



Graywood Developments
200 King Street W, Suite 1602
Toronto, Ontario M5H 3T4
Tel: 416 599 2512
Contact: Neil Pattison
E-mail: npattison@graywoodgroup.com



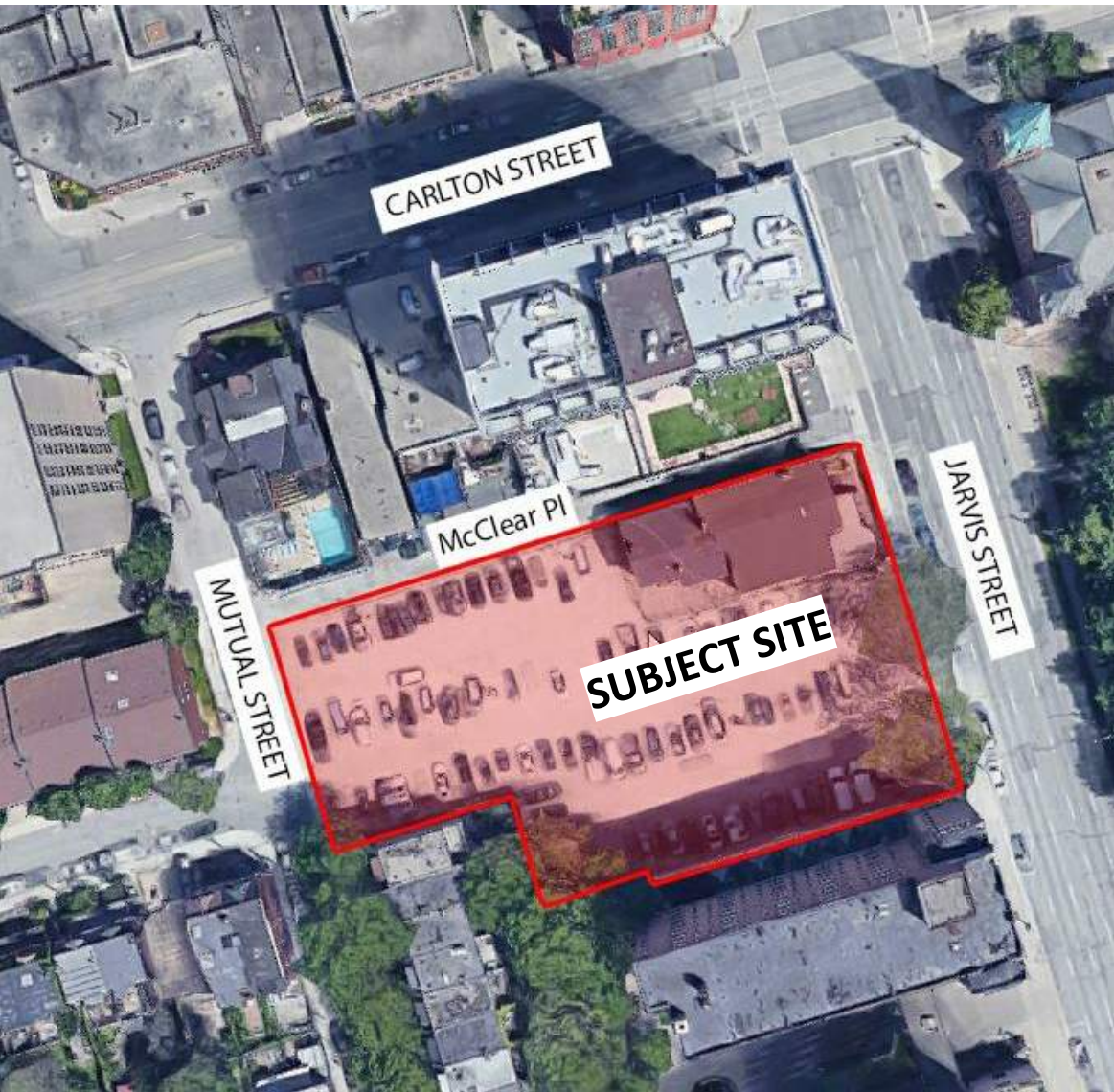
Phantom Developments
207 Weston Rd
Toronto, Ontario, M6N 4Z3
Tel: 416 762 7177
Contact: Rik Dittmer
E-mail: Rik@phantom.ca

JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto,
Ontario, Canada

18.189CS

SPA DRAWING LIST	
Sheet Number	Sheet Name
SPA000	COVER SHEET
SPA001A	STATISTICS BYLAW 569-2013
SPA001B	STATISTICS BYLAW 569-2013
SPA002	SURVEY
SPA003	CONTEXT PLAN
SPA004	TGS CHECKLIST
SPA005	SITE PLAN / ROOF PLAN
SPA006	RESIDENTIAL SOLID WASTE MANAGEMENT
SPA101	UNDERGROUND LEVEL 02
SPA102	UNDERGROUND LEVEL 01
SPA103	UNDERGROUND NORTHEAST CORNER
SPA151	FLOOR 01
SPA152	FLOOR 02
SPA153	FLOOR 03
SPA154	FLOOR 04
SPA155	FLOOR 05-06
SPA157	FLOOR 07
SPA158	FLOOR 08
SPA159	FLOOR 09
SPA160	FLOOR 10
SPA161	FLOOR 11
SPA162	FLOOR 12-34
SPA165	M.P.H.
SPA301	EAST AND NORTH ELEVATIONS
SPA302	WEST AND SOUTH ELEVATIONS
SPA311A	1 TO 50 EAST ELEVATION PART A
SPA311B	1 TO 50 EAST ELEVATION PART B
SPA312A	1 TO 50 WEST ELEVATION PART A
SPA312B	1 TO 50 WEST ELEVATION PART B
SPA313A	1 TO 50 SOUTH ELEVATION PART A
SPA313B	1 TO 50 SOUTH ELEVATION PART B
SPA314A	1 TO 50 NORTH ELEVATION PART A
SPA314B	1 TO 50 NORTH ELEVATION PART B
SPA315	OVERHEARD GARAGE DOORS
SPA321	BIRD FRIENDLY ELEVATIONS
SPA331	JARVIS STREET ELEVATION
SPA332	MUTUAL STREET ELEVATION
SPA401	NORTH-SOUTH SECTION
SPA402	WEST-EAST SECTION
SPA801	3D PERSPECTIVES
SPA802	3D PERSPECTIVES
SPA811	SHADOW STUDY - MARCH
SPA812	SHADOW STUDY - MARCH
SPA813	SHADOW STUDY - MARCH
SPA815	SHADOW STUDY - JUNE
SPA816	SHADOW STUDY - JUNE
SPA817	SHADOW STUDY - JUNE
SPA819	SHADOW STUDY - SEPTEMBER
SPA820	SHADOW STUDY - SEPTEMBER
SPA821	SHADOW STUDY - SEPTEMBER
SPA890	SARIS BIKE RACK DETAILS



LOCATION PLAN
NTS



TURNER
FLEISCHER

67 Lesmill Road
Toronto, ON, M3B 2T8
turnerfleischer.com

ISSUED FOR SPA
08/21/2020



TURNER FLEISCHER
ARCHITECT



LANDSCAPE

Turner Fleischer Architects Inc
67 Lesmill Road
Toronto, Ontario, M3B 2T8
Tel: 416 425 2222
Fax: 416 425 6717
Contact: Anita Yu
E-mail: anita@turnerfleischer.com

ALEXANDER BUDREVICS +
ASSOCIATES LTD
895 Don Mills Road, Second
Tower, Suite 212
Tel: 416 444 5201
Contact: Arnis Budrevics
E-mail: arnis@budrevics.ca



SITE SERVICES

The Odan/Detech Group Inc.
701 Rossland Road, Suite 201
Whitby, Ontario, L1N 8Y9
Tel: 905 632 3811
Contact: Daniel Bancroft
E-mail: daniel@odantech.com



MECHANICAL / ELECTRICAL

M.V. Shore Associates Limited
402-1200 Eglinton Ave E
North York, Ontario, M3C 1H9
Tel: 416 443 1995
Contact: Bill Chan
E-mail: bc@mvshore.com



TRANSPORTATION

BA CONSULTING GROUP LTD.
45 St. Clair Ave. W. Suite 300
Toronto, Ontario, M4V 1K9
Tel: 416 961 7110
Contact: Steve Krossey
E-mail: Krossey@bagroup.com



STRUCTURE

Jablonsky Ast & Partners
1129 Leslie St.
North York, Ontario M3C 2K5
Tel: 416 447 7405
Contact: Paul Ast & Jeff Watson
E-mail: jap@astint.on.ca
jwatson@astint.on.ca



INTERIOR DESIGN

Tomas Pearce Interior Design
Consulting Inc.
131 Miranda Ave, Toronto, ON
M6B 3W8
Tel: 416 588 2088
Contact: Melandro Quilatan
E-mail: mel@tomaspearce.com



ENERGY MODEL

EQ Building Performance
20 Floral Pkwy, Concord, Ontario
L4K 4R1
Tel: 416 645 1186
Contact: Craig McIntyre
E-mail: cmcintyre@eqbuilding.com



HERITAGE

Goldsmith Borgal &
Company Ltd. Architects
362 Davenport Road, Suite
100, Toronto ON M5R 1K6
Tel: 416 929 6556
Contact: Sharon Vattay
E-mail: sharon@gbca.ca



SURVEYOR

Krcmar Surveyors Ltd
1137 Centre St
Thornhill, Ontario, L4J 3M6
Tel: 905 738 0053
Contact: Sasa Krcmar
E-mail: sasa@krcmar.ca

PROJECT SUMMARY

PROJECT INFORMATION

ESTABLISHED GRADE	99.0 M	99.0 M
-------------------	--------	--------

INDOOR AMENITY PROVIDED	978.0	10,528	0.3
INDOOR AMENITY (REQUIRED) EXCL. FROM GFA	978.0	10,527	0.3
INDOOR AMENITY (EXCESS) INCL. IN GFA	0.0	0	0.0

AMENITY AREA BREAKDOWN

EXCLUSIONS BREAKDOWN

TOTAL FLOOR AREA SUMMARY

GROSS FLOOR AREA DEFINITION

Gross Floor Area Calculations for a Mixed Use Building in the Commercial Residential Zone Category
In the Commercial Residential Zone category the **gross floor area of a mixed use building** is reduced by the area in the **building** used for:

- (A) parking, loading and bicycle parking below-ground;
- (B) required **loading spaces** at the ground level and required **bicycle parking spaces** at or above-ground;
- (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the **basement**;
- (D) shower and change facilities required by this By-law for required **bicycle parking spaces**;
- (E) **amenity space** required by this By-law;
- (F) elevator shafts;
- (G) garbage shafts;
- (H) mechanical penthouse; and
- (I) exit stairwells in the **building**.

Turner Fleischer Architects Inc.

This drawing, as an instrument of service, is provided by and is the property of Turner Reischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Reischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

 **GRAYWOOD**
HONOURING 35 YEARS

 **PHANTOM**
DEVELOPMENTS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

PROJECT NO.

