

CITY OF TORONTO

Bill

BY-LAW -2020

To amend Zoning By-law 569-2013, as amended, with respect to the lands municipally known in the year 2019 as 573 King Street East.

Whereas Council of the City of Toronto has the authority to pursuant to Section 34 of the Planning Act, R.S.O. 1990, c. P. 13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto enacts:

1. The lands subject to this By-law are outlined by heavy black lines on Diagram 1 attached to this By-law.
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law 569-2013, Chapter 800 Definitions.
3. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Zoning By-law Map in Section 990.10, and applying the following zone label to these lands: **CR 1.33 (c1.33; r0.0) SS2 (x243)** as shown on Diagram 2 attached to this By-law.
4. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Height Overlay Map in Section 995.20.1, and applying the following height and storey label to these lands: **HT 12.0**, as shown on Diagram 3 attached to this Bylaw.
5. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Policy Areas Overlay Map in Section 995.10.1, and applying the following Policy Area label to these lands: **PA 1**, as shown on Diagram 4 attached to this Bylaw.
6. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Rooming House Overlay Map in Section 995.40.1, and applying the following Rooming House label: **B2** to these lands, as shown on Diagram 5 attached to this By-law.
7. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Lot Coverage Overlay Map in Section 995.30.1, as shown on Diagram 6 attached to this By-law.

8. Zoning By-law 569-2013, as amended, is further amended by adding Article 900.11.10 Exception Number 243 so that it reads:

(243) Exception CR 243

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections.

Site Specific Provisions:

- (A) On 573 King Street East, the only permitted uses are a **recreation use, retail store, personal service shop, eating establishment, take-out eating establishment**, office and related ancillary uses, and:
- (i) they must be located in the **building** existing on the lands in 2019; and
 - (ii) despite Regulation 40.10.20.100 (1) (A), the total **interior floor area** of all **eating establishments** and **take-out eating establishments** must not exceed 860 square metres, with a maximum seating area of 430 square metres;
- (B) Despite Regulation 40.10.40.1(2)(A), the floor level of the first **storey** must be within 0.5 metres of the ground measured at the **lot line** abutting the **street** directly opposite each pedestrian entrance;
- (C) Despite Regulation 40.10.40.70(2)(B) and (C) the minimum **building setbacks** are as follows:
- (i) A minimum of 0.0 metres from the **lot line** abutting King Street East;
 - (ii) A minimum of 0.0 metres from the **lot line** abutting St Lawrence Street;
 - (iii) A minimum of 11.7 metres from the west **lot line**; and
 - (iv) A minimum of 1.8 metres from the south **lot line**;
- (D) Regulation 40.10.80.20(1) with respect to **parking space** setbacks does not apply;
- (E) Regulations 40.10.100.10(1)(B) and (C) with respect to vehicle access do not apply;
- (F) Despite Regulation 200.5.10.1(1), a minimum of 7 **parking spaces** must be provided;
- (G) Despite Regulations 220.5.10.1(3) and (5), no **loading spaces** are required for **retail store, eating establishment, personal service shop**, or office uses.

Prevailing By-laws and Prevailing Sections:

