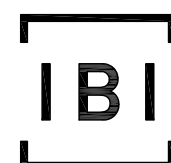




LIST OF DRAWING

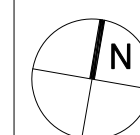
- A0 COVER PAGE
- A1 SITE PLAN & SITE STATISTICS
- A2 GROUND FLOOR PLAN
- A3 P1 PARKING LEVEL
- A4 P2 PARKING LEVEL
- A5 P3 PARKING LEVEL
- A6 MEZZANINE FLOOR PLAN
- A7 2ND FLOOR PLAN
- A7a 3RD FLOOR PLAN
- A8 4TH FLOOR PLAN
- A9 5TH FLOOR PLAN
- A10 6TH FLOOR PLAN
- A11 7TH FLOOR PLAN
- A12 8TH FLOOR PLAN
- A13 9TH FLOOR PLAN
- A14 EAST-WEST SECTION LOOKING NORTH
- A15 NORTH-SOUTH SECTION LOOKING WEST
- A16 WEST ELEVATION
- A17 SOUTH ELEVATION
- A18 NORTH ELEVATION
- A19 EAST ELEVATION
- A20 GLENCAIRN PERSPECTIVE
- LOOKING NORTHWEST
- A21 BATHURST PERSPECTIVE- LOOKING EAST
- A22 BATHURST PERSPECTIVE
- LOOKING NORTH/ SOUTH
- A23 PERSPECTIVE LOOKING SOUTH - REAR YARD

**PROPOSED MIXED-USE RESIDENTIAL DEVELOPMENT
2795 BATHURST STREET, NORTH YORK, ONTARIO
REZONING SUBMISSION**



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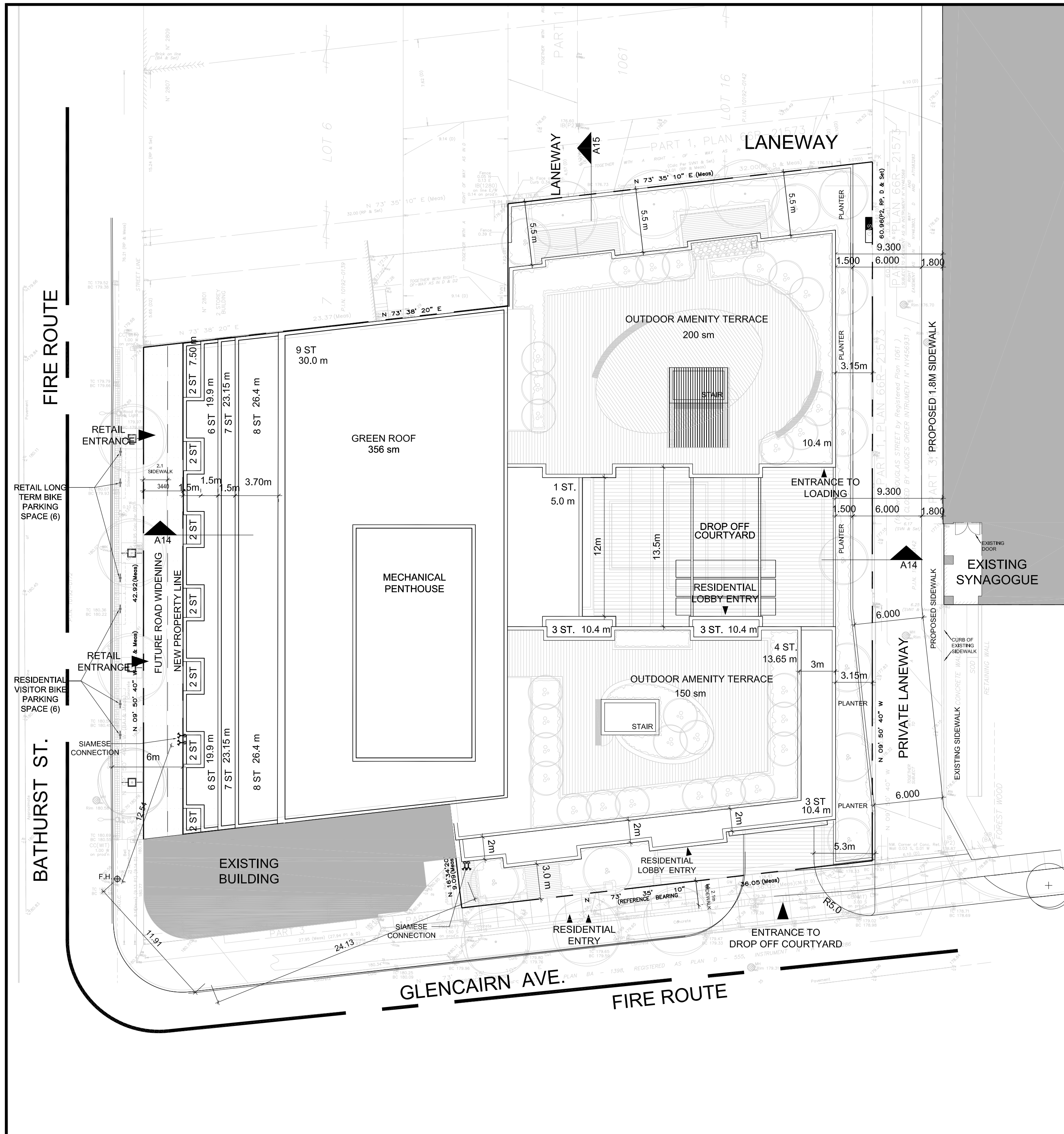
COVER PAGE

ISSUED FOR REZONING MAY 26-17
ISSUED FOR REZONING OCT 01-18
ISSUED FOR REZONING NOV 29-18

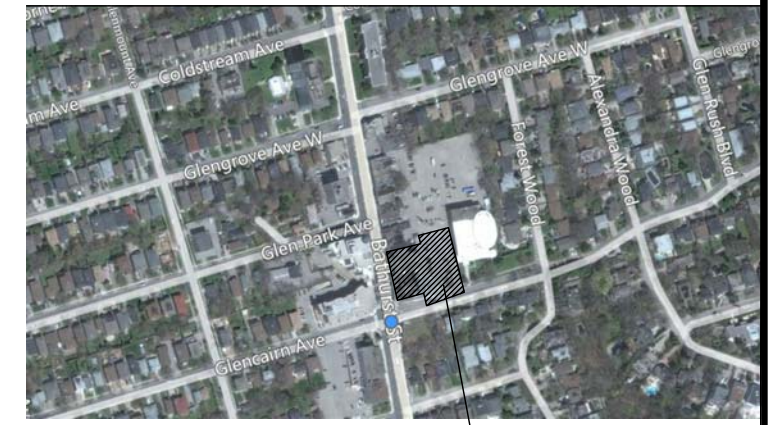
SCALE: NTS

JOB-No: 36143

A0



SURVEY INFORMATION FROM:
 LOT 9, 17, 18, 19 & 20 AND
 PART OF LOTS 7, 8 & 10
 REGISTERED PLAN 1061
 CITY OF TORONTO
 Prepared By: LAND SURVEY GROUP
 Prepared on: Sept 26, 2011



SUBJECT SITE

PROJECT SITE STATISTICS

Proposed Use: Residential Building with Retail at Grade

Site Area: 3,344sm*
 Residential FSI: 3.93
 Retail FSI: 0.22**

* Gross Site (Includes 148sm Road Widening)

Proposed GFA: 13,900sm**
 Residential: 13,150sm
 Total Non-Residential(Retail): 750 sm

** GFA Based on By-law 569-2013.

Proposed Residential Units: 150
 1B - 79, 2B - 56, 3B-15

Indoor Amenity Required: 150 x 2.0/Unit = 300 sm
 Indoor Amenity Provided: 350 sm
 Outdoor Amenity Required: 150 x 2.0/Unit = 300sm
 Outdoor Amenity Provided: 350 sm

Parking Required: 161

Type	Number	Minimum Ratio	Minimum Spaces
1B	79	0.8	63.2
2B	56	0.9	50.4
3B	15	1.1	16.5
Total Resident:			130
Residential Visitor @.15/unit =			23

Type	Number	Minimum Ratio	Minimum Spaces
Retail	750sm	1/100sm	8

Total Parking Provided: 161 (8 Retail, 23 Residential Visitor, 130 Resident)