18.189CS

PROJECT DATA

2021.02.09

00000000000000000000

DRAWN BY
MNT

MINZ

CHECKED BY

AYU

SCALE

ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA001A

UNIT MIX - PROVIDED

FLOOR	UNIT								TOTAL
	STUDIO	1B	1B+D	2B	2B+D	3B+D	3B+D (G)	TH (G)	
1								5	5
2		3		3	5	4	2		17
3	1	4	4	3	4	2	4		22
4	1	4	4	3	4	2	4		22
5	1	4	4	3	4	2	4		22
6	1	4	4	3	4	2	4		22
7	1	4	2	4	3	2	1		17
8	1	4	2	3	4	4	1		19
9	1	4	2	3	4	4	1		19
10	1	2	2	3	3	1			12
11	3	3	2	1	4				13
12	3	3	2	1	4				13
13	3	3	2	1	4				13
14	3	3	2	1	4				13
15	3	3	2	1	4				13
16	3	3	2	1	4				13
17	3	3	2	1	4				13
18	3	3	2	1	4				13
19	3	3	2	1	4				13
20	3	3	2	1	4				13
21	3	3	2	1	4				13
22	3	3	2	1	4				13
23	3	3	2	1	4				13
24	3	3	2	1	4				13
25	3	3	2	1	4				13
26	3	3	2	1	4				13
27	3	3	2	1	4				13
28	3	3	2	1	4				13
29	3	3	2	1	4				13
30	3	3	2	1	4				13
31	3	3	2	1	4				13
32	3	3	2	1	4				13
33	3	3	2	1	4				13
34	3	3	2	1	4				13
SUBTOTAL	80	105	72	52	131	23	21	5	489
%	16.4%	21.5%	14.7%	10.6%	26.8%	4.7%	4.3%	1.0%	
TOTAL UNITS	80	177		183		49			
UNIT MIX	16.4%	36.2%		37.4%		10.0%			100.0%

AVERAGE UNIT SIZE PER UNIT TYPE

AVG. UNIT SIZE	STUDIO	1B	2B	3B & MORE	TOTAL
m2	30.9	48.0	66.1	100.2	57.2
ft2	332	516	711	1,079	616

BARRIER-FREE UNIT PER UNIT TYPE

AVG. UNIT SIZE	STUDIO	1B	2B	3B & MORE	TOTAL
REQUIRED	12	27	28	8	75
PROVIDED	12	27	30	9	78

AMENITY AREAS - REQUIRED & PROVIDED

TYPE	REQUIRED*			PROVIDED			
	RATIO	m2	ft2	RATIO		m2	ft2
INDOOR	2 sm/unit	978.0	10,527.19	2.0 sm/unit		978.0	10,527.62
OUTDOOR	1.5 sm/unit	733.5	7,895.39	1.5 sm/unit		754.9	8,125.68
TOTAL	3.5 sm/unit	1,711.5	18,422.59	3.5 sm/unit		1,732.9	18,653.30

* AMENITY RATIO AS PER SETTLEMENT NOVEMBER 28, 2017.

BICYCLE PARKING - REQUIRED & PROVIDED

RESIDENTIAL	REQUIRED		PROVIDED	
	RATIO	SPACES	RATIO	SPACES
LONG-TERM	0.9 per unit	441	0.90 per unit	441
SHORT-TERM	0.1 per unit	49	0.10 per unit	50
TOTAL	1.0 per unit	490	1.00 per unit	491
COMMERCIAL				
LONG-TERM	0.2 per 100 m2	1		1
SHORT-TERM	3+0.3 per 100 m2	4		4
TOTAL	per 100 m2	5		5
			TOTAL	496

VEHICLE PARKING - PROPOSED* & PROVIDED

RESIDENTIAL	PROPOSED		PROVIDED	
	RATIO	SPACES	RATIO	SPACES
RESIDENT	0.17 per unit	83	0.17 per unit	83
VISITOR	0.05 per unit	24	0.05 per unit	24
TOTAL	0.22 per unit	107	0.22 per unit	107

* REFER TO TRAFFIC IMPACT STUDY PRREPARED BY BA GROUP

ACCESSIBLE PARKING*

REQUIRED	PROVIDED
SPACES	SPACES
6	6

* INCLUDED IN TOTAL PARKING COUNT

LEV, EVSE & ROUGHED-IN EV PARKING*

	REQUIRED	PROVIDED
	SPACES	SPACES
LEV	NA	NA
EVSE	22	22
ROUGHED-IN EV	85	85

"GROWING UP" UNITS

	REQUIRED	PROVIDED
TOTAL	25	26
RATIO	5.0%	5.3%

* Size per The Growing Up Urban Design Guidelines

3B UNITS

	REQUIRED	PROVIDED
TOTAL	49	49
RATIO	10.0%	10.0%

TURNER
FLEISCHER

Turner Fleischer Architects Inc.

67 Leasmill Road
Toronto, ON, M3B 2T8
T 416-425-2222
turnerfleischer.com

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

7	2021-02-09	ISSUED FOR SPA	AYU
4	2020-08-21	ISSUED FOR SPA	AYU
3	2020-07-23	REVISED PER TRANSPORTATION COMMENTS	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

GRAYWOOD
HONOURING 35 YEARS

PHANTOM
DEVELOPMENTS

PROJECT

JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING

STATISTICS BYLAW 569-2013


PROJECT NO.
18.189CS

PROJECT DATE
2021-02-09

DRAWN BY
MNZ

CHECKED BY
AYU

SCALE



DRAWING NO.
SPA001B

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be used for any other purpose without the written consent of Turner Fleischer Architects Inc. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

I REQUIRE THIS PLAN TO BE DEPOSITED
UNDER THE LAND TITLES ACT.