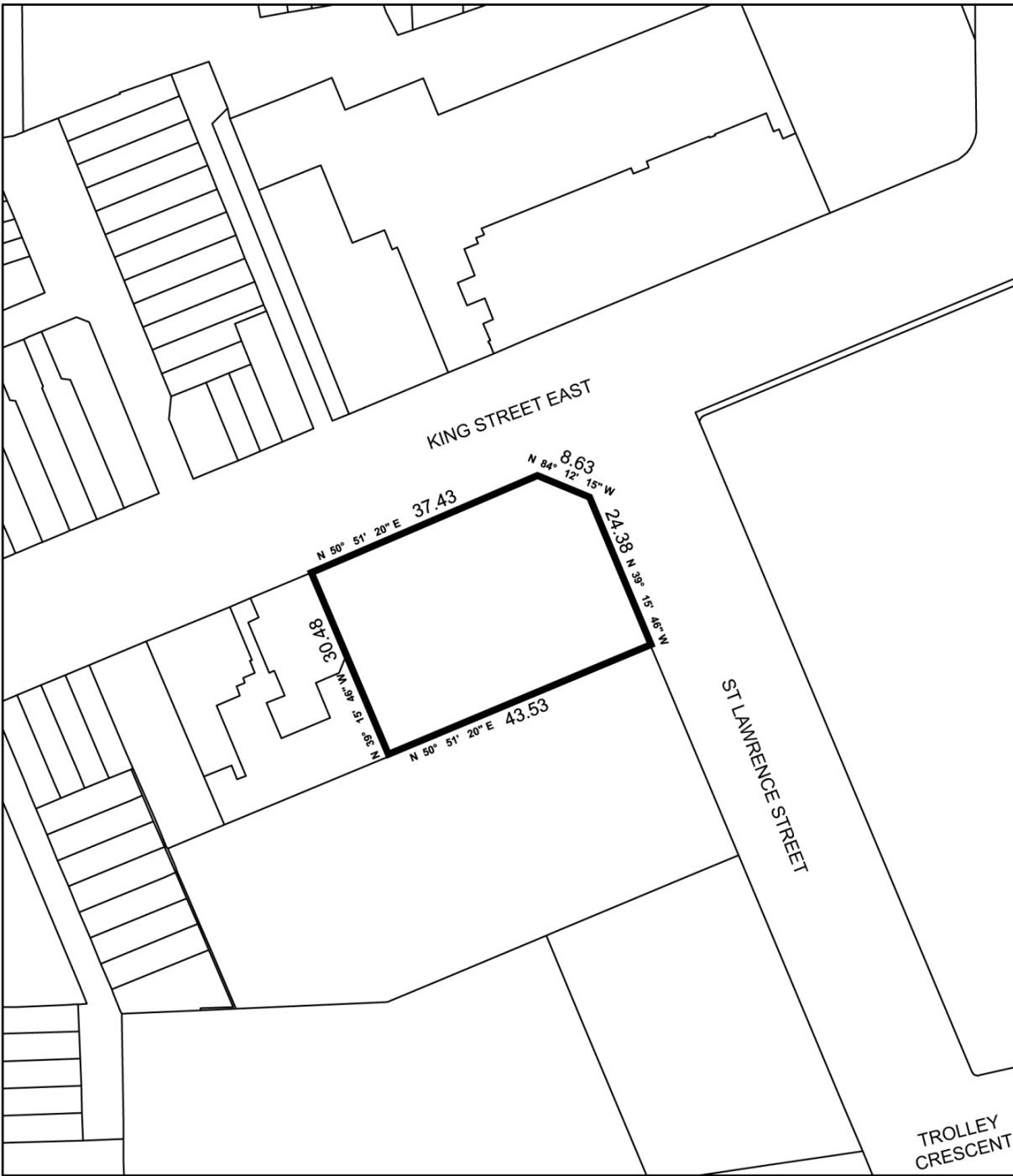
- (A) Section 12(2) 132 of former City of Toronto By-law 438-86;
- (B) Section 12(2) 246 of former City of Toronto By-law 438-86;
- (C) Section 12(2) 260 of former City of Toronto By-law 438-86; and
- (D) Section 12(2) 270 of former City of Toronto By-law 438-86.

Enacted and passed on April X, 2020.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)



