

**408 Brown's Line - Zoning By-law Amendment
Application - Preliminary Report**

Date:	October 20, 2016
To:	Etobicoke York Community Council
From:	Director, Community Planning, Etobicoke York District
Wards:	Ward 6 – Etobicoke-Lakeshore
Reference Number:	16 204076 WET 06 OZ

SUMMARY

This application proposes to amend the former City of Etobicoke Zoning Code and City of Toronto Zoning By-law No. 569-2013 to permit a mixed used development at 408 Brown's Line. The development proposes a 4 to 6 storey mid-rise building containing 83 residential units and a 280 m² commercial unit at grade. The proposal would have a total gross floor area of 7,729 m² and an overall density of 3.6 times the area of the lands. A total of 92 parking spaces are proposed within a 2-level underground garage. Vehicular access for the development would be via Horner Avenue.

This report provides preliminary information on the above-noted application and seeks Community Council's directions on further processing of the application and on the community consultation process.

A community consultation meeting scheduled by staff in consultation with the Ward Councillor is intended to be held in the first quarter of 2017. A Final Report and statutory public meeting under the *Planning Act* to consider this application is targeted for the third quarter of 2017. This target assumes the applicant will provide all required information in a timely manner.



RECOMMENDATIONS

The City Planning Division recommends that:

1. Staff be directed to schedule a community consultation meeting for the lands at 408 Brown's Line together with the Ward Councillor.
2. Notice for the community consultation meeting be given to landowners and residents within 120 metres of the site.
3. Notice for the public meeting under the *Planning Act* be given according to the regulations of the *Planning Act*.

Financial Impact

The recommendations in this report have no financial impact.

DECISION HISTORY

Pre-Application Consultation

A pre-application consultation meeting was held with the applicant on March 29, 2016, to discuss complete application submission requirements.

The applicant hosted a pre-application community consultation meeting on May 9, 2016 to present the proposal to area residents. The Ward Councillor and Planning staff attended the meeting for information purposes only. Approximately 40 members of the public attended. Concerns were raised relating to the proposed building height and potential overlook issues, traffic, impacts on local services and construction timing.

ISSUE BACKGROUND

Proposal

The development proposes a 4 to 6 storey mid-rise building containing 83 residential units and a 280 m² commercial unit at grade. The proposal would have a total gross floor area of 7,729 m² and an overall density of 3.6 times the area of the lands. The proposed building would be massed to present a 6 storey profile along the north (Horner Avenue) and east (Brown's Line) elevations and transition down to a 4 storey profile along the south and west elevations (see Attachments 2a - 2d: Elevations).

The commercial unit would be situated along the entire eastern frontage on Brown's Line at grade. The primary access to the commercial space is proposed from the Brown's Line frontage, with a secondary entrance proposed at the northeast corner of the site. The main lobby for the residential component would also be located at the northeast corner of the site, immediately west of the secondary entrance of the commercial unit. The remainder of the ground floor would be comprised of dwelling units, locker rooms, garbage pickup area and a Type G loading space.

Vehicular access to the development is proposed via Horner Avenue at the northwest corner of the site and leads directly to the proposed underground garage (see Attachment 1: Site Plan). No surface parking is proposed. All proposed vehicular and bicycle parking spaces would be located within a 2 level underground garage. A total of 92 vehicular parking spaces are proposed, comprised of 76 occupants, 12 visitors and 4 small car spaces. A total of 71 bicycle spaces are proposed within both levels of the underground garage. A garbage pickup area and associated Type G loading space is proposed adjacent to the underground access ramp.

Site and Surrounding Area

The subject site is located at the southwest corner of Brown's Line and Horner Avenue. It is rectangular in shape and has an area of approximately 0.2 ha. The site has a frontage of 38 m on Brown's Line and 56 m on Horner Avenue. The site previously contained an automobile service and gas station, which has been demolished. The site is relatively flat and is covered with sod and a few shrubs.

The surrounding land uses are as follows:

North: Horner Avenue and a one storey commercial building (bank) fronting Brown's Line. Immediately to the west of the commercial building are single detached dwellings. Beyond the dwellings is a building occupied by a Toronto District School Board school and a branch of the Toronto Public Library.

East: Brown's Line, a one-storey industrial building and a larger industrial complex beyond that.