PLAN 66R-

RECEIVED AND DEPOSITED

DATE _____, 2019

DATE _____, 2019

WALDEMAR GOLINSKI

ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF THE
TORONTO REGISTRY OFFICE (No.66)

SCHEDULE

PART	LOT	CONCESSION	PIN	AREA (m ²)
1	PART OF PARK LOT 6	CONCESSION 1 FROM THE BAY	ALL OF PIN 21102-0264(LT)	3204.7

PLAN OF SURVEY OF
PART OF PARK LOT 6
CONCESSION 1
(GEOGRAPHIC TOWNSHIP OF YORK)
FROM THE BAY
CITY OF TORONTO

SCALE 1:150

KRCMAR SURVEYORS LTD. 2019

METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING

BEARINGS SHOWN HEREON ARE GRID DERIVED FROM HORIZONTAL CONTROL
MONUMENTS NO. 02020060100 AND NO. 02219740426, AND ARE REFERRED TO
THE 3° MTM COORDINATE SYSTEM, ZONE 10, CENTRAL MERIDIAN 79°30' WEST
LONGITUDE.
(3° MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS)(1997)).
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE
CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE
FACTOR OF 0.999986.

INTEGRATION DATA

MONUMENT ID.	PUBLISHED VALUES	CALCULATED VALUES
	NAD 83 (CSRS)(1997) WEST ZONE 10	NAD 83 (CSRS)(1997) WEST ZONE 10
HCM 02020060100	N: 4 835 604.339 E: 314 720.802	N: 4 835 626.401 E: 314 736.585
HCM 02219740426	N: 4 835 541.440 E: 314 509.575	N: 4 835 763.480 E: 314 525.361

3° MTM ZONE 10 COORDINATES
NAD 83 (CSRS)(1997) (CENTRAL MERIDIAN 79°30' WEST LONGITUDE)
THE MTM COORDINATES LISTED BELOW ARE TO URBAN ACCURACY AND COMPLY WITH
SUBSECTION 14(2) OF ONTARIO REGULATION 186/10 FILED UNDER THE SURVEYORS ACT.

POINT	NORTHING	EASTING
1	4 835 788.25	314 746.18
2	4 835 744.60	314 759.59
3	4 835 764.51	314 670.27
4	4 835 736.76	314 678.65

COORDINATE VALUES SHOWN ARE FOR GEOGRAPHIC INFORMATION SYSTEM INTEGRATION ONLY.
COORDINATES CANNOT, IN THEMSELVES, BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- HCM DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES HORIZONTAL CONTROL MONUMENT
- SIB DENOTES STANDARD IRON BAR
- SIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CEMENT SET
- (M) DENOTES MEASURED
- (S) DENOTES SET
- (U) DENOTES ORIGIN UNKNOWN
- (WT) DENOTES WITNESS
- (BA) DENOTES PLAN BA-691
- (P) DENOTES PLAN 66R-25528
- (P1) DENOTES PLAN 63R-2388
- (P2) DENOTES PLAN 63R-3883
- (P3) DENOTES PLAN 66R-16247
- (P4) DENOTES PLAN 66R-10571
- (P5) DENOTES EXPROPRIATION PLAN EP137675 (BY-LAW 3039) L-160-21
- (P6) DENOTES PLAN 66R-27771
- (1370) DENOTES KRCMAR SURVEYORS LTD. O.L.S.
- (1222) DENOTES C.E. DOTTERILL LTD. O.L.S.
- (MT0) DENOTES MINISTRY OF TRANSPORTATION OF ONTARIO
- (SVN) DENOTES SPIRIT AND VAN NOSTRAND LIMITED, O.L.S.
- (JNK) DENOTES JOHN J. KONING, O.L.S.
- PROD DENOTES PRODUCTION
- CF DENOTES CONCRETE FOUNDATION
- BF DENOTES BOARD FENCE
- WF DENOTES WROUGHT IRON FENCE

MUNICIPAL ADDRESSES:
No. 314 JARVIS STREET, TORONTO
No. 225 MUTUAL STREET, TORONTO

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT
AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 11th DAY OF MARCH, 2019

DATE MARCH 13, 2019

WALDEMAR GOLINSKI

ONTARIO LAND SURVEYOR

PLAN AVAILABLE AT www.ProtectYourBoundaries.ca

FIELD:	JZ/D.L.	DRAWN:	S.D.	CHECKED:	W.G.	JOB NO:	19-007
DWG NAME:	19-007BTD1	PLAT INFO:	11:27 13Mar/2019	WORK ORDER NO:	22325		
	1137 Centre Street	Thornhill ON L4J 3M6	905.738.0053	F 905.738.9221	www.krcmar.ca		

KRCMAR

4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT

JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING

SURVEY

PROJECT NO.