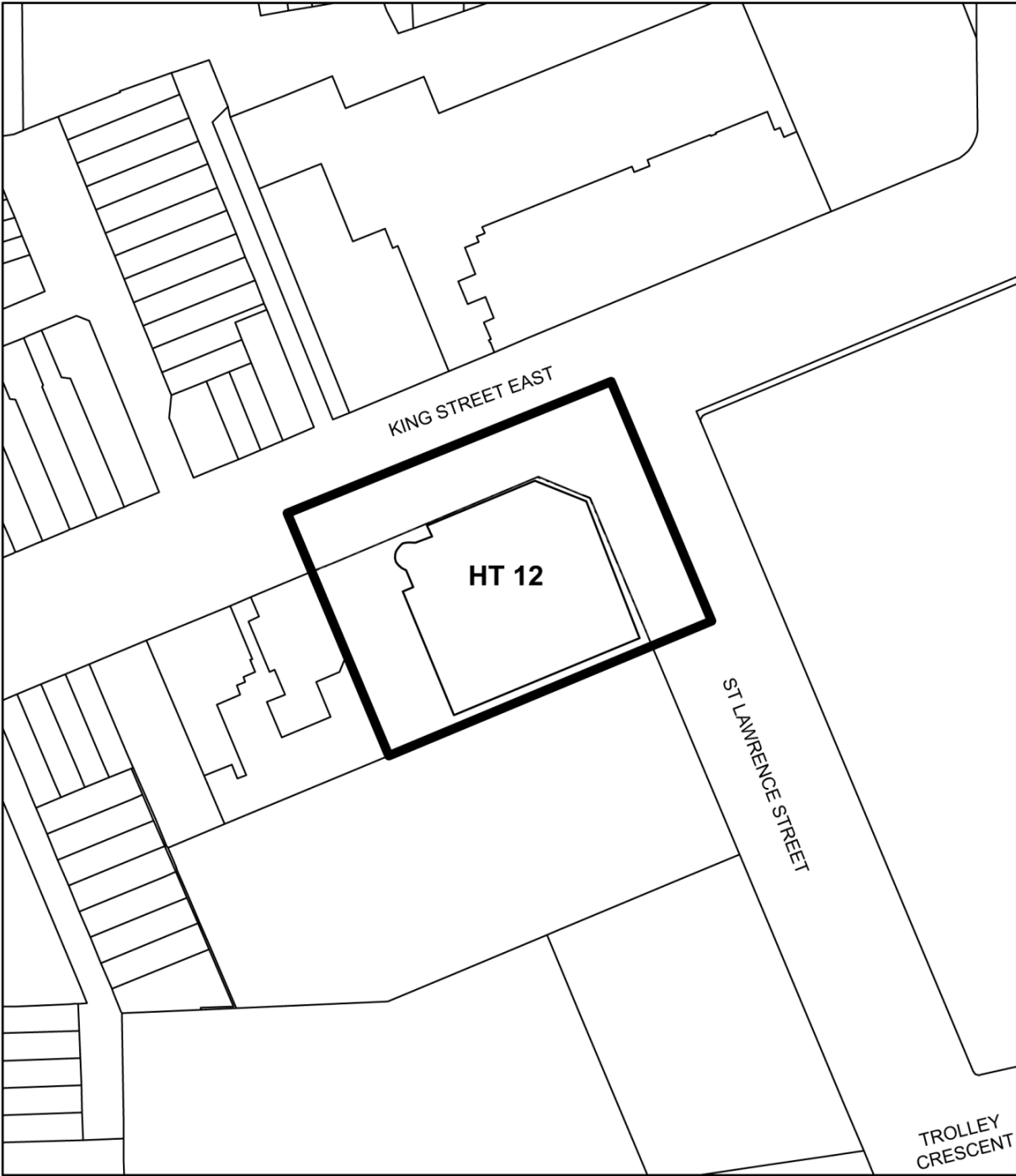
 **TORONTO**
Diagram 1

573 King Street East

File # 19 131101 STE 13 0Z







 **TORONTO**
Diagram 3

573 King Street East

File # 19 131101 STE 13 0Z



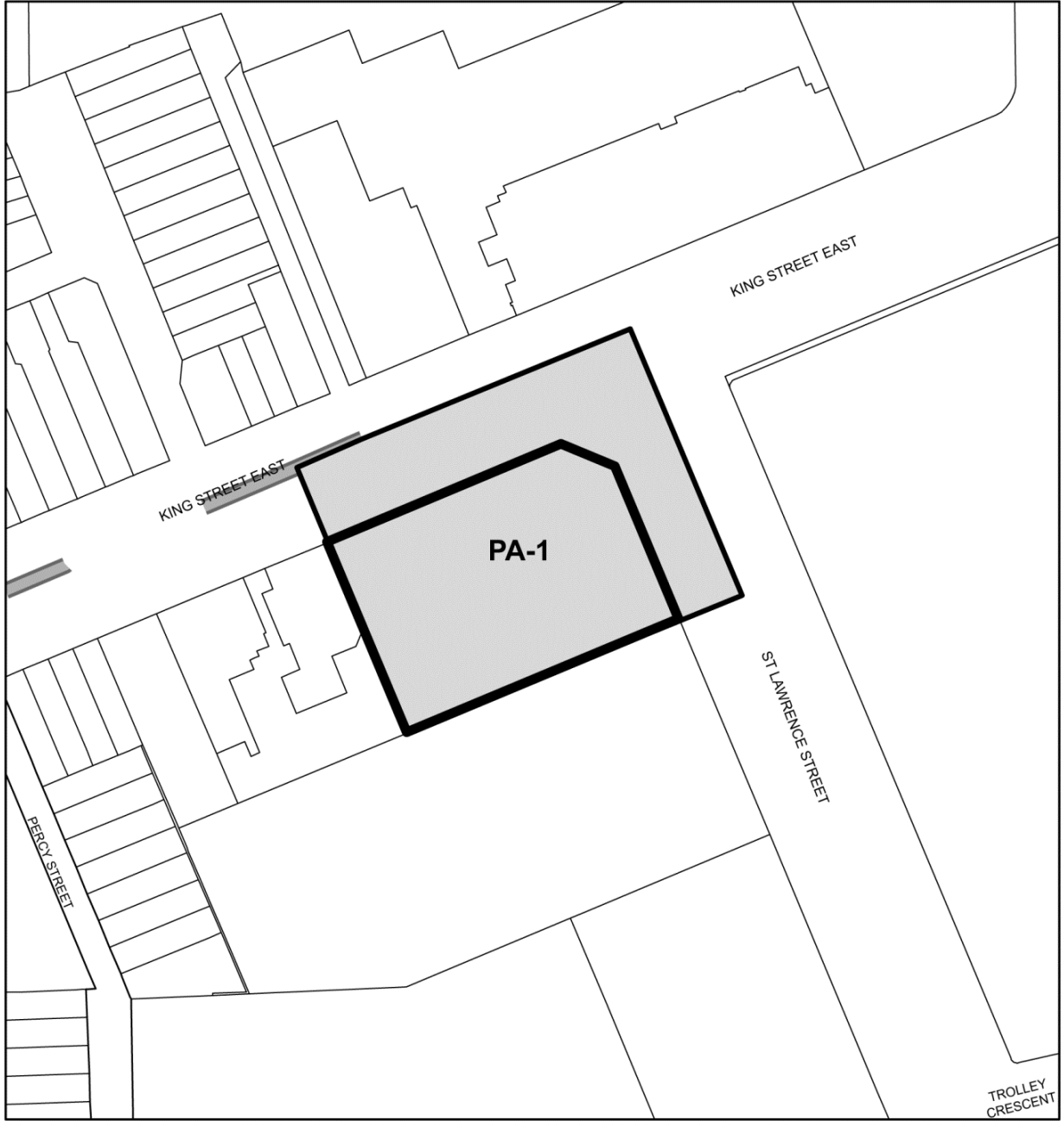



Diagram 4
Zoning By-law 569-2013 Policy Area Overlay