Bike Parking Required: 158 (Zone 1)

Residential: 150
 Resident @.9 bike space/unit: 135 bike spaces
 Residential Visitor @ .1 bike space/unit: 15 bike spaces
 Retail: 8
 Retail Long Term (.2/100sm) = 2 bike spaces
 Retail Short Term: 3 spaces + (.3/100sm) = 6 bike spaces

Bike Parking Provided: 158
 Residential: 150
 Resident: 135 bike spaces
 Residential Visitor: 15 bike spaces
 Retail: 8
 Retail Long Term : 2 bike spaces
 Retail Short Term: 6 bike spaces

Surface Bike Parking: 12 (6 Short term, 6 Residential Visitor)
 (9% Provided on the Surface)

Loading: 1 Space - 1 Type G 4.0m x 13m x 6.1m clear

Height: As shown on Siteplan

Setbacks: As Shown on Siteplan

Toronto Green Standard Statistics

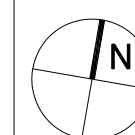
General Project Description	Required	Proposed
Total Green Floor Area		13,900 sm
Provision of Green Infrastructure (G.I.)		13,150 sm
Roof		750 sm
Greenhouse (Glass/Polycarbonate)		
Vertical		
Landscaped Open Space		150
Total number residential or non-residential units		150

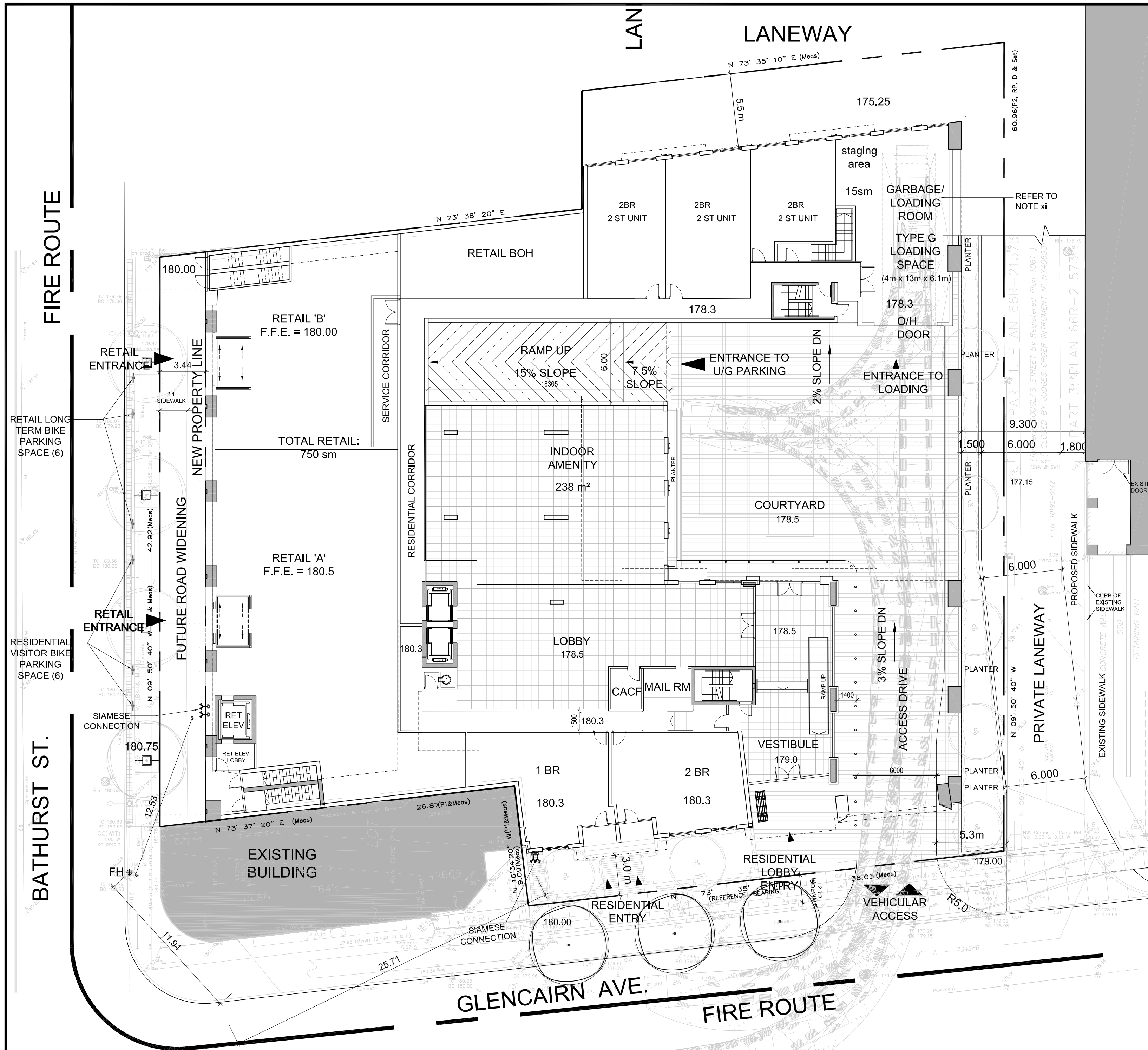
Section 1: For Shared Access Easement By-law Amendment Applications and Site Plan Control Applications

Item	Required	Proposed
Number of parking spaces	161	161
Number of parking spaces with electrical provision for bicycle charging (prohibited)	0	3
Number of parking spaces with electrical provision for bicycle parking (L2V, for use up to 200watts)	0	0
Number of bicycle racks	158	158
Number of bicycle racks for long-term storage (prohibited)	2	2
Number of bicycle racks for short-term storage (prohibited)	N/A	N/A
Number of bicycle racks for long-term storage (prohibited)	N/A	N/A
Number of bicycle racks for short-term storage (prohibited)	N/A	N/A
Number of bicycle racks for long-term storage (prohibited)	15	15
Number of bicycle racks for short-term storage (prohibited)	6	6
Number of bicycle racks for long-term storage (prohibited)	N/A	N/A
Number of bicycle racks for short-term storage (prohibited)	N/A	N/A
Storage and Collection of Recycling and Organic Waste	Required	Proposed
Waste Storage (sm)	61sm	75sm

Site Coverage: 3,344sm (100%)
 Road Widening: 148 sm (4%)
 Ground Floor: 2300 sm (69%)
 Paved Surface: 655sm (20%)
 Landscaped Open Space: 241sm (7%)

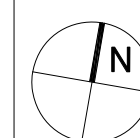
GREEN ROOF STATS:
 TOTAL ROOF AREA: 2,632 sm
 OUTDOOR AMENITY: 964 sm
 PRIVATE TERRACES: 778 sm
 AVAILABLE ROOF: 890 sm
 40% TGS GREEN ROOF REQUIREMENT
 GREEN ROOF REQUIRED: 356 sm
 GREEN ROOF PROVIDED: 356 sm

