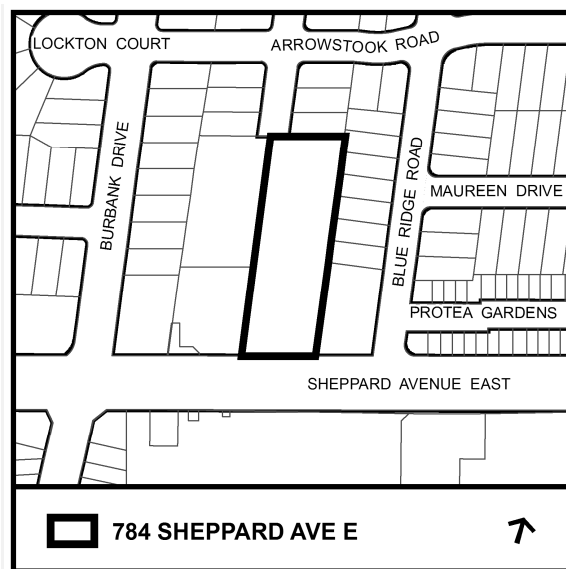
Date:	December 17, 2012
To:	North York Community Council
From:	Director, Community Planning, North York District
Wards:	Ward 24 – Willowdale
Reference Number:	12 261537 NNY 24 OZ

SUMMARY

This application proposes to rezone the lands at 784 Sheppard Avenue East to permit the development of a two-storey retail building and a stacked townhouse development of three-storeys in height containing 48 residential units. The existing one-storey retail building would be demolished.

This report provides preliminary information on the above-noted application and seeks Community Council's directions on further processing of the application and on the community consultation process.

This report recommends that a Community Consultation Meeting be held to present the proposal to the public, and to obtain public input. Should the applicant provide all required information in a timely manner, a Final Report could be prepared, and a public meeting held, in the third quarter of 2013.



RECOMMENDATIONS

The City Planning Division recommends that:

1. Staff be directed to schedule a Community Consultation Meeting for the lands at 784 Sheppard Avenue East, together with the Ward Councillor.
2. Notice for the Community Consultation Meeting be given to landowners and residents within 120 metres of the site.
3. Notice for the public meeting under the *Planning Act* be given according to the regulations of the *Planning Act*.

Financial Impact

The recommendations in this report have no financial impact.

DECISION HISTORY

The site currently contains a garden centre which has been the subject of two Committee of Adjustment applications. In 1972 a minor variance application sought an extension to a legal non-conforming use to permit a second storey addition. A second minor variance application in 1987 sought to permit an addition to the west side of the existing building. The variance was required as it was determined the addition was an extension to a legal non-conforming use, identified as a nursery and garden centre. This is the use which is currently operating on the subject site. The application was refused as the Committee felt it was more appropriate to address the use issue through the rezoning process. A rezoning application was not subsequently filed.

Pre-Application Consultation

A pre-application consultation meeting was held with the applicant on August 22, 2012 to discuss complete application submission requirements.

ISSUE BACKGROUND

Proposal

This is an application to rezone the subject lands to permit the development of a two-storey retail building and a stacked townhouse development with 48 units. The retail building would front Sheppard Avenue East, while the stacked townhouses would be situated behind the retail building, adjacent to the abutting low density residential neighbourhood. Two levels of underground parking are proposed below the retail development, and one level of underground parking is proposed below the townhouse development. The overall floor space index of the proposal is 1.14.

The proposed two-storey retail building would have a gross floor area of 3,830 m², a floor space index of 1.15 and a height of 12 metres. A total of 38 bicycle parking spaces and 124 vehicular parking spaces would be provided for the retail portion of the development.

The residential component of the proposed development would consist of stacked townhouses having a total of 48 units. Each townhouse unit would have a gross floor area of approximately 100 m². The stacked townhouses would have an overall floor space index of 1.13 and an overall building height of three storeys or 10.5 metres. The upper units would have access to a private roof top amenity space (see Attachment 3 for floor plans). All units would have two bedrooms. Pedestrian access would be from a sidewalk running along the west side of the property and all vehicular access would be from Sheppard Avenue East. All front doors are located off this walkway. Parking would be provided in one-level of below-grade parking accessed from the retail parking garage. A total of 72 spaces, of which 24 would be dedicated to visitors, are proposed.

Site and Surrounding Area

The property is approximately 7645 m² in size and fronts onto the north side of Sheppard Avenue East. The northwest corner of the site also fronts Denrock Drive. The property is currently the site of Sheridan Nurseries retail store. Parking is currently provided in the front yard between the retail store and the sidewalk.

Abutting uses include:

North: A low-scale residential neighbourhood of primarily detached dwellings.

South: A development block subject to By-law 1094-2002 which allows for multiple mixed-use buildings with a maximum height along Sheppard Avenue East of 12 storeys. Also located on the south side of Sheppard Avenue East is the entrance to Bessarion subway station.

East: A one-storey retail strip plaza and detached dwellings.

West: A two-storey retail strip plaza.

Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise use and management of resources; and protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems

and cultivating a culture of conservation. City Council's planning decisions are required to conform, or not conflict, with the Growth Plan for the Greater Golden Horseshoe.

Staff will review the proposed development for consistency with the PPS and for conformity with the Growth Plan for the Greater Golden.