573 King Street East
File # 19 131101 STE 13 0Z

-  Location of Application
-  Major Streets
-  Policy Area


Not to Scale
Extracted: 01/29/2020

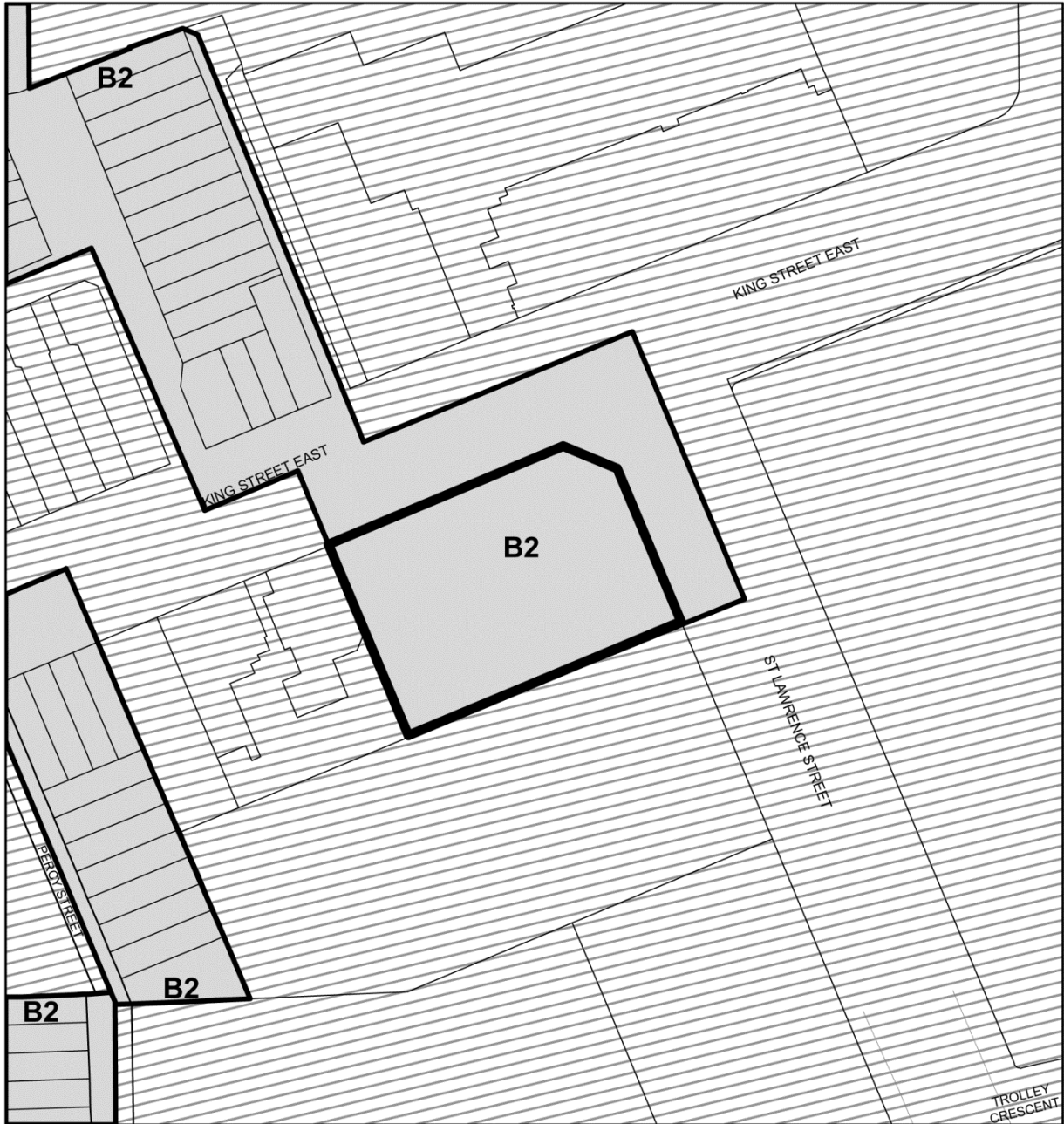


Diagram 5
Zoning By-law 569-2013 Rooming House Overlay

573 King Street East
File # 19 131101 STE 13 0Z

-  Location of Application
-  Rooming House Areas

 See Former City of Toronto By-law No. 438-86



Not to Scale
Extracted: 01/29/2020



Diagram 6
Zoning By-law 569-2013 Lot Coverage Overlay

573 King Street East
File # 19 131101 STE 13 0Z



See Former City of Toronto By-law No. 438-86



Not to Scale
Extracted: 01/29/2020