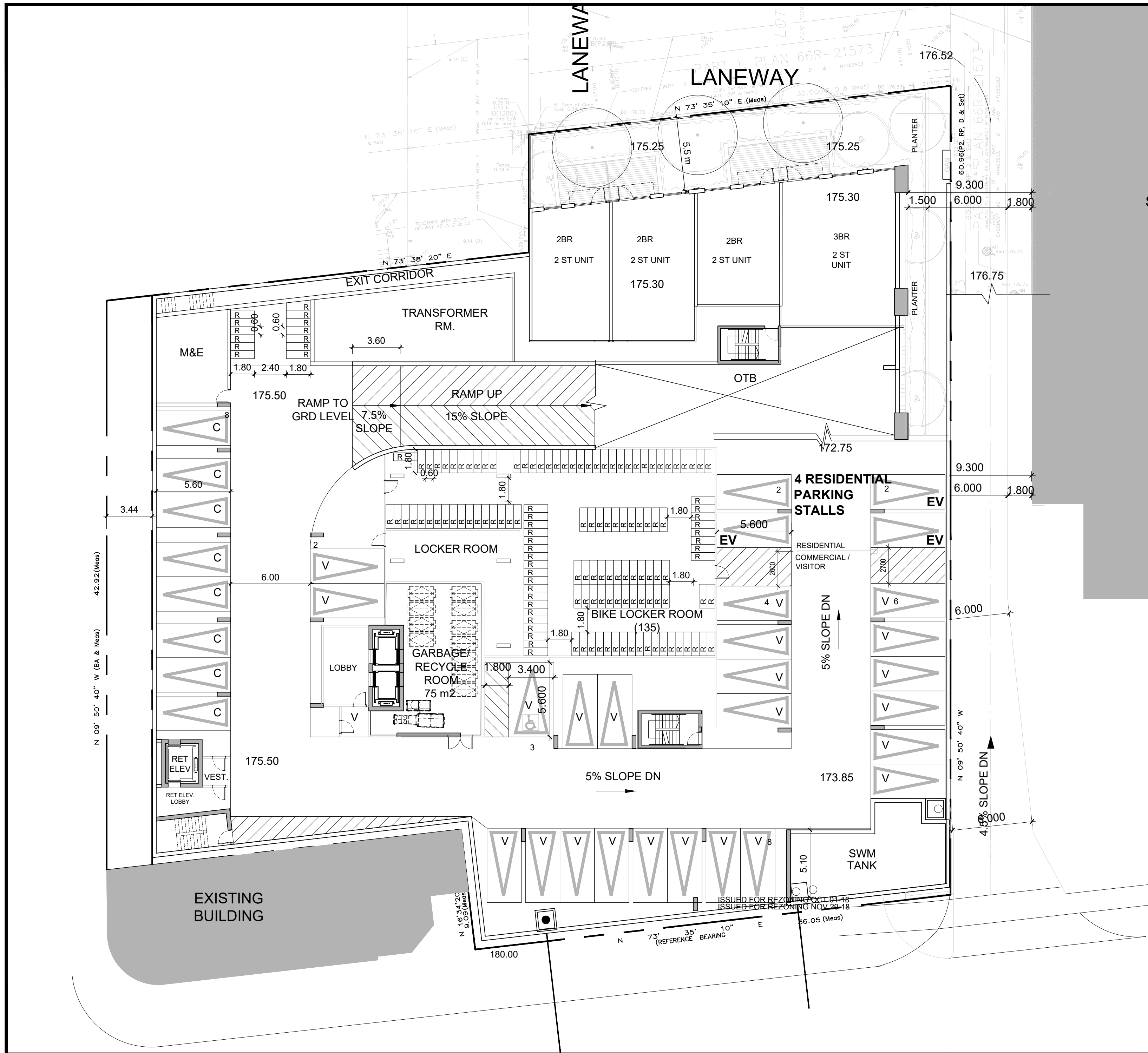




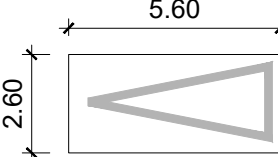
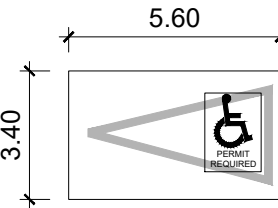
General Notes:

- i. The waste diversion system is a tri-sorter.
- ii. A trained on-site staff member must be available to manoeuvre bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff member is unavailable at the time the City collection vehicles arrive at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
- iii. Prior to solid waste collection services are to begin, the City to be provided with a letter certified by a professional engineer that in all cases where a collection vehicle is required to drive onto or over a supported structure (such as an underground parking garage) the structure can safely support a fully loaded collection vehicle (35,000 kilograms) and conforms to the following:
 - a. Design Code - Ontario Building Code
 - b. Design Load - City bulk lift vehicle in addition Building Code requirements
 - c. Impact Factor - 5% for maximum vehicular speeds to 15 km/h and 30% for higher speeds
- vi. Refer to traffic drawings from BA Group for auto-turns & P1 level & 3A Autoturns.
- vii. Driveway complies with City of Toronto Standard No. T310-050-01 for combined curb and sidewalk vehicular entrance.
- viii. Ground floor bike spaces: 12 (6 Retail Short Term, 6 Residential Visitor)
- ix. Bike spaces are vertical, horizontal and stackers.
- x. The entire path of the collection vehicle will have a vertical clearance of at least 4.4m (including under the overhead door).
- xi. The type G loading space will be maximum 2.0% slope, constructed of 200mm of reinforced concrete and has an unencumbered vertical clearance of at least 6.1 metres over the entire length of 13.0 metres.
- xii. The staging area is level (+2%), is constructed of 200mm reinforced concrete, and has a vertical clearance of min. 6.1m.





LEGEND

- 
DENOTES STANDARD PARKING STALL SIZE
- 
DENOTES STANDARD ACCESSIBLE PARKING STALL SIZE
- C** **COMMERCIAL PARKING STALLS**
- V** **RESIDENTIAL VISITOR'S PARKING STALLS**
- EV** **ELECTRICAL CAR PARKING SPACE WITH EV-ROUGH IN CONDUITS**

TYPICAL BIKE SPACE DIMENSIONS

HORIZONTAL BIKE SPACE: 1.8 x 0.6 M
 VERTICAL BIKE SPACE: 1.2 x 0.6M

P1 LEVEL PARKING:
 8 COMMERCIAL SPACES
 23 RESIDENTIAL VISITOR SPACES
 4 RESIDENT SPACES
 35 TOTAL PARKING SPACES

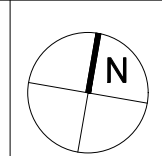
P1 LEVEL BIKE PARKING SPACE:
 135 RESIDENTIAL BIKE SPACES
 9 RESIDENTIAL VISITOR BIKE SPACES
 2 RETAIL - LONG TERM BIKE SPACES
 146 TOTAL BIKE SPACES

GARBAGE & RECYCLE ROOM AREA:
 Total number of unit: 150 UNITS (9 storey)
 Garbage & Recycle room area required

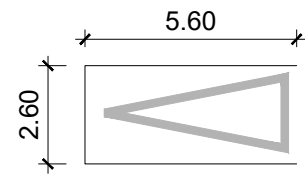
	AREA REQUIRED
First 50 units	25sm
100 units (13sm per each 50 additional units)	26sm (2 x 13sm)
Bulky Items	10sm
TOTAL	61sm

Garbage & Recycle room area required : 61 sm

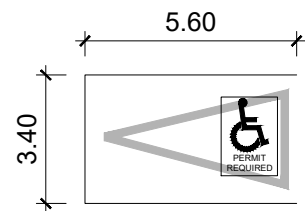
Garbage & Recycle room area provided (at P1): 75 sm
 (including 10sm for the bulk item storage)