South: One and half storey multi-unit commercial building, comprised of retail and service uses including a restaurant, convenience store and a salon.

West: A place of worship, a senior's centre and single detached dwellings beyond that.

Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (PPS) 2014 provides policy direction on matters of provincial interest related to land use planning and development. These policies support the goal of enhancing the quality of life for all Ontarians. Key policy objectives include: building strong healthy communities; wise use and management of resources; and protecting public health and safety. The PPS recognizes that local context and character is important. Policies are outcome-oriented, and some policies provide flexibility in their implementation provided that provincial interests are upheld. City Council's planning decisions are required, by the *Planning Act*, to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems

and cultivating a culture of conservation. City Council's planning decisions are required to conform, or not conflict, as the case may be, with the Growth Plan for the Greater Golden Horseshoe.

Staff will review the proposed development for consistency with the PPS and for conformity with the Growth Plan for the Greater Golden Horseshoe.

Official Plan

The subject site is designated *Mixed Use Areas* on Map 15 - Land Use Plan. The *Mixed Use Areas* designation provides for a range of residential, commercial and institutional uses, in single use or mixed use buildings, as well as parks and open spaces and utilities. The Official Plan states that "*Mixed Use Areas* will absorb most of the anticipated increase in retail, office and service employment in Toronto in the coming decades, as well as much of the new housing." However, not all *Mixed Use Areas* will experience the same scale or intensity of development. The policies of *Mixed Use Areas* require new development to provide a transition between areas of different development intensity and scale.

Policy 4.5.2 of the Plan contains a number of criteria for development in *Mixed Use Areas* that refer to locating and massing new buildings to provide a transition between areas of different development intensity and scale while limiting impacts on neighbouring streets, parks, open spaces and properties. The development criteria contained in the *Mixed Use Areas* policies are also supplemented by development criteria outlined in the Built Form policies in Section 3.1.2 and 3.1.3 of the Official Plan.

Zoning

On May 9, 2013, Toronto City Council enacted City of Toronto Zoning By-law No. 569-2013. The City-wide Zoning By-law is currently under appeal to the Ontario Municipal Board. The site is zoned Commercial Residential (CR) under Zoning By-law No. 569-2013 (see Attachment 3a: City of Toronto Zoning By-law No. 569-2013). A wide range of commercial and institutional uses in addition to residential uses are permitted within this zone. Development standards within this zone includes a maximum building height of 14 m; combined residential and commercial Floor Space Index of 2 times the area of the lot; minimum rear yard building setback of 7.5 m and a minimum side yard building setback of 3 m.

The site is zoned Commercial Limited (CL) in the former City of Etobicoke Zoning Code (see Attachment 3b: Former City of Etobicoke Zoning Code). Similar to the City-wide Zoning By-law, a wide range of commercial uses are permitted including retail, services and institutional uses. Residential uses are also permitted within this zone. The maximum permitted building height is 14 m.

The proposed uses are permitted within both the former City of Etobicoke Zoning Code and City of Toronto Zoning By-law No. 569-2013.

Site Plan Control

An associated Site Plan Control application has been submitted and is being reviewed concurrently with this application.

Mid-Rise Building Design Guidelines

Toronto City Council on July 6, 7, and 8, 2010, adopted the recommendations of the Avenues and Mid-Rise Buildings Study and Action Plan with modifications. The main objective of this City-wide Study is to encourage future intensification along Toronto's *Avenues* that is compatible with the adjacent neighbourhoods through appropriately scaled and designed mid-rise buildings. The Avenues and Mid-Rise Buildings Study identifies a list of best practices, categorizes the Avenues based on historic, cultural and built form characteristics, establishes a set of performance standards for new mid-rise buildings and identifies areas where the performance standards should be applied.

The Performance Standards are intended to be used as tools to implement both the Official Plan's *Avenues* and *Neighbourhoods* policies, maintaining a balance between reurbanization and stability. The Performance Standards give guidance about the size, shape and quality of mid-rise buildings.

While Brown's Line is not identified as an *Avenue* in the Official Plan, it is considered to be a Major Street in the Official Plan on Map 3. As such, the Performance Standards will be a valuable guiding tool to assist with the evaluation of the proposed mid-rise building.