18.189CS

PROJECT DATE

2020-08-18

DRAWN BY

As Indicated

CHECKED BY

As Indicated

SCALE

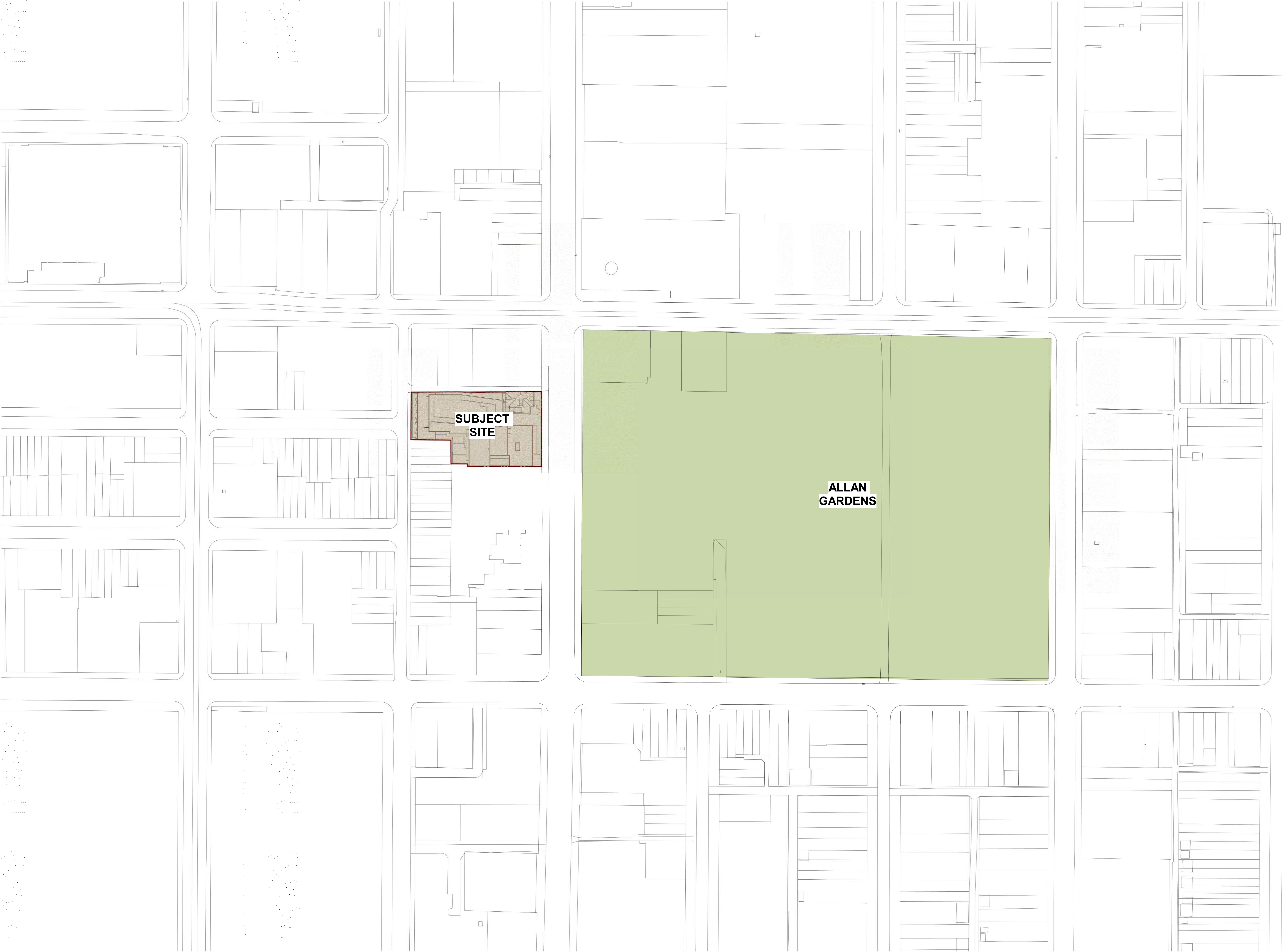
As Indicated

DRAWING NO.

SPA002



This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT

JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING

CONTEXT PLAN

PROJECT NO.
18.189CS

PROJECT DATE
2020-08-18

DRAWN BY
MNZ

CHECKED BY
AYU

SCALE
1 : 1000

ONTARIO ASSOCIATION
OF
ARCHITECTS

RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA003



Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Complete in conjunction with the full Toronto Green Standard Version 3.0 (TGS V3.0) and Specifications.

Tier 1 performance measures are required by the City and must be included as part of your approved development application.

Tier 2, 3 and 4 higher performance levels are voluntary and are associated with financial incentives. To determine eligibility for incentives go to www.toronto.ca/greendevlopment.

Performance Level: ☒ Tier 1 (Required) ☐ Tier 2 ☐ Tier 3 ☐ Tier 4

Application Information:

☒ Site Plan Control ☐ Zoning Bylaw Amendment ☐ Draft Plan of Subdivision

Application Number:	Date Received (yyyy-mm-dd):
Community Planner (First, Last Name):	
Is this checklist revised from an earlier submission? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gross Floor Area (m ²): 33,079.7 <small>(BPL-LAW NO. 438-06)</small>	Number of Storeys: 34
Non Residential Gross Floor Area (m ²): 242.7	Number of Units: 489
Proposal Description: (Include a narrative of your project highlighting green attributes or performance measures)	
This mixed-use development consists of a 34-storey residential tower including a 10-storey podium. The existing 2-storey heritage building which was damaged by fire at the north-east corner of the site will be repaired for amenity use. The proposal will provide 489 units including 5 condo townhouses facing Jarvis Street. Some green attributes or performance measures include: implementation of bird-friendly guidelines, provision of green roof, energy efficient mechanical systems, use of sustainable materials and finishes and water efficient appliances.	