LEGEND



DENOTES STANDARD PARKING STALL SIZE



DENOTES STANDARD ACCESSIBLE PARKING STALL SIZE

- C** COMMERCIAL PARKING STALLS
- V** RESIDENTIAL VISITOR'S PARKING STALLS

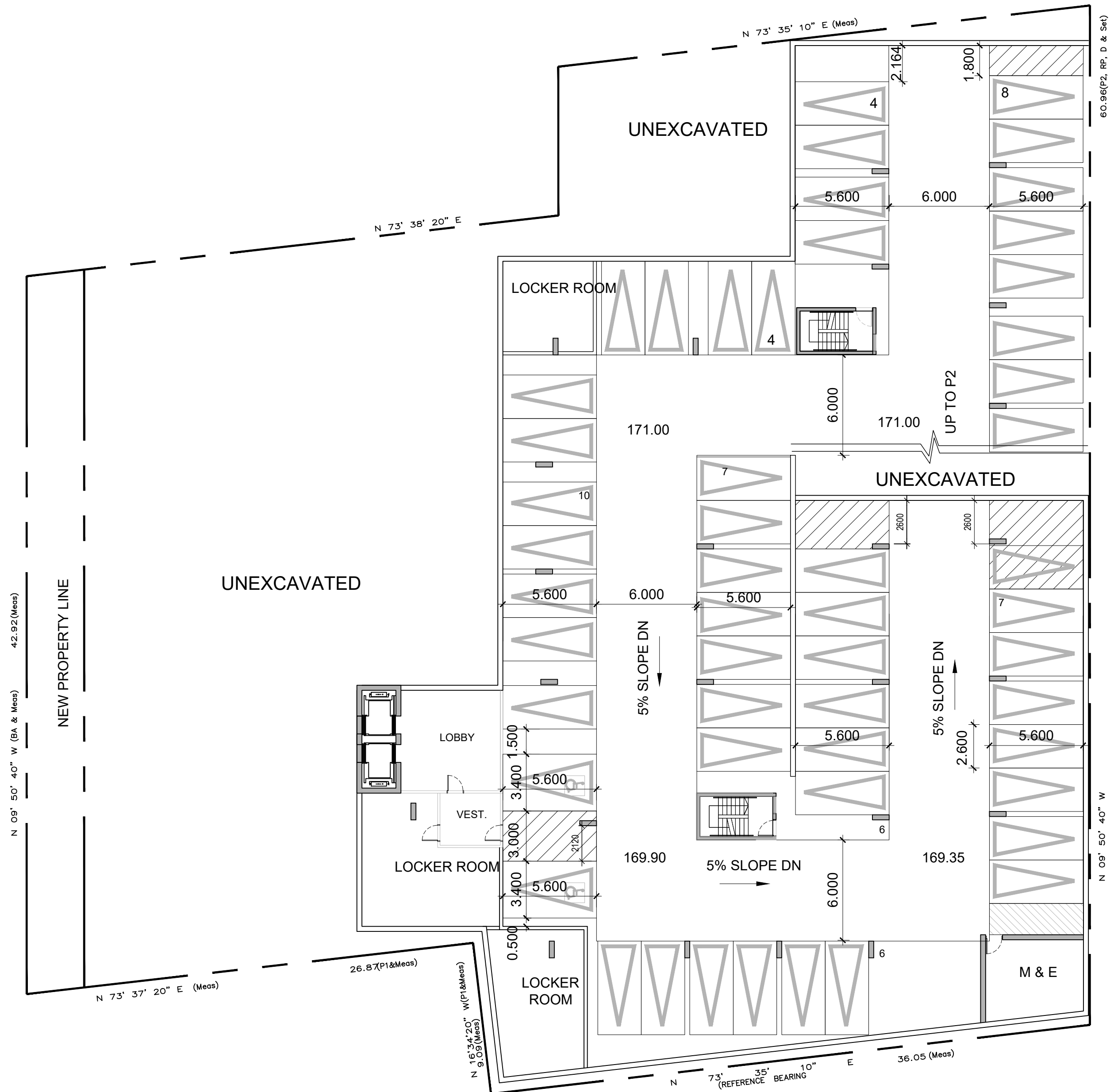
TYPICAL BIKE SPACE DIMENSIONS

HORIZONTAL BIKE SPACE: 1.8 x 0.6 M

VERTICAL BIKE SPACE: 1.2 x 0.6M

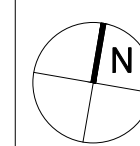
P3 LEVEL PARKING:

52 RESIDENT SPACES
52 TOTAL SPACES



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LPAT File No. (PL170696)



2795 BATHURST STREET, NORTH YORK, ONTARIO
P3 FLOOR PLAN
ISSUED FOR REZONING APRIL 27-15
ISSUED FOR REZONING APRIL 28-16
ISSUED FOR REZONING MAY 26-17
ISSUED FOR REZONING OCT 01-18
ISSUED FOR REZONING NOV 29-18

SCALE: 1:200

JOB-No: 36143

A5

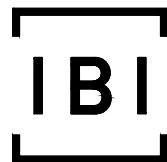
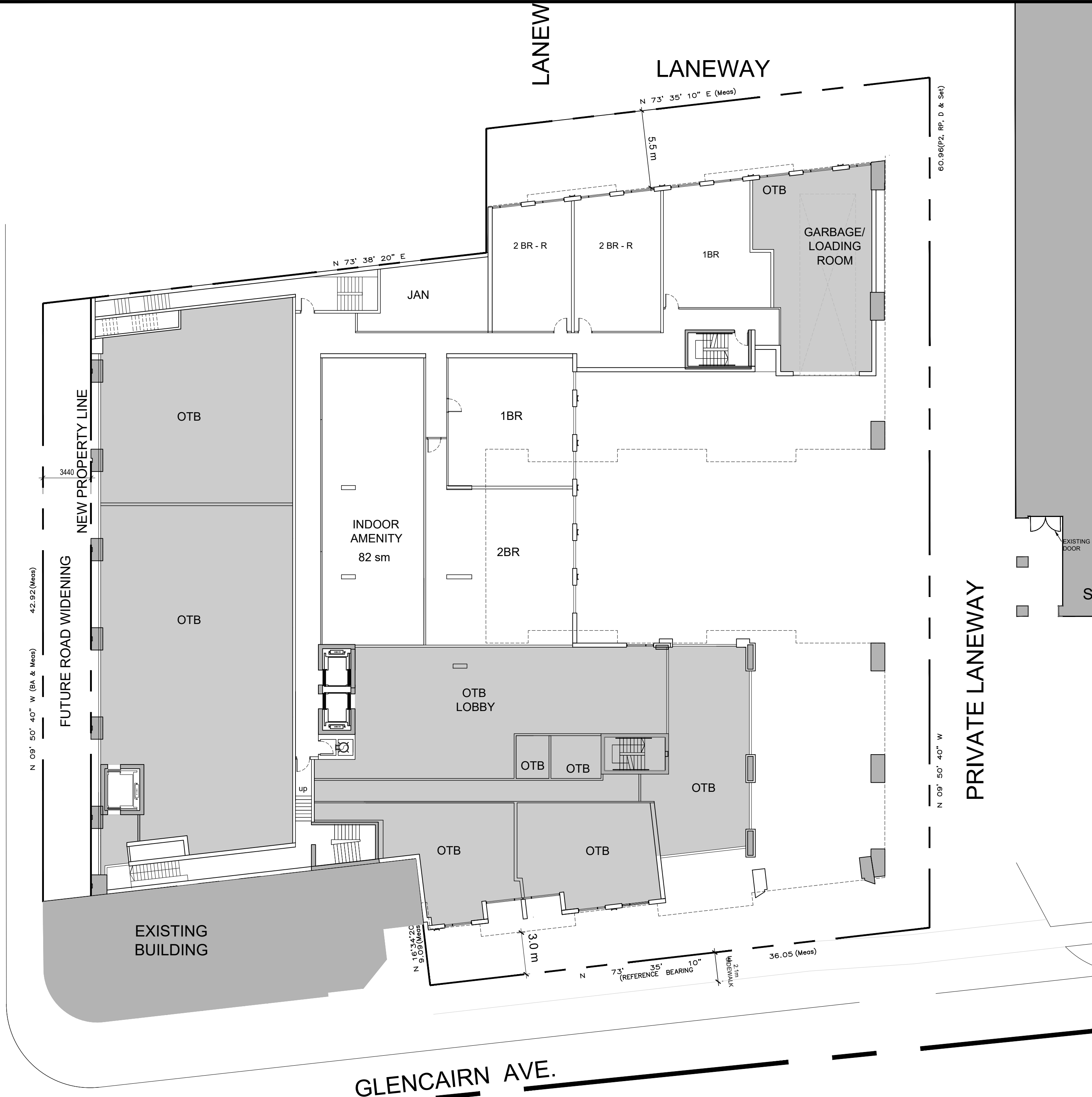
BATHURST ST.