Tree Preservation

This application is subject to the provisions of the City of Toronto Municipal Code, Chapter 813 Articles II (Street Trees by-law) and III (Private Tree by-law). The application proposes the removal of 7 private trees. The applicant has submitted an Arborist Report, which is currently under review by Parks, Forestry and Recreation staff.

Reasons for the Application

Amendments to the former City of Etobicoke Zoning Code and City of Toronto Zoning By-law No. 569-2013 are required as the proposed building exceeds the maximum building heights and densities permitted in the Zoning By-laws. An amendment is also required to establish appropriate development standards for the proposed development.

COMMENTS

Application Submission

The following reports/studies were submitted with the application:

- Planning Rationale
- Stormwater Management Report
- Environmental Soil & Groundwater Report
- Geotechnical Report
- Transportation Impact Study

Shadow Study
Archaeological Study
Arborist Report
Functional Servicing Report

The TGS Checklist has been submitted by the applicant and is currently under review by City staff for compliance with the Tier 1 performance measures.

A Notification of Complete Application was issued on September 19, 2016.

Issues to be Resolved

The application has been circulated to City divisions and public agencies for comment.

The subject site is in close proximity to a large employment complex located at the southeast corner of Brown's Line and Horner Avenue. Appropriate environmental mitigation measures, particularly related to noise and air quality, must be considered, should the application be recommended for approval.

Other issues identified on a preliminary basis to be addressed include, but are not necessarily limited to:

- Conformity with all applicable Official Plan Policies, including in particular the *Mixed Use Areas* Development Criteria and Built Form policies in Chapter 3;
- Impacts on the adjacent *Neighbourhoods* designated lands to the south and west;
- Appropriate transition in scale to neighbouring lands including setbacks, stepbacks and angular planes;
- Appropriate ratio of residential to non-residential uses related to the total gross floor area;
- Adequacy of the proposed parking spaces to support the proposed uses;
- Fit of the proposed development within its existing and planned context;
- Adequacy of existing infrastructure to support the proposed residential density and identification of any required improvements;
- Adequacy of community services and facilities to accommodate the residents of the proposed development;
- Compliance with the Avenues and Mid-Rise Buildings Study;
- Site design with respect to the relationship between vehicular access/circulation, loading, pedestrian circulation and connection to the proposed landscape areas and the public realm;
- Transportation impacts arising from the development;
- Determination of on-site parkland dedication requirements and the appropriate size and location of a public park;
- Provision of appropriate indoor and outdoor amenity space;
- Public art for the development and the applicant's participation in the City's Percent for Public Art Program and its Guidelines; and

- Review of the TGS Checklist for compliance with the Tier 1 performance standards.

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

CONTACT

Cynthia Owusu-Gyimah, Planner
Tel. No. (416) 394-2608
Fax No. (416) 394-6063
E-mail: cowusug@toronto.ca