Official Plan

The Official Plan designates the site, on Map 20, as *Mixed Use Areas* which provides for a broad range of uses. Development in these areas will provide a balance of high quality commercial, residential and institutional uses. These uses should reduce automobile dependency and meet the needs of the local community. It is expected that *Mixed Use Areas* will absorb a large amount of the expected growth within the city. The Official Plan also contains policies respecting built form, transportation and the public realm.

Policy 2 of the *Mixed Use Areas* section of Chapter 4 identifies a number of criteria with regards to transition between developments within *Mixed Use Areas* and adjacent *Neighbourhoods*. The policies requires that new development will locate and mass new buildings to provide a transition between areas of different development intensity and scale through means such as providing appropriate setbacks and a stepping down of heights. Policy 4.5.2(d) also requires that shadowing from new development be limited on adjacent *Neighbourhoods* especially during the spring and fall equinoxes.

The Built Form policies in section 3.1.2 of the Official Plan relate to ensuring that new development in the City can fit harmoniously within the existing area. This includes providing appropriate transition to the existing surrounding area to ensure that the new development will fit within the existing and/or planned context. Transition in scale may be achieved with many “geometric relationships and design method in different combinations” including angular planes, stepping of heights, location and orientation of the building(s) and the use of setbacks and stepbacks of building mass.

The Toronto Official Plan is available on the City's website at:
http://www.toronto.ca/planning/official_plan/introduction.htm

Sheppard East Subway Corridor Secondary Plan

The site is also subject to the Sheppard East Subway Corridor Secondary Plan as set out in Chapter 6, Section 9 of the Official Plan. The site is located in the Bessarion Node of the Secondary Plan which assigns a maximum density of 1.5 FSI to the front portion of the site facing Sheppard Avenue East, as indicated on Map 9-2 (Attachment 5). This portion of the site is deemed to be a “key development area” within the Plan. The rear (north) portion of the site is not identified as a key development area on Map 9-2.

Development within the *Mixed Use Areas* is intended to support the Sheppard Subway Line. New buildings should be set back from the Sheppard Avenue road allowance to

accommodate any widening and any City streetscape initiatives. Building height and massing should minimize any shadowing along streets and open spaces. Further, any development should minimize adverse impacts on the adjacent residential areas. The Secondary Plan calls for transitions in density, height and scale between the development nodes and the stable residential areas. Development will respond sensitively to the nearby low density residential uses and minimize the adverse impact of built form on homes. The Secondary Plan also calls for pedestrian connections between subway station entrances and new development.

The Sheppard East Subway Corridor Secondary Plan is available on the City's website at: http://www.toronto.ca/planning/official_plan/pdf_secondary/9_sheppard_subway_dec2010.pdf

Zoning

The site is currently zoned R4 under former City of North York Zoning By-law No. 7625. This zone permits single detached dwellings, limited home occupations, recreational facilities and a range of institutional uses.

Infill Townhouse Guidelines

The Infill Townhouse Guidelines were approved by City Council in 2003 to address the development impacts of infill townhouses with a focus on “protecting streetscapes and seamlessly integrating new development with existing housing patterns”. The Guidelines consider matters such as open spaces, building location, built form and location of parking. They also consider the interaction between the infill development and the pedestrian environment. While the Guidelines do not specifically address stacked townhouses, they do provide standards for matters such as angular planes, landscaping and setbacks. Staff will use the Guidelines to assist the review of the proposed townhouse development.

Site Plan Control

A Site Plan Control application has been filed for the retail component of the proposal and is being reviewed concurrently with the application for rezoning. A Site Plan Control application is also required for the residential component of the development; this application is expected to be submitted when a residential developer has purchased this portion of the lands.

Reasons for the Application

The application is required as retail uses are not permitted in the R4 zone and townhouses are not a permitted residential building type in the R4 zone.

COMMENTS

Application Submission

The following reports/studies were submitted with the application to amend the Zoning By-law:

- Planning Rationale Report
- Traffic Impact and Parking Study
- Arborist Report
- Municipal Servicing Report
- Stormwater Management report
- Phase 1 Environmental Site Assessment
- Draft Zoning By-law
- Toronto Green Standard Checklist (TGS)
- Toronto Green Standard Statistics Template for non-residential development
- Toronto Green Standard Statistics Template for low-rise residential development

A Notification of Complete Application was issued on October 31, 2012.

Issues to be Resolved

On a preliminary basis, the following issues have been identified. Other issues may be identified through the community consultation process and the processing of this application:

- Conformity with the Official Plan and the Sheppard East Subway Corridor Secondary Plan.
- Whether stacked townhouses are an appropriate building type and the appropriateness of the density proposed.
- Whether locating townhouses behind the proposed retail store is appropriate.
- Conformity with the Infill Townhouse Guidelines.
- Whether the proposed residential height, density and massing is appropriate for the site.
- If a Site Plan Control application for the residential component should be submitted prior to any Zoning By-law being enacted on the site.
- Whether the vehicular access to the site, including the residential component is sufficient and appropriate.
- Traffic impacts relating from the proposed uses.

The TGS is currently under review by City staff for compliance with the Tier 1 performance measures.