FIRE ROUTE

LANEWAY

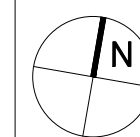
LANEWAY

PRIVATE LANEWAY



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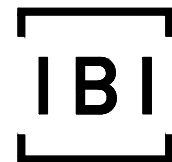
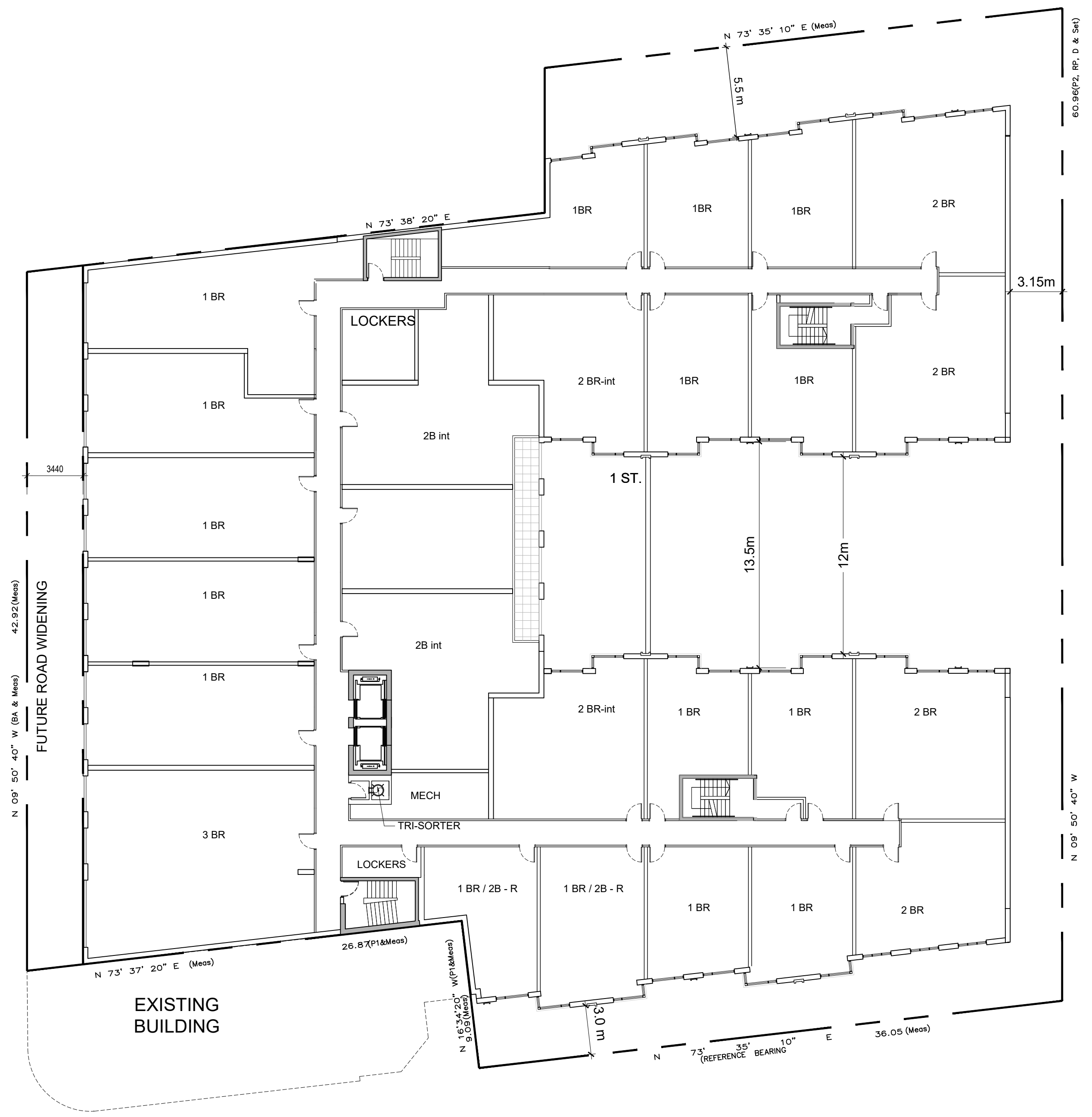
2795 BATHURST STREET, NORTH YORK, ONTARIO
 MEZZANINE FLOOR PLAN

ISSUED FOR REZONING MAY 26-17
 ISSUED FOR REZONING OCT 01-18
 ISSUED FOR REZONING NOV 29-18

SCALE: 1:200

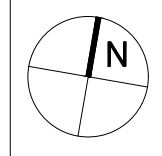
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A6



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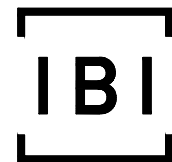
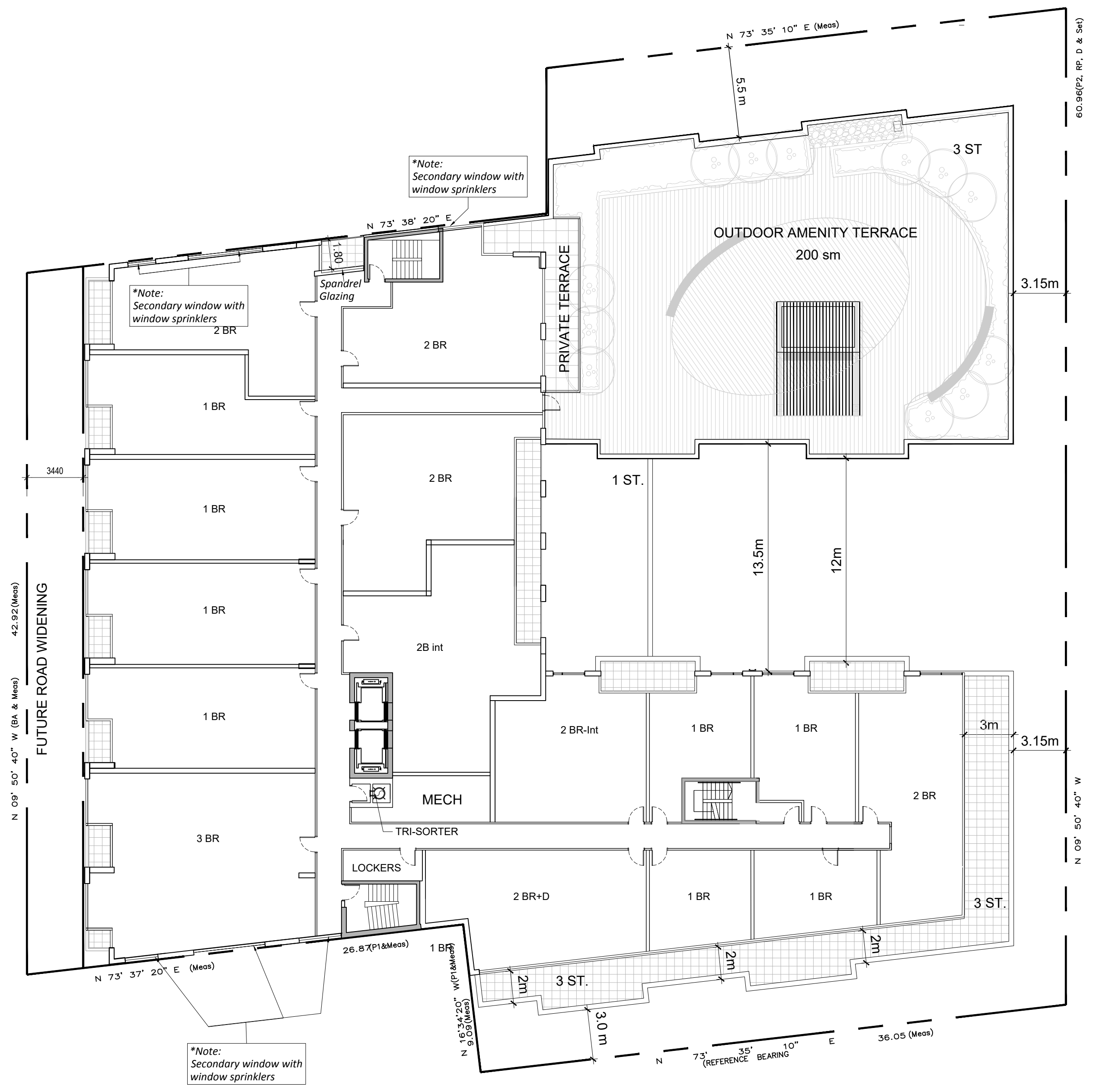
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2795 BATHURST STREET, NORTH YORK, ONTARIO
2ND FLOOR PLAN
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 ISSUED FOR REZONING APRIL 28-16
 ISSUED FOR REZONING MAY 26-17
 ISSUED FOR REZONING OCT 01-18
 ISSUED FOR REZONING NOV 29-18