Property and Applicant Information

Address of Subject Land (Street Number and Name): 308-314 Jarvis Street + 225 Mutual Street, Toronto, ON	
Project Name: JAC Condos	
Applicant/Agent	
Name (First, Last Name): Goldberg Group	Business Telephone Number: (416) 322-6364
Business Email: mcharkow@goldberggroup.ca	Registered Owner (First, Last Name): Phantom Developments Jarvis Limited



Page 1 of 8

11-0062 2018-05

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
AQ 4.2	Green & Cool Roofs	One of the following is provided (select all that apply): <input checked="" type="checkbox"/> Green Roof required under the Green Roof By-Law <input type="checkbox"/> Green roof for 50% of roof; Cool roof installed for 100% of roof; <input type="checkbox"/> A combination of a green roof, and cool roof and solar panels for at least 75% of roof.	<input checked="" type="checkbox"/> TGS V3.0 statistics template. <input checked="" type="checkbox"/> Green Roof Statistics Template on roof plan. <input checked="" type="checkbox"/> Notations include green roof locations identified on elevations and roof plans. <input type="checkbox"/> Notations include SRI of cool roof on roof plan and location of solar panels.	Plan # SPA005 SPA301 SPA302 L4

Tier 1: Energy Efficiency, GHGs & Resilience

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
GHG 1.1	Buildings Energy Performance	Design the building to achieve 15% improvement above OBC, SB-10, Division 3 (2017); OR TEUI, TEDI and GHGI targets by building type. (required for Tier 2)	<input type="checkbox"/> Energy (Modelling) Report and Energy Workbook prior to NOAC (if applicable)	Plan #

Tier 1: Water Balance, Quality & Efficiency

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
WQ 1.1	Erosion & Sediment Control	Apply the Erosion and Sediment Control Guidelines	<input checked="" type="checkbox"/> Notations on Plans and Drawings	Plan # Servicing Plan

11-0062 2018-05

Page 4 of 8

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 4.2	Rooftop Vegetation	Glazing 4 m above rooftop vegetation is treated to reduce bird collisions.	<input checked="" type="checkbox"/> Notations include required treated area, type of treatment, density and colour of visual markers.	Plan # SPA301 SPA302 SPA321
EC 4.3	Grate Porosity	Maximum porosity of ventilation grates is 20 mm X 20 mm.	<input checked="" type="checkbox"/> Notations indicate porosity of ground level grates.	Plan # SPA151
EC 5.1	Exterior Lighting	Dark Sky compliant fixtures.	<input type="checkbox"/> Notations indicate Dark Sky compliant fixtures.	Plan #

Tier 1: Solid Waste

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
SW 1.1	Waste Collection & Sorting	Waste sorting system for garbage, recycling and organics. (Residential)	<input checked="" type="checkbox"/> Notations indicate type and location of waste sorting system.	Plan # SPA006 SPA151
SW 1.2	Waste Storage Space	Waste storage rooms	<input checked="" type="checkbox"/> Notations indicate area and location of waste storage rooms.	Plan # SPA006 SPA151
SW 1.3	Bulky Waste	Provide 10m ² for bulky and special collection items. (Residential)	<input checked="" type="checkbox"/> Notations indicate area and location for bulky items collection.	Plan # SPA006 SPA151
SW 1.4	Compaction	Waste storage room with space for containers and the compactor unit. (Residential)	<input checked="" type="checkbox"/> Notations indicate area and location of waste storage rooms and compactor unit.	Plan # SPA006 SPA151

11-0062 2018-05

Page 7 of 8

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

TGS Documentation includes the submission of the completed Tier 1 TGS Checklist and the Statistics template updated with each planning submission. All sections must be complete for SPA. The TGS Statistics template is provided on the Project Statistics Plan with each submission in addition to the TGS Checklist.

For project pursuing Tier 2, 3 and 4, a separate TGS High Performance checklist must be submitted.

Tier 1: Air Quality

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
*AQ 1.1	Single-Occupant Vehicle Trips	Reduce single occupancy vehicles trips by 15%.	<input type="checkbox"/> Transportation Impact Study (TIS) includes TDM analysis (if applicable)	Plan #
*AQ 1.2	LEV and Sustainable Mobility	Dedicate parking spaces above the minimum required for low-emitting vehicles (LEV).	<input checked="" type="checkbox"/> TGS V3.0 statistics template. <input checked="" type="checkbox"/> Summary table includes number and location of LEV spaces.	Plan # SPA101 SPA102
*AQ 1.3	Electric Vehicle Infrastructure	Install EVSE for 20% of the parking spaces. Roughed-in conduits for the remaining spaces.	<input checked="" type="checkbox"/> TGS V3.0 statistics template. <input checked="" type="checkbox"/> Project parking statistics include number and location of EVSE spaces. <input checked="" type="checkbox"/> Notations indicate location of EVSE spaces and roughed-in spaces on parking plans.	Plan # SPA001B SPA101 SPA102
*AQ 2.1	Bicycle Parking Rates	Bicycle parking rates in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> TGS V3.0 statistics template. <input checked="" type="checkbox"/> Project statistics include rates, number and type (long-term/short-term) of bicycle parking spaces. <input checked="" type="checkbox"/> Summary table includes number, type and % of net floor area occupied by bicycle parking for each bicycle parking floor and at-grade.	Plan # SPA001B SPA101 SPA151
*AQ 2.2	Long-term Bicycle Parking Location	Long-term bicycle parking in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> Notations indicate the number of long-term parking spaces in each bicycle parking area.	Plan # SPA101 SPA151