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

CONTACT

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SIGNATURE

Allen Appleby, Director
Community Planning, North York District

ATTACHMENTS

Attachment 1: Site Plan

Attachment 2: Elevations

Attachment 3: Stacked Townhouse Floor Plans

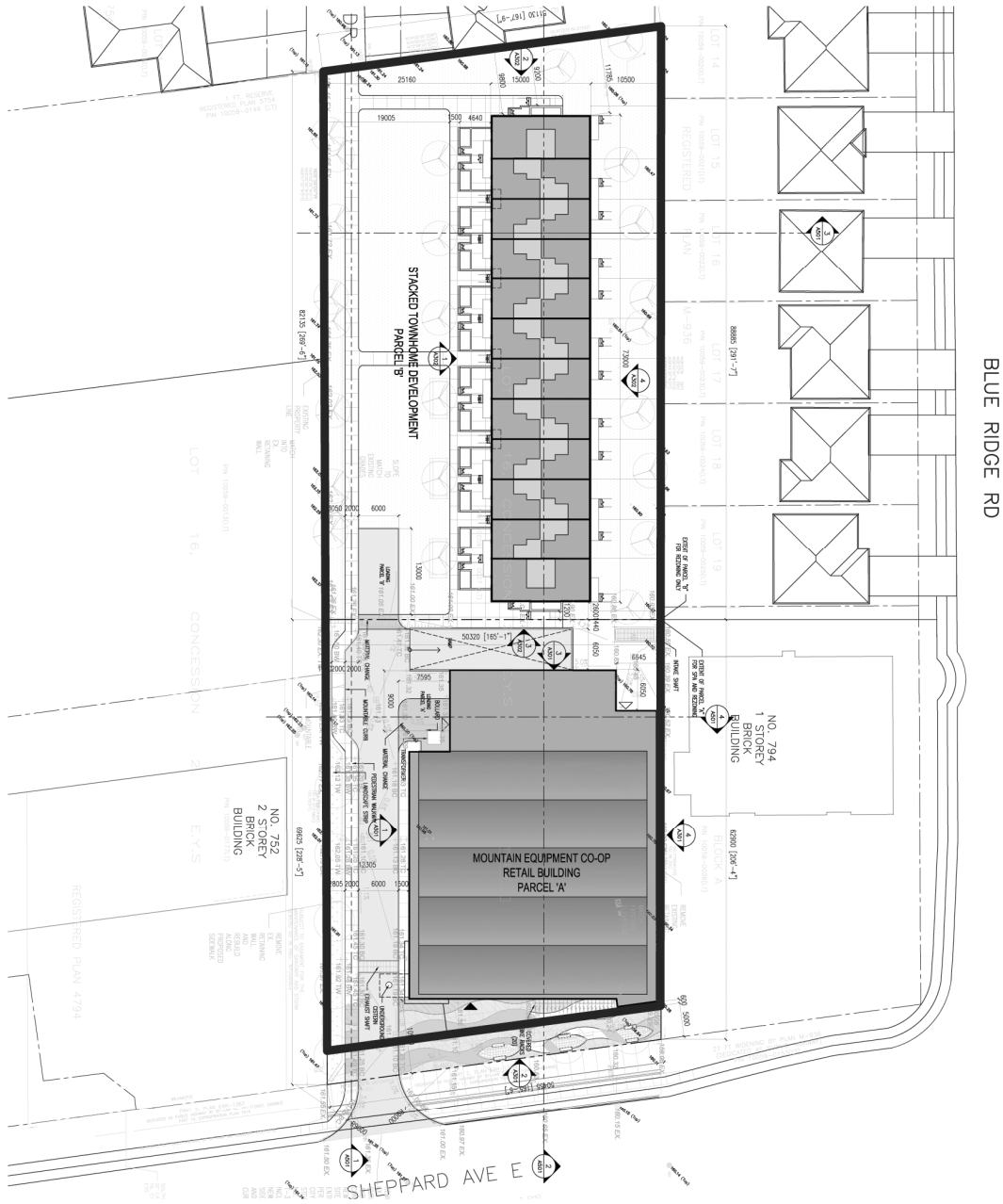
Attachment 4: Townhouse Cross Section

Attachment 5: Sheppard East Subway Corridor Secondary Plan Map

Attachment 6: Zoning

Attachment 7: Application Data Sheet

Attachment 1: Site Plan



Site Plan

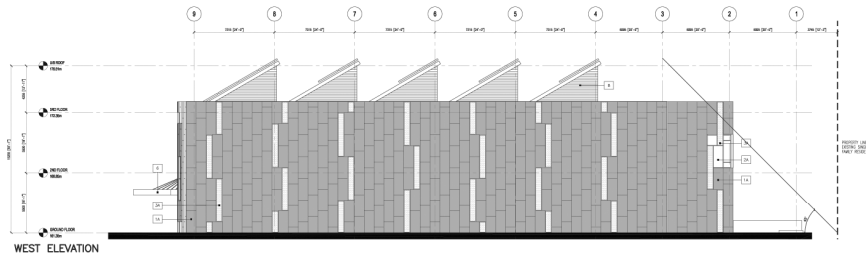
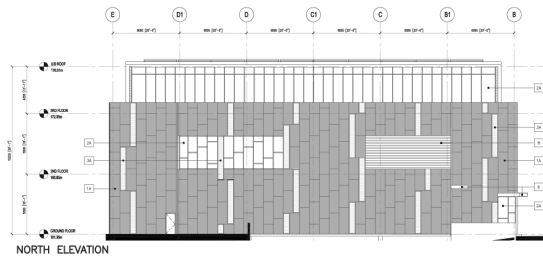
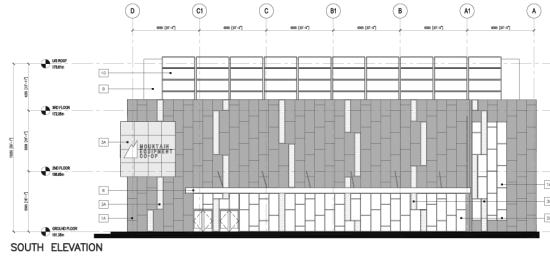
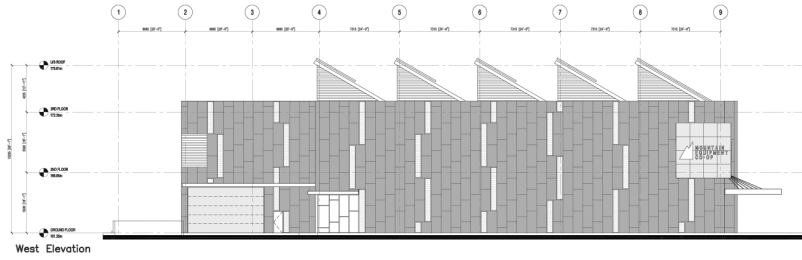
784 Sheppard Ave E