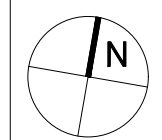
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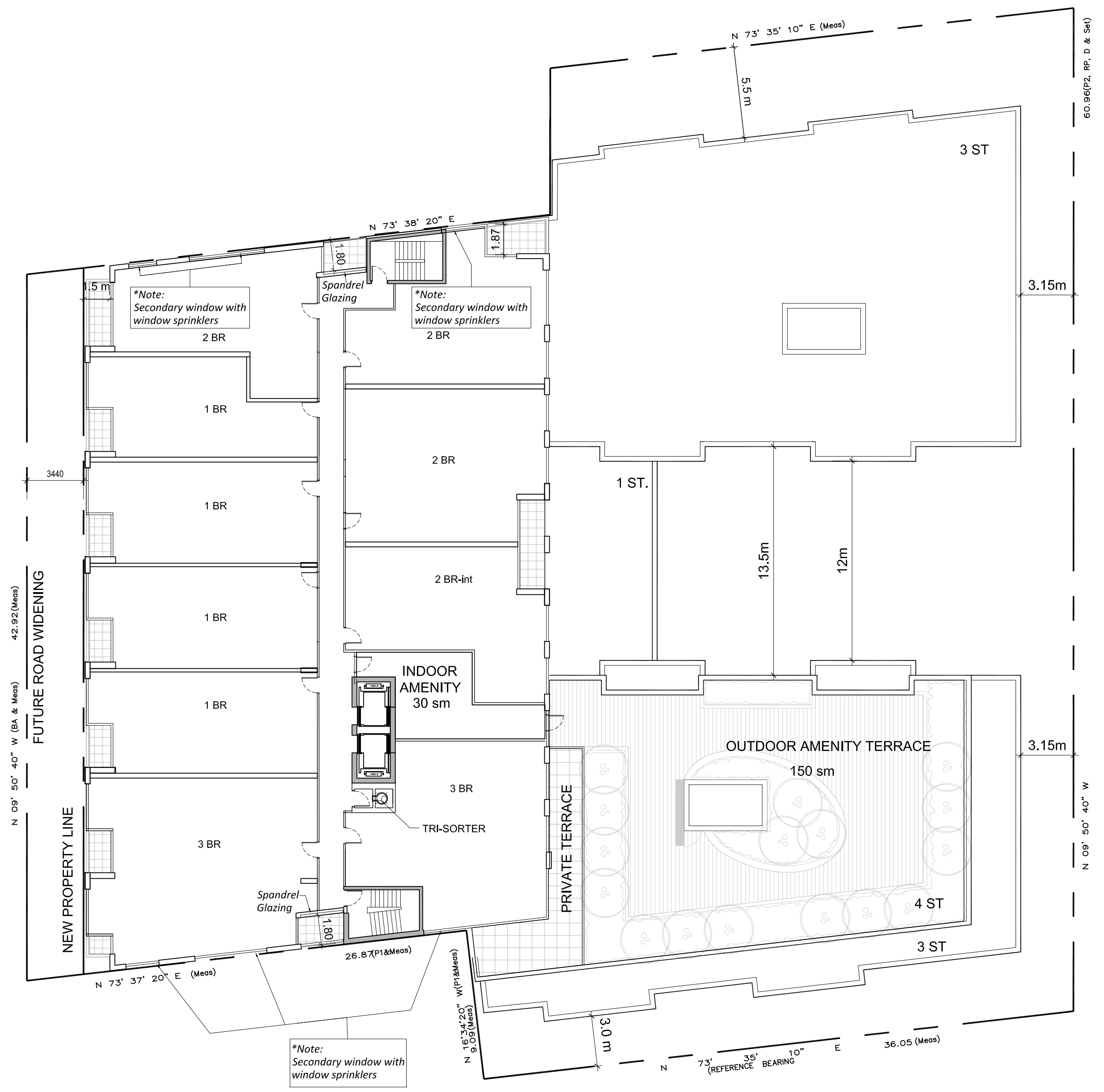
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 ISSUED FOR REZONING MAY 26-17
 ISSUED FOR REZONING OCT 01-18
 ISSUED FOR REZONING NOV 29-18

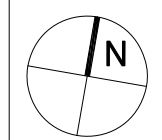
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 JOB-No: 36143

A8



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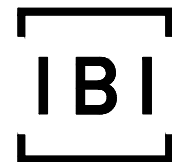
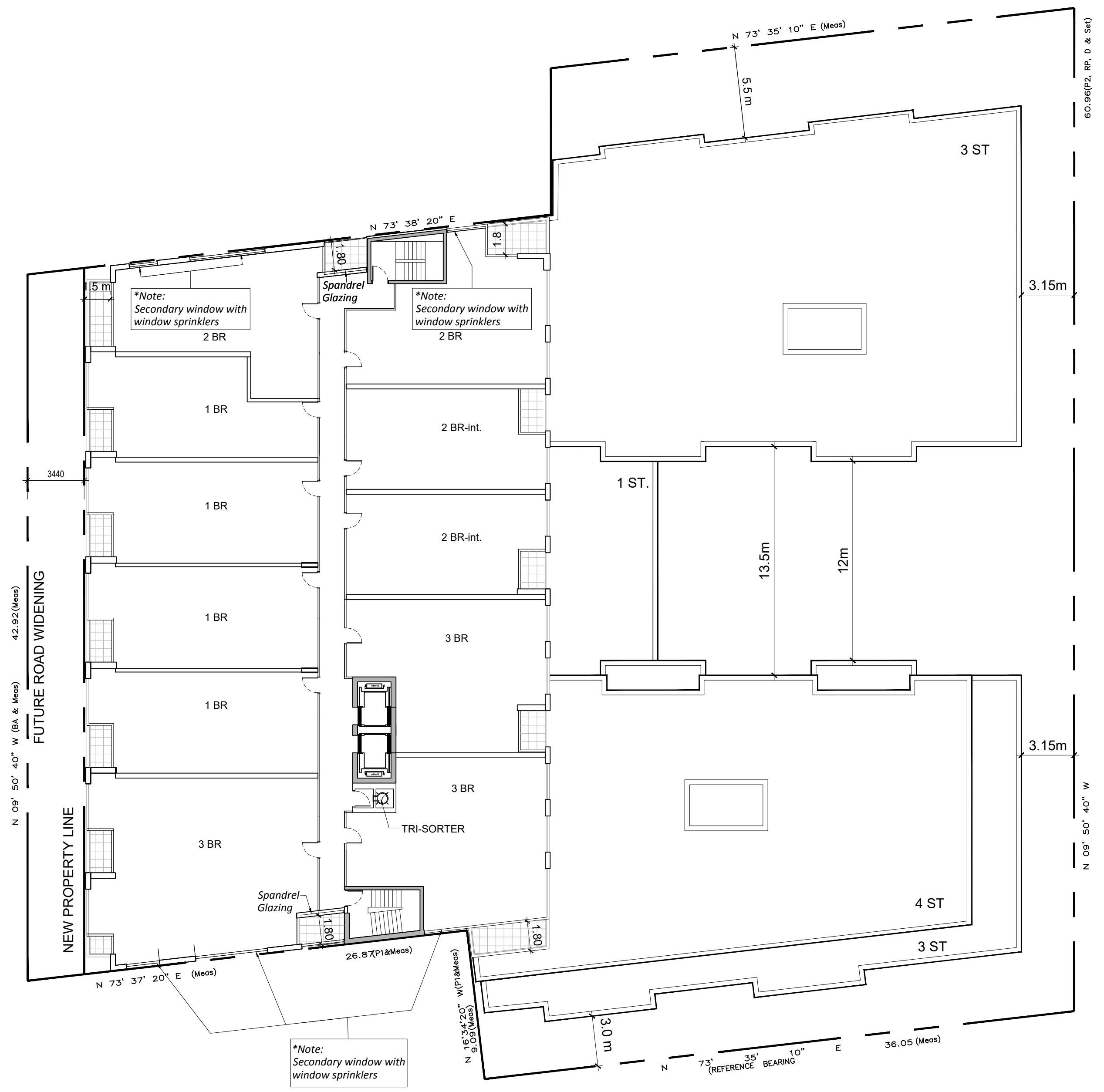
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 ISSUED FOR REZONING MAY 26-17
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 ISSUED FOR REZONING NOV 29-18

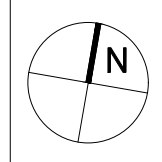
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A9