11-0062 2018-05

Page 2 of 8

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
WQ 2.1	Stormwater Retention & Reuse	Retain 5 mm depth of rainfall on-site (10 mm required for Tier 2)	<input checked="" type="checkbox"/> Stormwater Report <input checked="" type="checkbox"/> Plans (Landscape, Grading, Roof and Green Roof details etc.) consistent with Stormwater Report	Plan # FSR Section 5.0 vi)
WQ 3.1	Total Suspended Solids (TSS)	Remove 80% of total suspended solids from all runoff leaving the site.	<input checked="" type="checkbox"/> Stormwater Report	Plan # FSR Section 5.0 vii)
WQ 3.2	E. Coli Reduction	Control E. Coli directly entering Lake Ontario and waterfront areas	<input type="checkbox"/> Stormwater Report	Plan # N/A
WQ 4.1	Drought-Tolerant Landscapes	Drought-tolerant plants used for 50% of the landscaped area	<input checked="" type="checkbox"/> Plant list identifies drought tolerant species (if applicable) <input type="checkbox"/> Notation indicate potable or non-potable irrigation system on Landscape Plan	Plan # D1

Tier 1: Ecology

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 1.1	Tree Planting Areas and Soil Volume	Total volume of soil for tree planting areas= 40% of the site area divided by 66 m ² x 30 m ² . Each tree planting area has 30m ² of soil.	<input type="checkbox"/> TGS V3.0 statistics template <input type="checkbox"/> Notations indicate soil volume (soil depth and area), species and quantity for each planting area.	Plan # -
EC 1.2	Trees Along Street Frontages	Trees planted along street frontages with access to 30 m ² of soil/tree.	<input type="checkbox"/> Notations indicate soil volume (soil depth and area), species and quantity for each planting area. <input type="checkbox"/> Planting details	Plan # -

11-0062 2018-05

Page 5 of 8

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
SW 3.1	Construction Waste Management	Manage construction and demolition waste in accordance with O. Reg. 103/94	<input type="checkbox"/> Documentation in accordance with O. Reg 103/94	Plan #

11-0062 2018-05

Page 8 of 8

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
*AQ 2.3	Short-term Bicycle Parking Location	Short-term bicycle parking in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> Notations indicate location and the number of short-term spaces in each bicycle parking area.	Plan # SPA151 L1
*AQ 2.4	Shower & Change Facilities	Shower and change facilities in accordance with Zoning Bylaw 569-2013	<input type="checkbox"/> Notations indicate location and number of shower and change facilities.	Plan # N/A
AQ 3.1	Connectivity	Pedestrian walkways	<input checked="" type="checkbox"/> Notations on Plans and Drawings.	Plan # SPA005 SPA151 L1
AQ 3.2	Sidewalk Space	Minimum 2.1 meter pedestrian clearway	<input checked="" type="checkbox"/> Notations on Plans and Drawings.	Plan # SPA151 L1
AQ 3.3	Weather Protection	Covered outdoor waiting areas	<input type="checkbox"/> Notations on Plans and Drawings.	Plan #
AQ 3.4	Pedestrian Lighting	Pedestrian-scale lighting	<input checked="" type="checkbox"/> Notations on Plans and Drawings.	Plan # SPA151
AQ 4.1	UHI Non-roof Hardscape	Treat 50% of non-roof hardscape to reduce the urban heat island (75% required for Tier 2); OR 75% of the required parking spaces under cover. (Non-residential only)	<input checked="" type="checkbox"/> TGS V3.0 statistics template. <input checked="" type="checkbox"/> Materials list includes SRI of high albedo paving <input type="checkbox"/> Notations indicate location of treated hardscape.	Plan # L1

11-0062 2018-05

Page 3 of 8

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 1.3	Parking Lots	1 shade tree planted parking lots area for every 5 parking spaces	<input type="checkbox"/> Notations indicate soil volume (soil depth and area), species and quantity on the Planting Plan for parking areas	Plan #
EC 1.4	Watering Program	Watering program for trees.	<input type="checkbox"/> Notations on the Planting Plan include watering program methods and watering schedule.	Plan # Irrigation system and hose bibs will be provided
EC 2.1	Ravine Areas and Natural Heritage System	Natural Heritage System and the Ravine Protected Area planted with 100% native plants.	<input type="checkbox"/> Plant list identifies native or non-native species.	Plan #
EC 2.2	Ravine and Protected Area Buffers	Stewardship plan implemented for setbacks	<input type="checkbox"/> Stewardship Plan (if applicable)	Plan #
EC 3.1	Native and Pollinator Supportive Species	Landscape includes 50% native plants.	<input checked="" type="checkbox"/> TGS V3.0 statistics template <input type="checkbox"/> Plant list includes common name, scientific name, size, quantity, stock type, and native or non-native species.	Plan # D1
EC 3.2	Invasive Species	No invasive species planted	<input checked="" type="checkbox"/> Plant list includes common name and scientific name.	Plan # D1
EC 4.1	Bird Friendly Glazing	85% of all exterior glazing within the required area is treated to reduce bird collisions. Fly-through conditions treated at all heights of the building.	<input checked="" type="checkbox"/> TGS V3.0 statistics template <input checked="" type="checkbox"/> Notations include treated area required, type of treatment, density and colour of visual markers. <input checked="" type="checkbox"/> Summary table of bird friendly glass treatments for each elevation.	Plan # SPA321

11-0062 2018-05

Page 6 of 8

TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Lesmill Road
Toronto, ON, M3B 2T8
T 416-425-2222
turnerfleischer.com

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be signed. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from the work.