Applicant's Submitted Drawing

Not to Scale 

File # 12 261537 NNY 24 0Z

Attachment 2: Elevations



Elevations - Parcel A

Applicant's Submitted Drawing

Not to Scale
10/22/12

784 Sheppard Ave E

File # 12 261537 NNY 24 0Z



West Elevation



North Elevation



South Elevation



East Elevation

Elevations - Parcel B

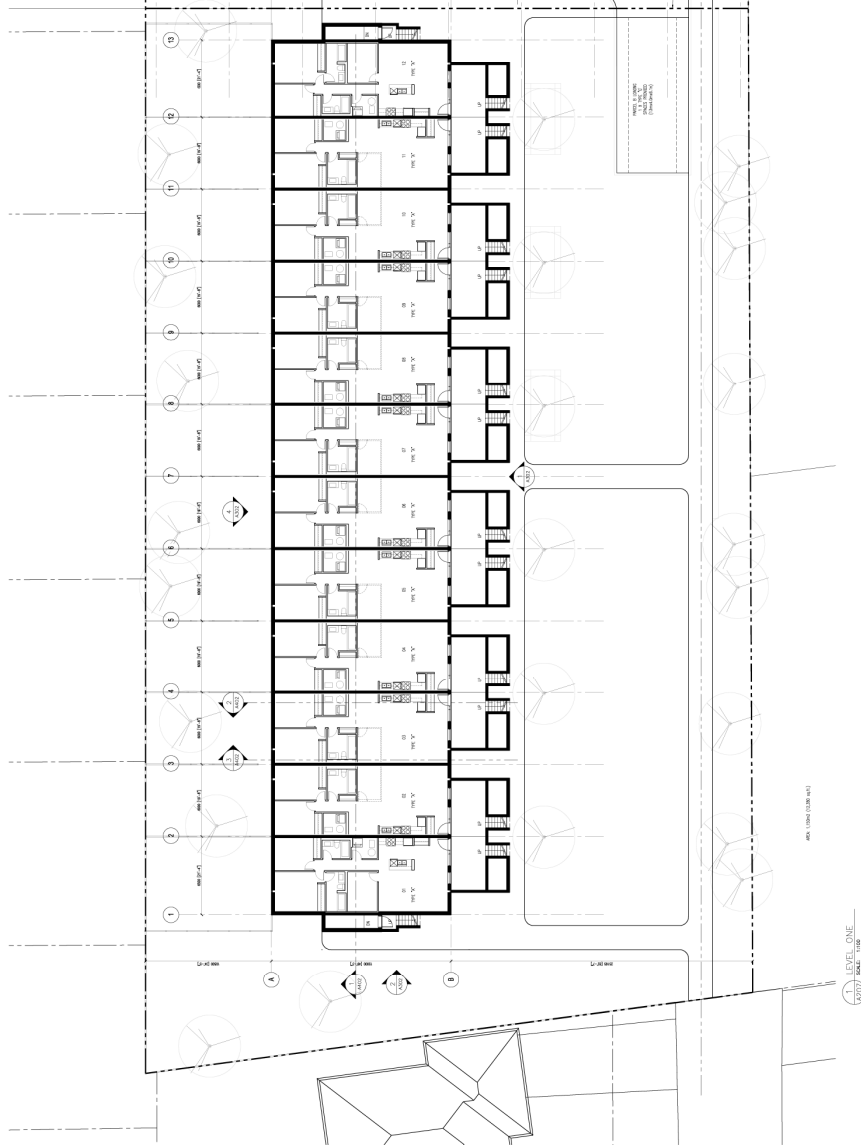
Applicant's Submitted Drawing

Not to Scale
10/22/2012

784 Sheppard Ave E

File # 12 261537 NNY 24 0Z

Attachment 3: Stacked Townhouse Floor Plans

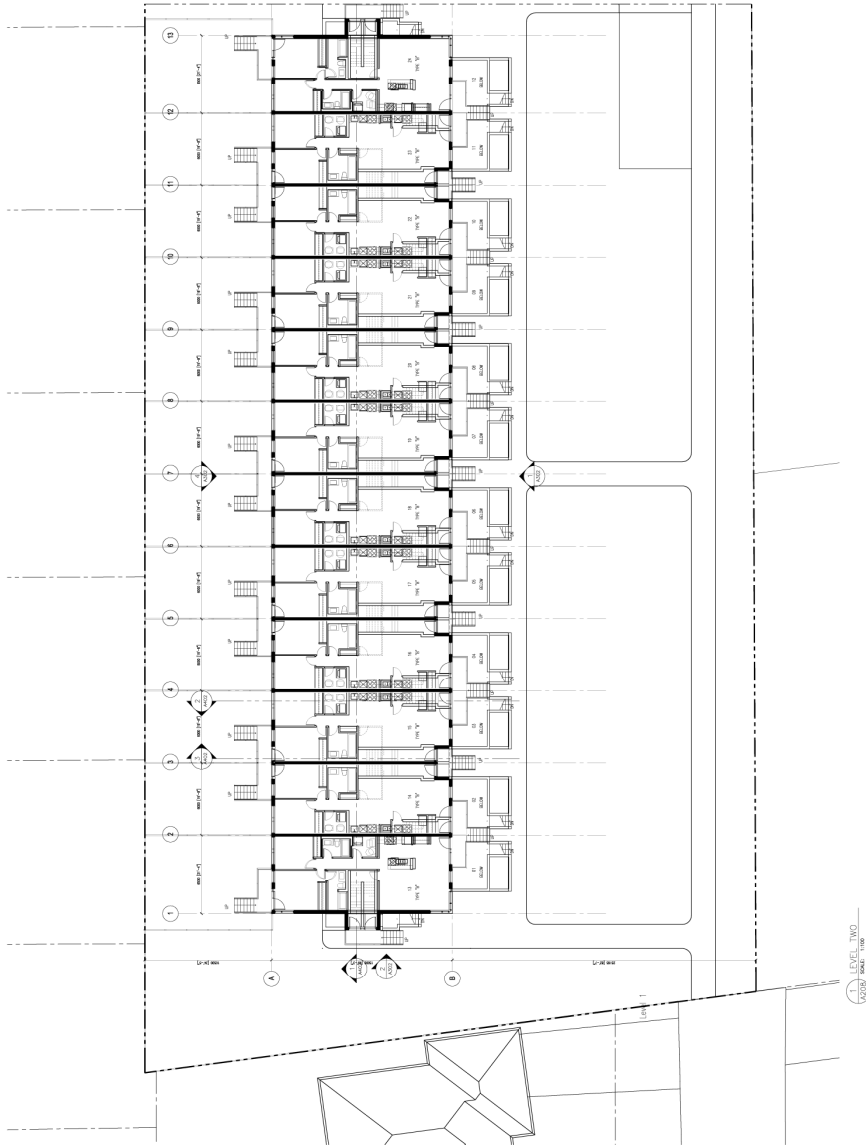


784 Sheppard Ave. East

Floor Plan 1
Applicant's Submitted Drawing

File # 12 261537 NNY 24 0Z

Not to Scale
11/15/2012



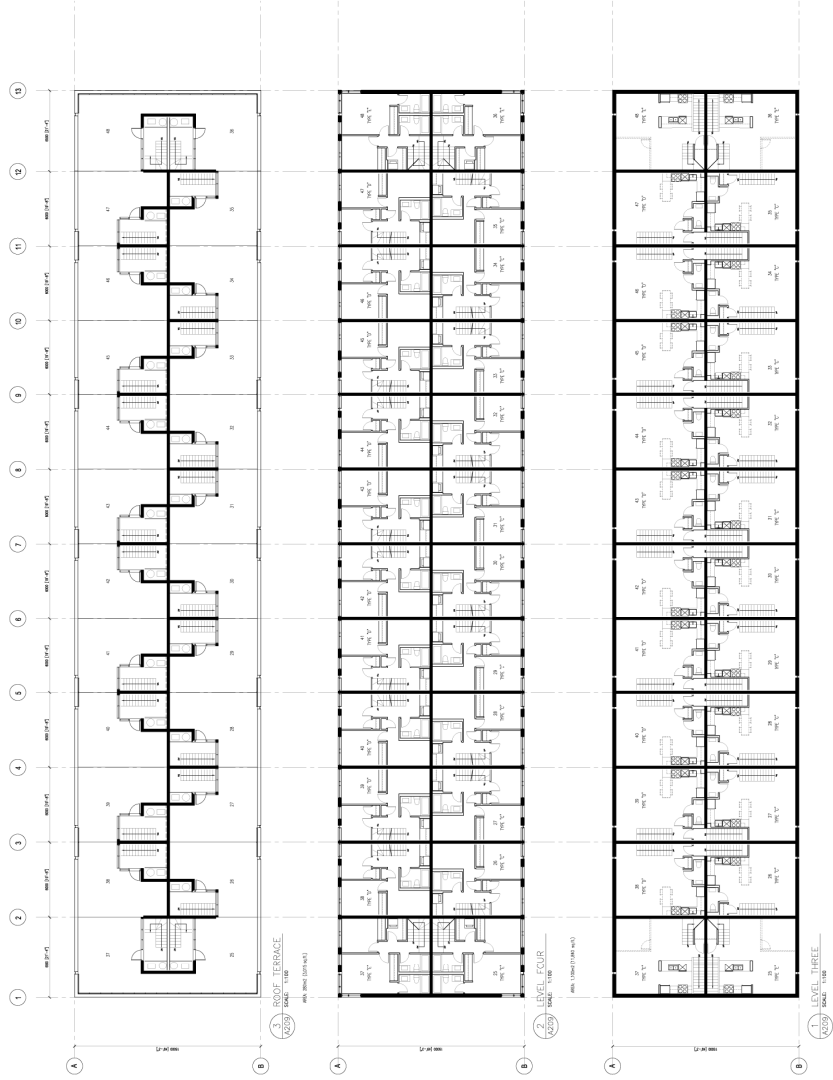
Floor Plan 2