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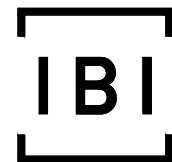
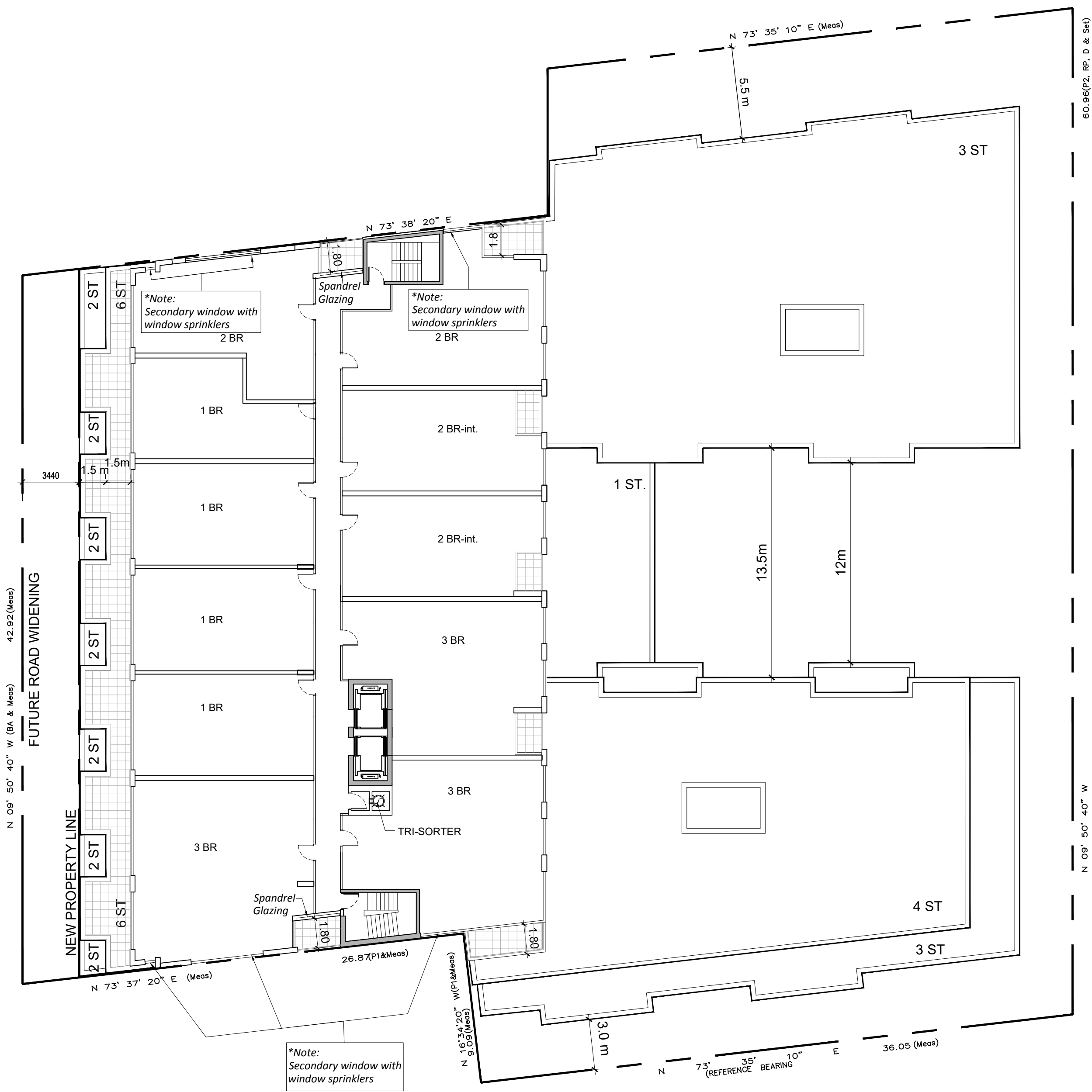
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 ISSUED FOR REZONING MAY 26-17
 ISSUED FOR REZONING OCT 01-18
 ISSUED FOR REZONING NOV 29-18

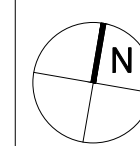
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A10



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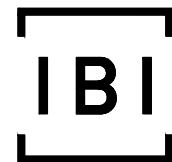
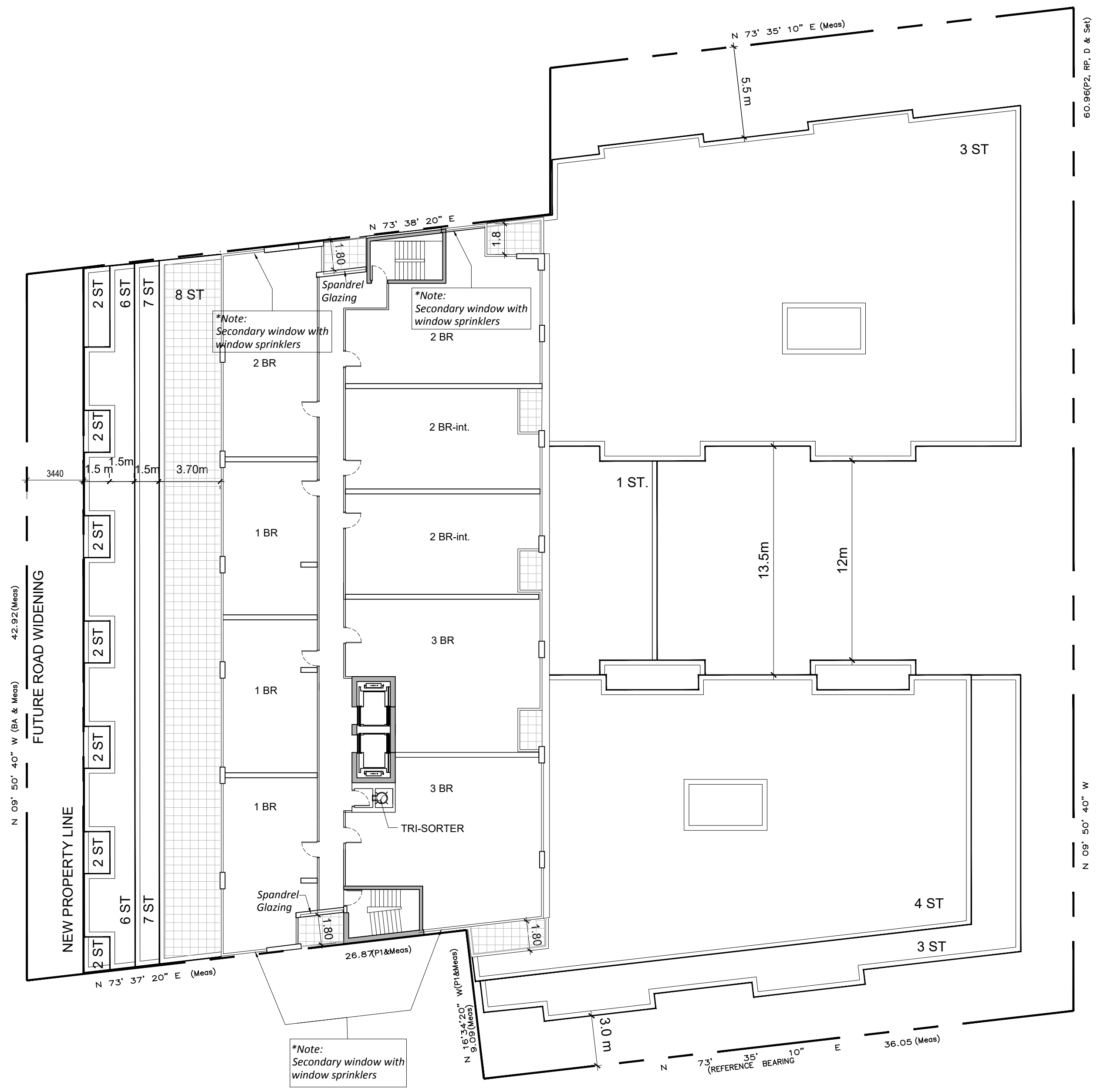


2795 BATHURST STREET, NORTH YORK, ONTARIO
7TH FLOOR PLAN
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 ISSUED FOR REZONING NOV 29-18

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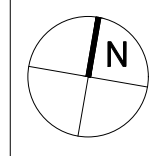
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A11