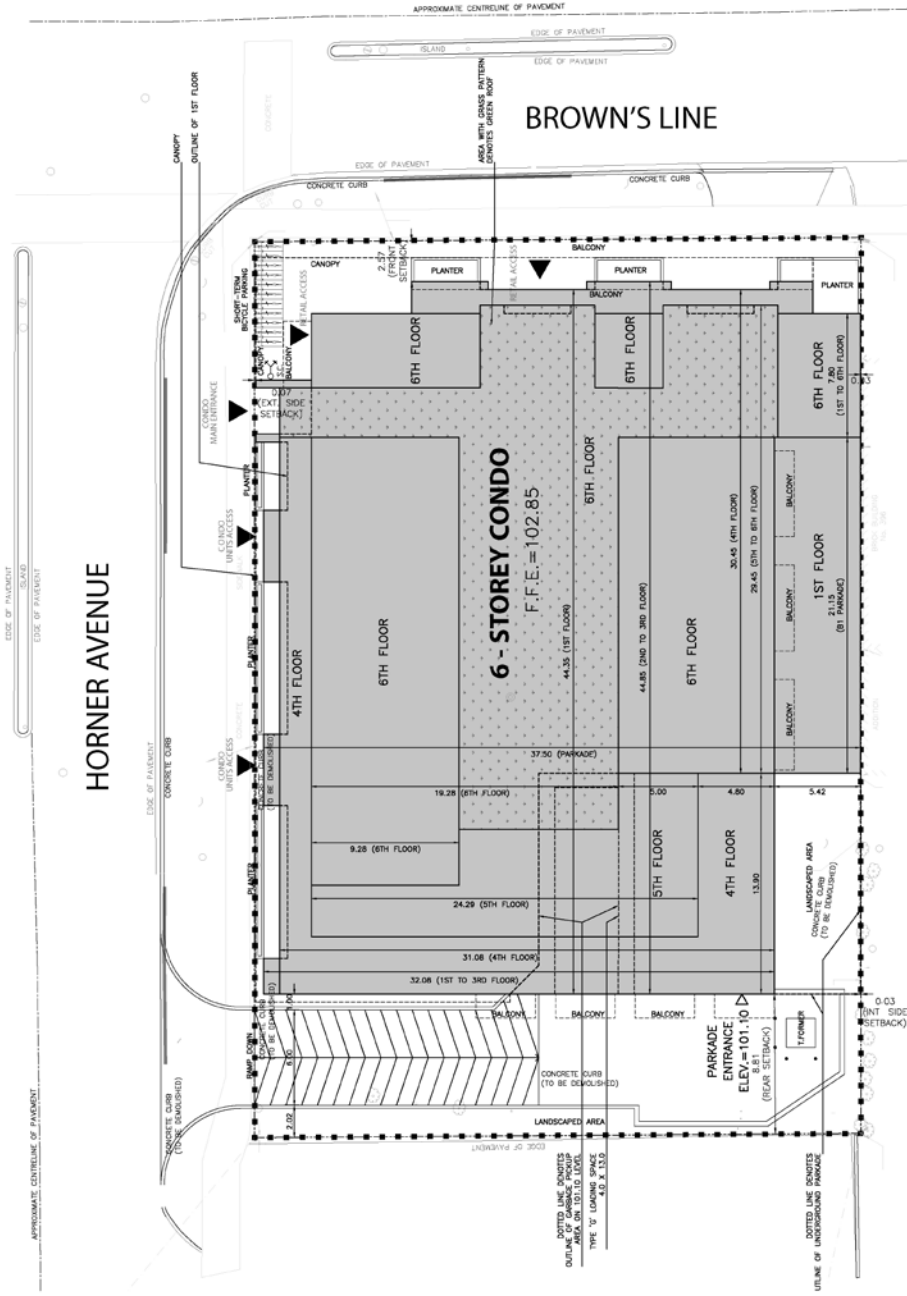
SIGNATURE

Neil Cresswell, MCIP, RPP
Director of Community Planning
Etobicoke York District

ATTACHMENTS


Attachment 1: Site Plan
Attachment 2a: North Elevation
Attachment 2b: South Elevation
Attachment 2c: East Elevation
Attachment 2d: West Elevation
Attachment 3a: City of Toronto Zoning By-law No. 569-2013
Attachment 3b: Former City of Etobicoke Zoning Code
Attachment 4: Application Data Sheet