Applicant's Submitted Drawing

Not to Scale
11/15/2012

784 Sheppard Ave. East

File # 12 261537 NNY 24 02



Floor Plan 3

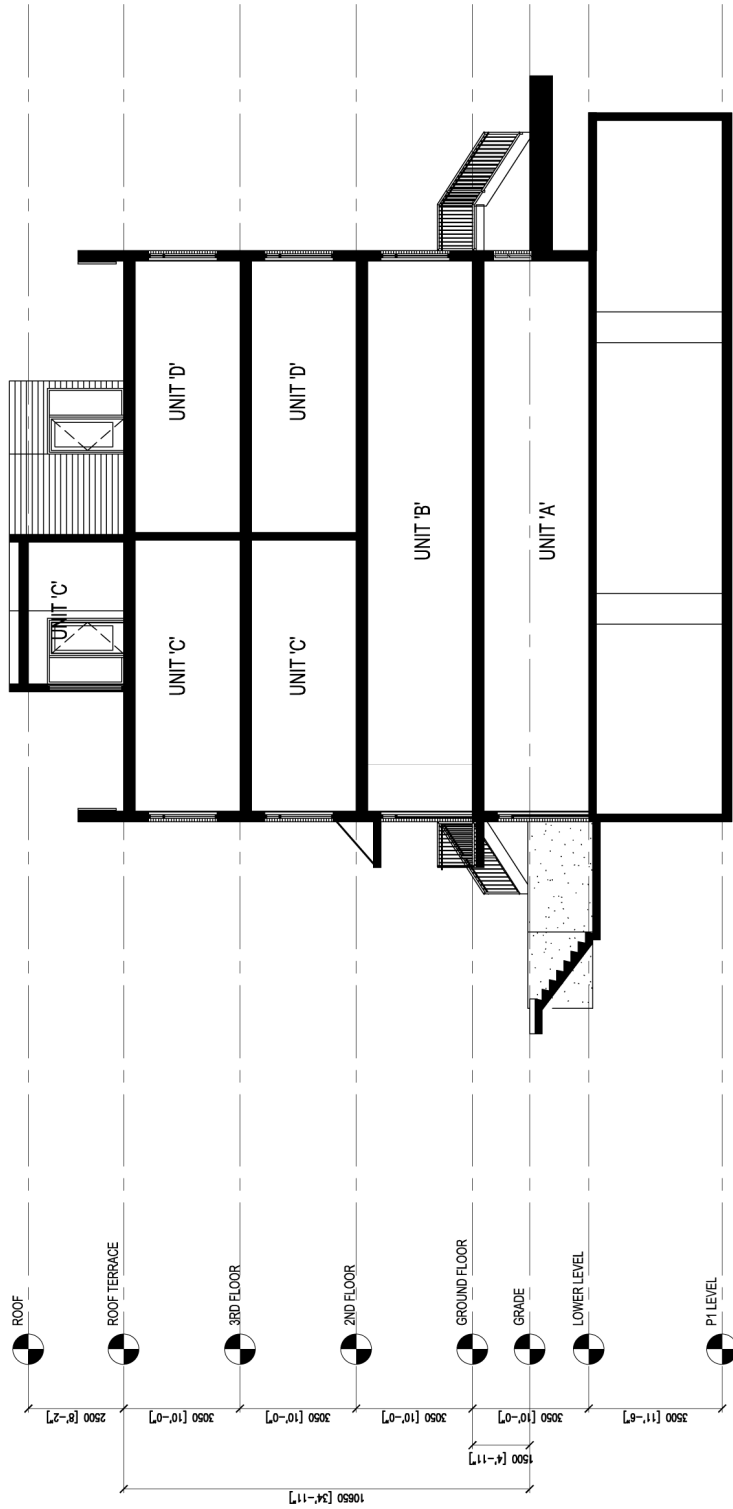
Applicant's Submitted Drawing

Not to Scale
11/15/2012

784 Sheppard Ave. East

File # 12.261537 NNY 24.0Z

Attachment 4: Townhouse Cross Section



784 Sheppard Ave. East

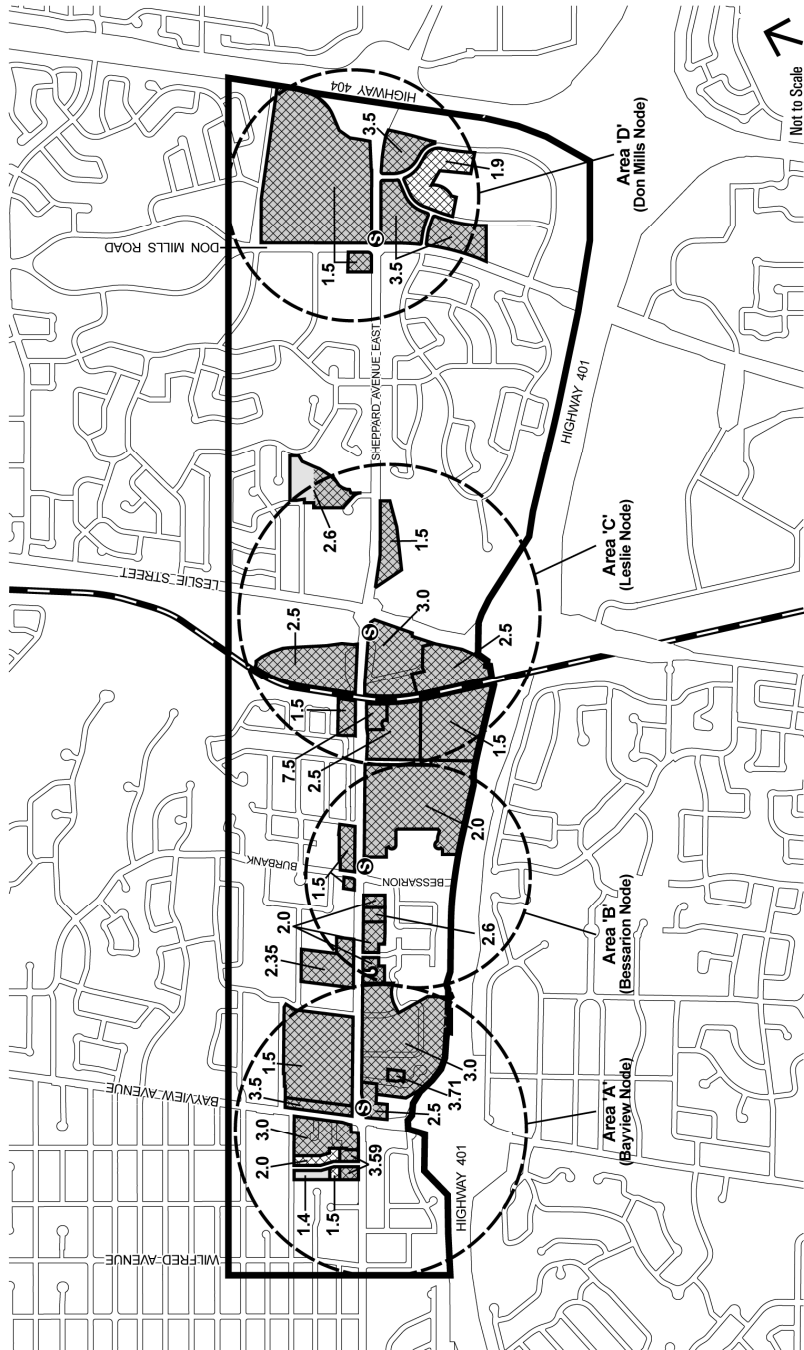
Parcel B - Cross Section

Applicant's Submitted Drawing

Not to Scale
11/22/2012

File # 12 261537 NNY 24 02

Attachment 5: Sheppard East Subway Corridor Secondary Plan Map



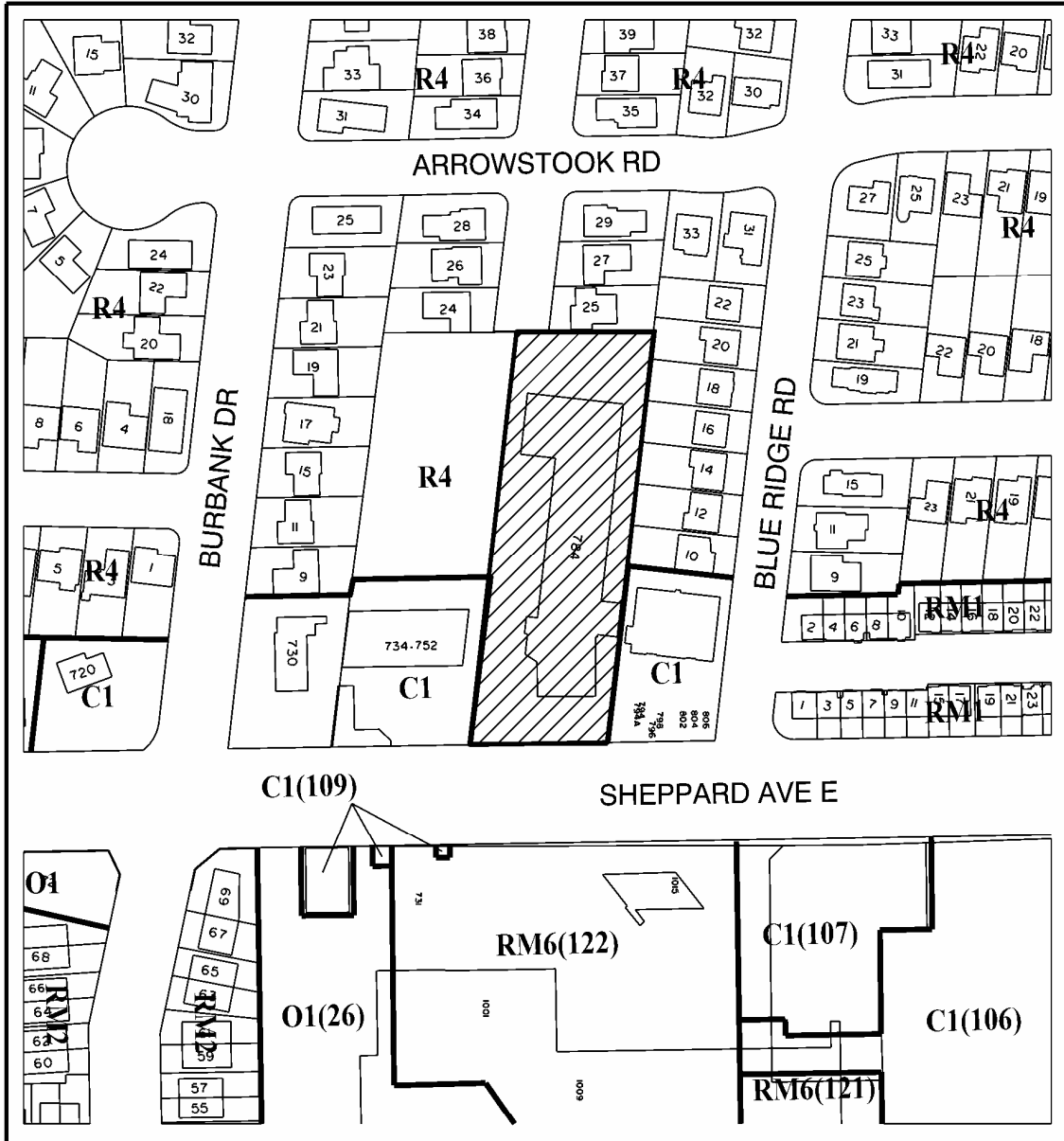
Sheppard East Subway Corridor Secondary Plan
 MAP 9.2 Key Development Areas



- Secondary Plan Boundary
- ▒ Neighbourhoods