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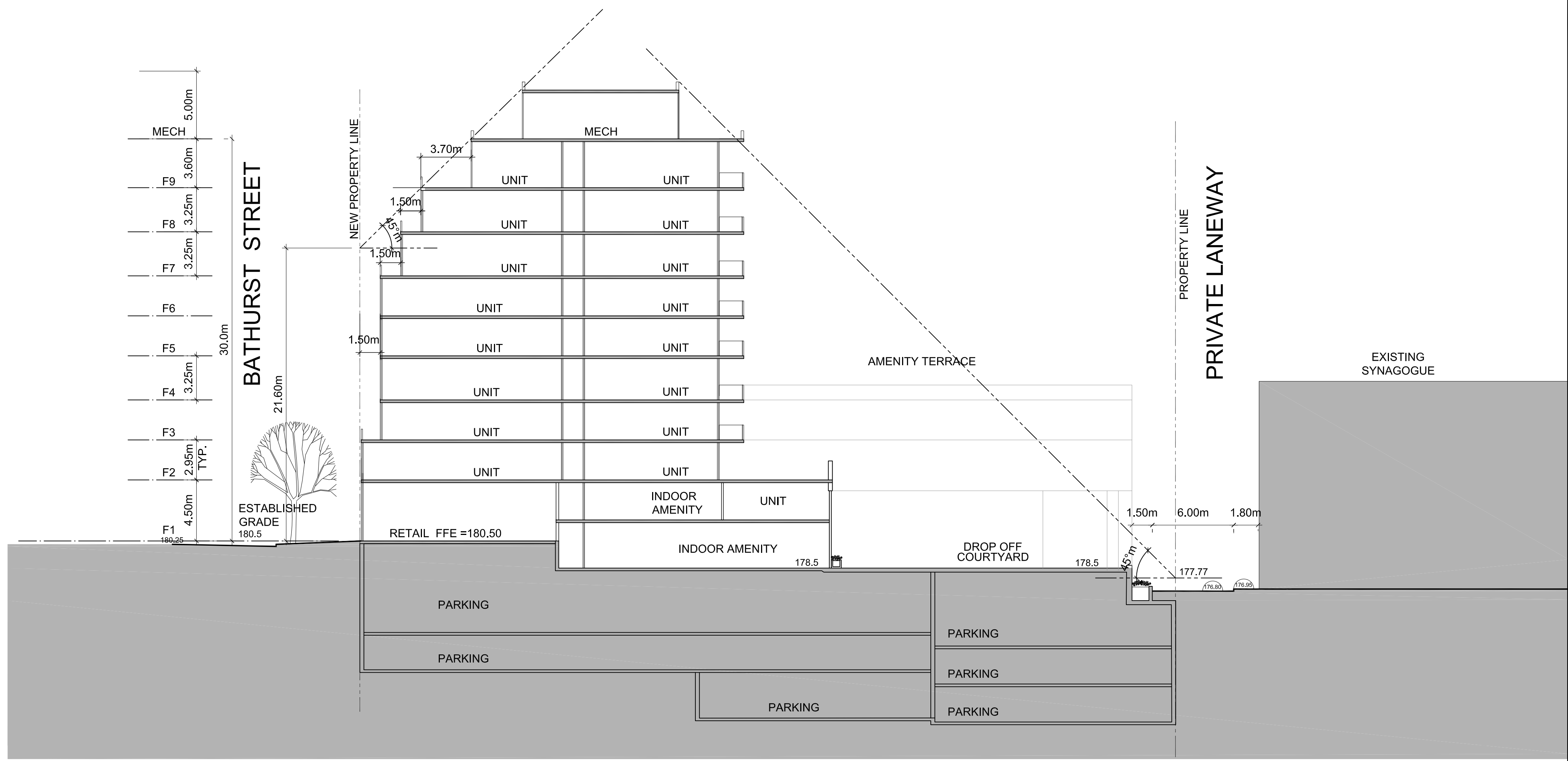
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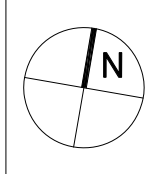
2795 BATHURST STREET, NORTH YORK, ONTARIO
9TH FLOOR PLAN
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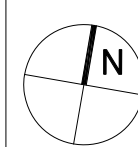
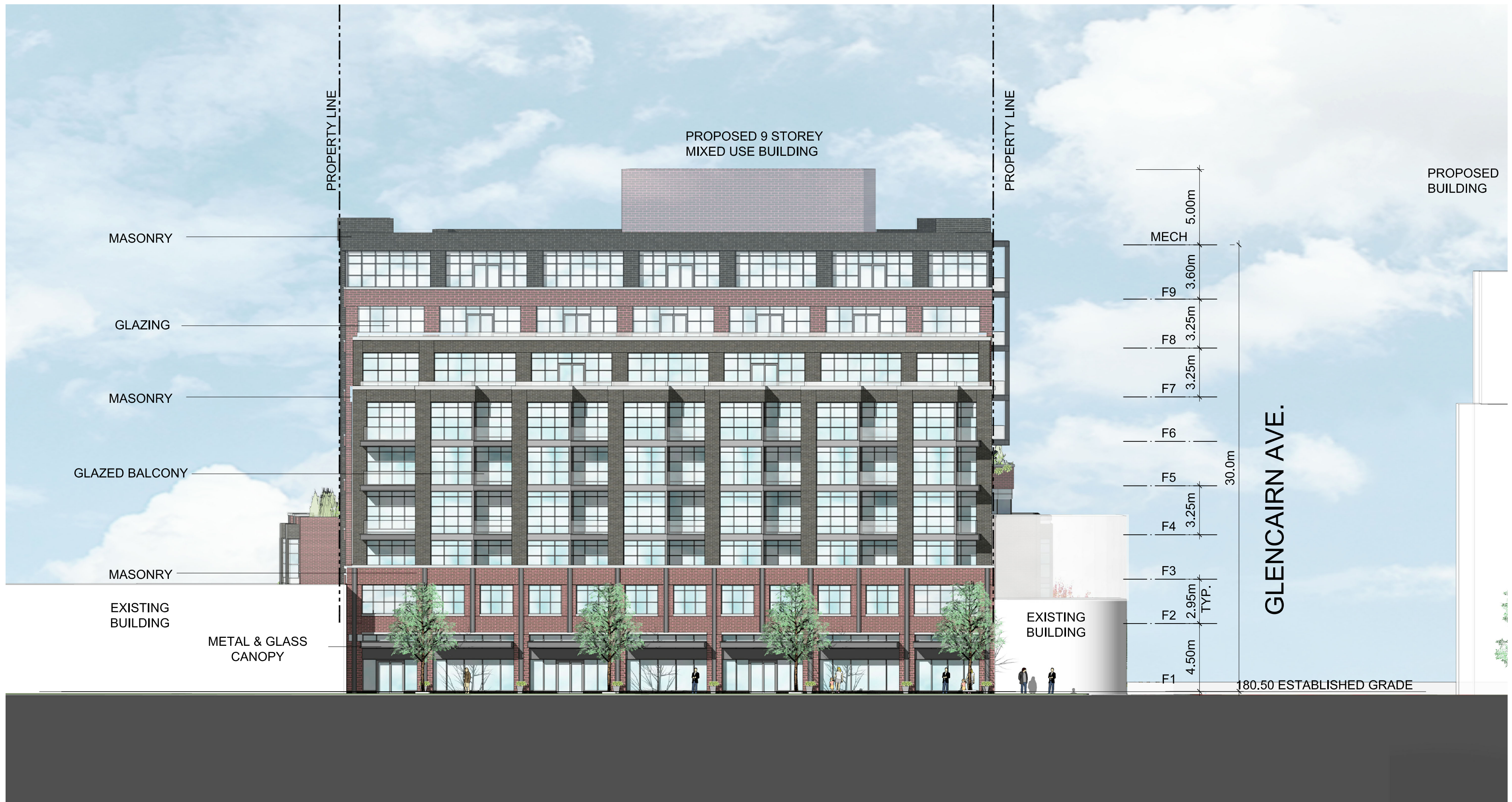
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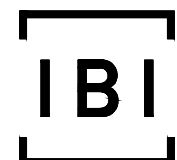
A13



**Note:
Angular plane on the east calculated
as the average of 176.53 + 179.01 = 177.77*

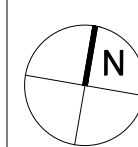






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2795 BATHURST STREET, NORTH YORK, ONTARIO
SOUTH ELEVATION-GLENCAIRN
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 ISSUED FOR REZONING APRIL 28-16
 ISSUED FOR REZONING MAY 26-17
 ISSUED FOR REZONING OCT 01-18
 ISSUED FOR REZONING NOV 29-18

SCALE: 1:200

JOB-No: 36143

A17