Attachment 1: Site Plan

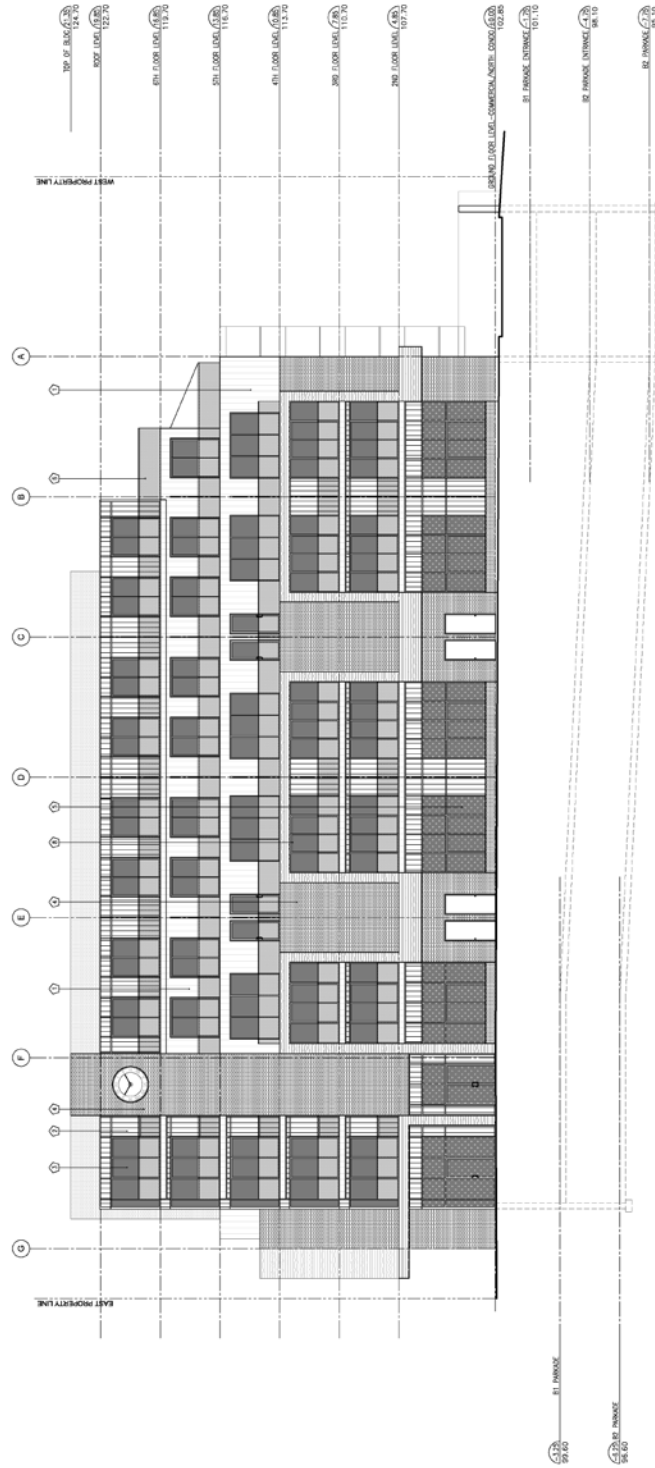


408 Brown's Line
File # 16 204076 WET 06 0Z

Site Plan
Applicant's Submitted Drawing
Not to Scale
08/18/2016



Attachment 2a: North Elevation



408 Brown's Line
 File # 16 204076 WET 06 0Z

Elevations
 Applicant's Submitted Drawing
 Not to Scale
 08/18/2016

Attachment 2b: South Elevation



South Elevation

Elevations

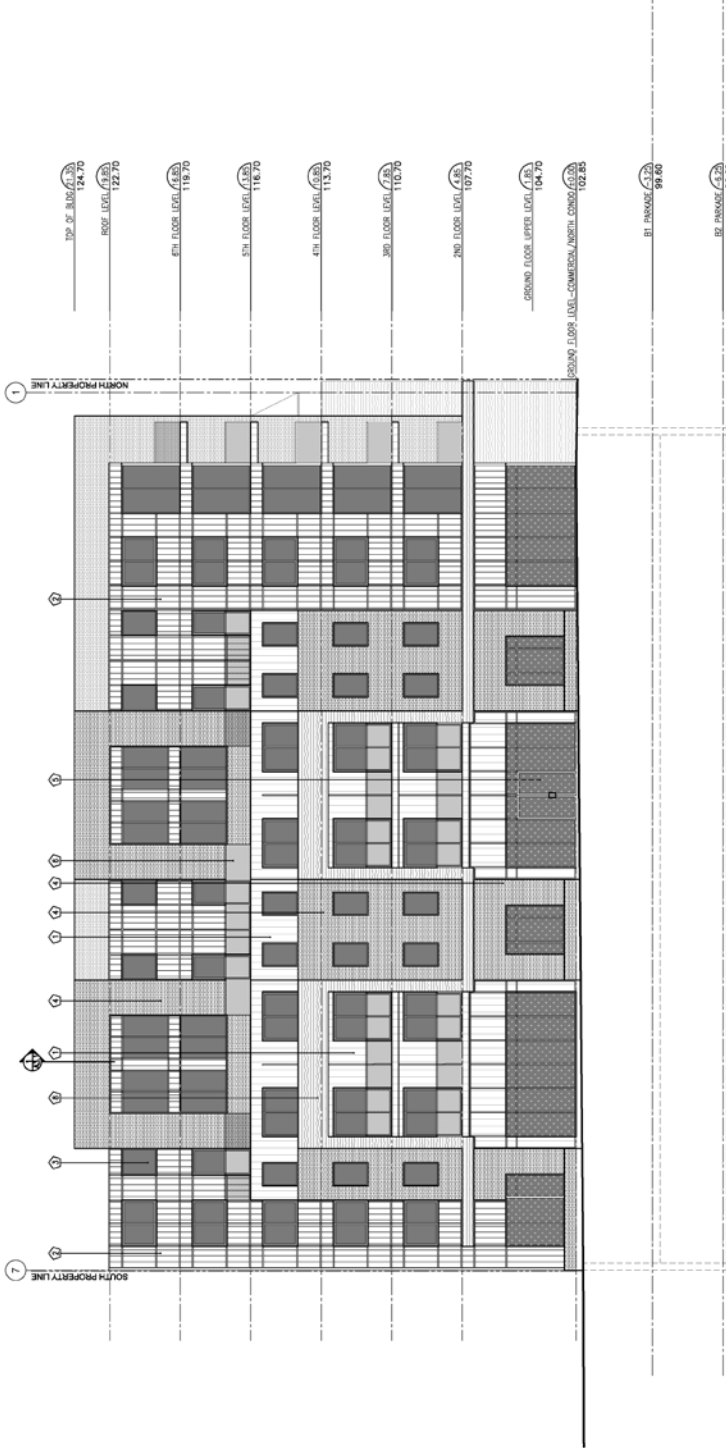
408 Brown's Line

File # 16 204076 WET 06 0Z

Applicant's Submitted Drawing

Not to Scale
08/18/2016

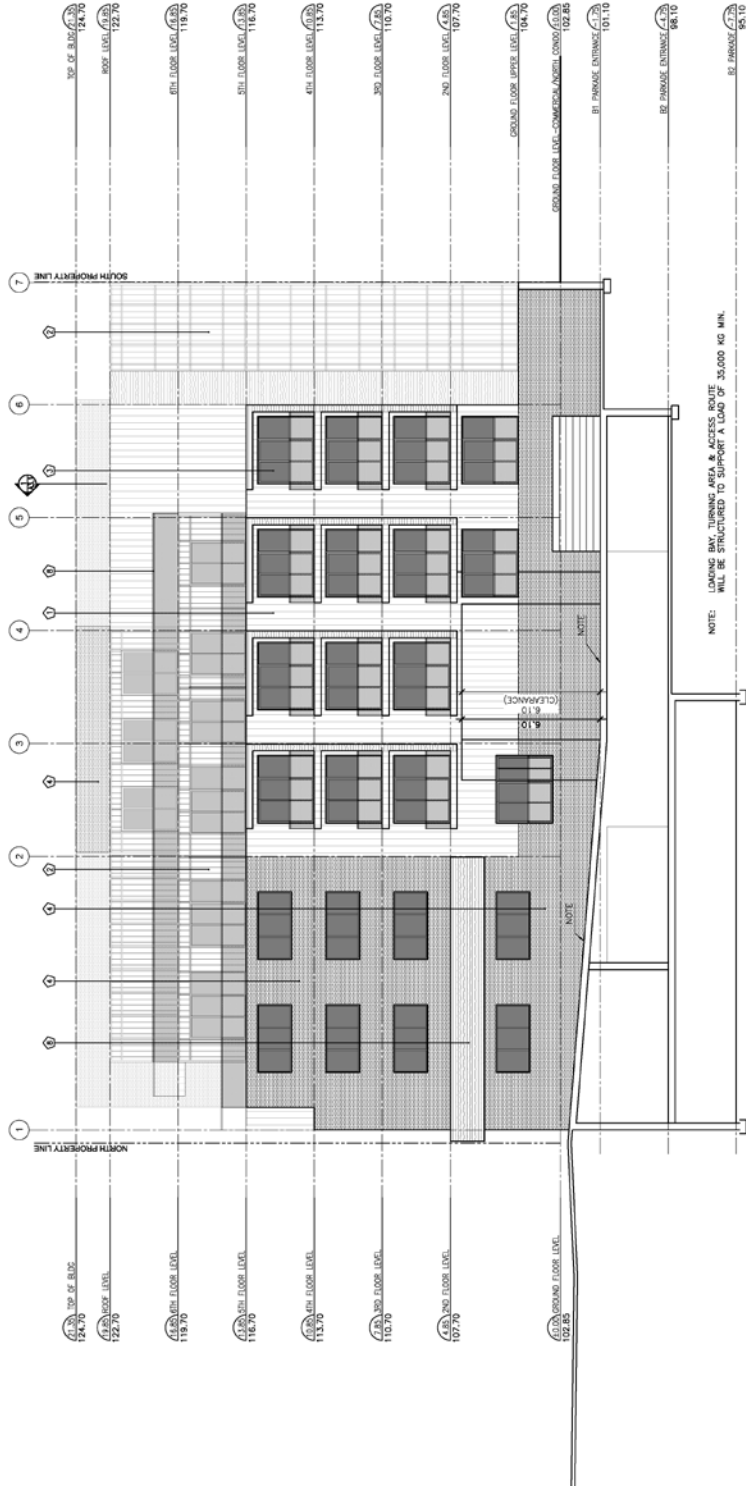
Attachment 2c: East Elevation



408 Brown's Line
File # 16 204076 WET 06 02

Elevations
Applicant's Submitted Drawing
Not to Scale
08/18/2016

Attachment 2d: West Elevation



West Elevation

Elevations

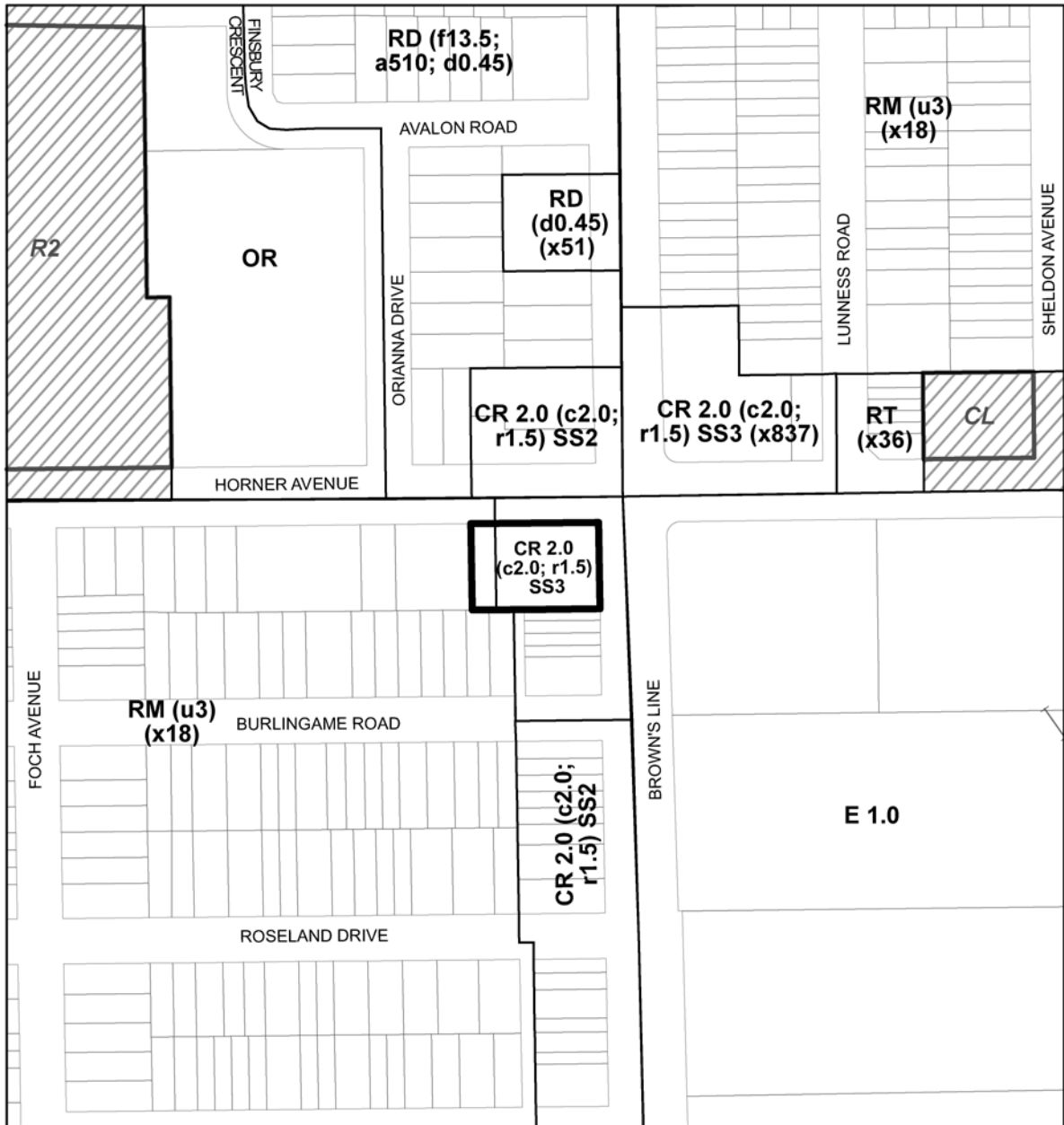
Applicant's Submitted Drawing

Not to Scale
08/18/2016