- ▒ Apartment Neighbourhoods
- ▒ Mixed Use Areas
- 1.5 Density
- Ⓢ Subway Station

December 2010

Attachment 6: Zoning



784 Sheppard Ave E
File # 12 261537 NNY 24 02

- | | |
|---|----------------------------|
| R4 One-Family Detached Dwelling Fourth Density Zone | C1 General Commercial Zone |
| RM1 Multiple-Family Dwellings First Density Zone | O1 Open Space Zone |
| RM2 Multiple-Family Dwellings Second Density Zone | |
| RM6 Multiple-Family Dwellings Sixth Density Zone | |
- NOTE: Numbers in Brackets Denote Exceptions to the Zoning Category

↑
Not to Scale
Zoning By-law 7625
Extracted 10/22/2012

Attachment 7: Application Data Sheet

Application Type	Rezoning	Application Number:	12 261537 NNY 24 OZ
Details	Rezoning, Standard	Application Date:	October 12, 2012

Municipal Address: 784 SHEPPARD AVENUE EAST

Location Description: CON 2 EY PT LOT 16 **GRID N2405

Project Description: The applicant proposes to construct a two-storey retail building, with two levels of underground parking on Parcel A. A 48-unit residential townhouse development with one level of underground parking is proposed on Parcel B.

Applicant:	Agent:	Architect:	Owner:
MMM GROUP LTD	MMM GROUP LTD	SMV ARCHITECTS	MOUNTAIN EQUIPMENT CO-OP

PLANNING CONTROLS

Official Plan Designation:	Mixed Use Areas	Site Specific Provision:
Zoning:	R4	Historical Status:
Height Limit (m):	8.8	Site Plan Control Area: Y

PROJECT INFORMATION

Site Area (sq. m):	7645	Height:	Storeys:	3
Frontage (m):	50		Metres:	12
Depth (m):	152			
Total Ground Floor Area (sq. m):	2885			Total
Total Residential GFA (sq. m):	4880		Parking Spaces:	196
Total Non-Residential GFA (sq. m):	3830		Loading Docks	3
Total GFA (sq. m):	8710			
Lot Coverage Ratio (%):	37.74			
Floor Space Index:	1.14			

DWELLING UNITS

Tenure Type:	Freehold
Rooms:	0
Bachelor:	0
1 Bedroom:	0
2 Bedroom:	48
3 + Bedroom:	0
Total Units:	48

FLOOR AREA BREAKDOWN (upon project completion)

		Above Grade	Below Grade
Residential GFA (sq. m):	4880		0
Retail GFA (sq. m):	3830		0
Office GFA (sq. m):	0		0
Industrial GFA (sq. m):	0		0
Institutional/Other GFA (sq. m):	0		0

CONTACT: PLANNER NAME: Guy Matthew, Planner
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