408 Brown's Line

File # 16 204076 WET 06 02

Attachment 3a: City of Toronto Zoning By-law No. 569-2013



408 Browns Line



City of Toronto By-law No. 569-2013

File # 16 204076 WET 06 0Z

Location of Application

See Former City of Etobicoke By-Law No. 11,737

- | | |
|--------------------------|---------------------------|
| RD Residential Detached | CR Commercial Residential |
| RT Residential Townhouse | E Employment Industrial |
| RM Residential Multiple | OR Open Space Recreation |

- | |
|-------------------------------|
| R2 Second Density Residential |
| CL Limited Commercial |



Not to Scale
Extracted: 10/20/2016

Attachment 3b: Former City of Etobicoke Zoning Code



408 Brown's Line

Former City of Etobicoke By-Law No. 11,737 Zoning

File # 16 204076 WET 06 02



Location of Application

- | | | | |
|-----|--|------|--------------------|
| R2 | Second Density Residential Zone | CL | Commercial Limited |
| R3 | Third Density Residential Zone | OS | Open Space |
| R4G | Group Area Fourth Density Residential Zone | I.C1 | Class 1 Industrial |



Not to Scale
Extracted: 10/04/2016

Attachment 4: Application Data Sheet

Application Type	Rezoning	Application Number:	16 204076 WET 06 OZ
Details	Rezoning, Standard	Application Date:	August 9, 2016

Municipal Address: 408 BROWNS LINE
 Location Description: PLAN 2175 LOTS 43 54 & 55 PT LOT 56 **GRID W0601
 Project Description: Proposed development of a 4 to 6 storey, 83-unit residential condominium with a 280m² ground floor commercial unit and a 2-level underground parking garage containing 92 vehicle parking spaces.

Applicant:	Agent:	Architect:	Owner:
ARMSTRONG PLANNING & PROJECT MANAGEMENT			RP LONG BRANCH INC

PLANNING CONTROLS

Official Plan Designation:	Mixed Use Areas	Site Specific Provision:	
Zoning:	CL and CR	Historical Status:	
Height Limit (m):	14	Site Plan Control Area:	Y

PROJECT INFORMATION

Site Area (sq. m):	2148.6	Height:	Storeys:	6	
Frontage (m):	38		Metres:	21.3	
Depth (m):	56				
Total Ground Floor Area (sq. m):	1477				Total
Total Residential GFA (sq. m):	7449		Parking Spaces:	92	
Total Non-Residential GFA (sq. m):	280		Loading Docks	1	
Total GFA (sq. m):	7729				
Lot Coverage Ratio (%):	6.7				
Floor Space Index:	3.6				

DWELLING UNITS

Tenure Type:	Condo
Rooms:	
Bachelor:	5
1 Bedroom:	55
2 Bedroom:	46
3 + Bedroom:	0
Total Units:	83

FLOOR AREA BREAKDOWN (upon project completion)

	Above Grade	Below Grade
Residential GFA (sq. m):	7449	0
Retail GFA (sq. m):	280	0
Office GFA (sq. m):	0	0
Industrial GFA (sq. m):	0	0
Institutional/Other GFA (sq. m):	0	0

CONTACT: PLANNER NAME: Cynthia Owusu-Gyimah, Planner
TELEPHONE: (416) 394-2608