4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
TGS CHECKLIST

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE	

DRAWING NO.
SPA004

TOWNHOUSES
3 STOREY BRICK BUILDINGS

BRICK BUILDING
3 STOREY MAIN +
1 STOREY ADDITION

BRICK BUILDING
3 STOREY

BRICK & CONCRETE
BUILDING 4 STOREY

STUDENT RESIDENCE
21 STOREY CONCRETE BUILDING

TOWNHOUSES
3 STOREY
BRICK
BUILDINGS

GRANBY STREET

BRICK HOUSES
2.5 STOREY

EXISTING TOWNHOUSES
2.5 STOREY BRICK BUILDINGS

RAMADA PLAZA
10 STOREY BRICK BUILDING

GREEN ROOF STATISTICS

	PROPOSED
Gross Floor Area, as defined in Green Roof Bylaw (sm)	35,970.1
Total Roof Area (sm)	2,189.8
1 Area of Residential Private Terraces (sm)	309.3
2 Rooftop Outdoor Amenity Space, if in a Residential Building (sm)	530.6
3 Area of Renewable Energy Devices (sm)	
4 Tower(s) Roof Area with floor plate less than 750 sm	
Total Available Roof Space (sm)	1,349.9
Green Roof Coverage	REQUIRED PROPOSED
Coverage of Available Roof Space (sm)	810.0 691.3
Coverage of Available Roof Space (%)	60% 51%
Deficiency (sm)	118.7

SITE PLAN
1 : 200



KEY PLAN
1:3000

Statistics Template - Toronto Green Standard Version 3.0
Mid to High Rise Residential and all
New Non-Residential Development

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application. For Zoning Bylaw Amendment applications: complete General Project Description and Section 1. For Site Plan Control applications: complete General Project Description, Section 1 and Section 2. For further information, please visit: www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	32,334.3 (99,600 sq. ft.)
Breakdown of project components (m²)	
Residential	32,091.5
Retail	
Commercial	242.7
Industrial	
Institutional/Other	
Total number of residential units	489

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	107	107	100%
Number of parking spaces dedicated for priority LEV parking			
Number of parking spaces with EVSE	22	22	20%
Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	441	441	100%
Number of long-term bicycle parking spaces (all other uses)	1	1	100%
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building		307	69.5%
b) second storey of building			
c) first level below-ground		135	30.5%
d) second level below-ground			
e) other levels below-ground			



11-0063 2018-05 Page 1 of 3

New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	49	50	102%
Number of short-term bicycle parking spaces (all other uses)	4	4	100%
Number of male shower and change facilities (non-residential)			
Number of female shower and change facilities (non-residential)			
Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m³ x 30 m)	5834m³	NA	

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	53	54	102%
UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m²)	623	623	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m²)	623	342.7	55%
Area of non-roof hardscape treated with: (indicate m²)			
a) high-albedo surface material		225	36%
b) open-grid pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum 75%/non-residential only)			
Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m²)		2189.8	
Available Roof Space provided as Green Roof (m²)	810	810	60%
Available Roof Space provided as Cool Roof (m²)			
Available Roof Space provided as Solar Panels (m²)			

11-0063 2018-05 Page 3 of 3

New Non-Residential Development

Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m²)		1083m	
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m² and %) (if applicable)	273	136.5m	50%
Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m²)		3209	
Total Soil Volume (40% of the site area + 66 m³ x 30 m)	5834m³	NA	
Total number of planting areas (minimum of 30m² soil)			
Total number of trees planted	20	NA	
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)	N/A		
Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants	N/A	365	50%
Total number of native plants and % of total plants (min 50%)			
Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (excluding glass balcony railings)		956.6	100%
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade)	813.1	943.6	99%
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials		174.0	18%
b) Visual markers		610.3	64%
c) Shading		159.2	17%

11-0063 2018-05 Page 3 of 3

TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Leslie Road
Toronto, ON, M3B 2T8
416-425-2222
turnerfleischer.com

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used in any way without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Contractors must confirm all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

LEGEND

- PRIMARY ENTRANCE
- SECONDARY ENTRANCE
- RETAIL ENTRANCE
- EXIT
- FIRE HYDRANT
- CONVEX MIRROR
- SIAMESE CONNECTION
- GAS/HYDRO METER
- FIRE ROUTE
- PROPERTY LINE

7	2021-02-09	ISSUED FOR SPA	AYU
4	2020-08-21	ISSUED FOR SPA	AYU
3	2020-07-23	REVISED PER TRANSPORTATION COMMENTS	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

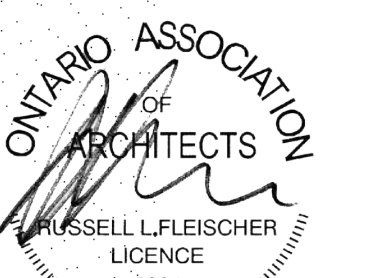


PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

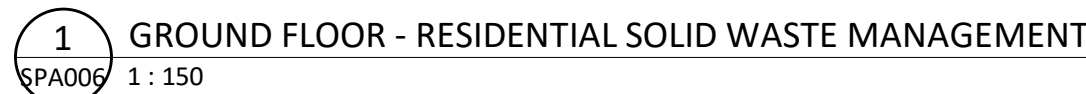
DRAWING
SITE PLAN / ROOF PLAN

PROJECT NO.
18.189CS
PROJECT DATE
2021-02-09
DRAWN BY
MNZ
CHECKED BY
AYU
SCALE
As indicated



DRAWING NO.
SPA005

This drawing, as an instrument of service, is provided by and is the property of Turner Freese Architects Inc. The contractor must view and accept responsibility for all dimensions and conditions of its work and must not use or copy this drawing for any other project. Turner Freese Architects Inc. is not responsible for any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



RESIDENTIAL SOLID WASTE MANAGEMENT NOTES:	RESIDENTIAL WASTE MANAGEMENT CALCULATIONS:																
<p>1. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-8%), AT LEAST 4.5 METERS WIDE THROUGHOUT THE SITE AND 6 METERS WIDE AT ENTRANCES AND EXITS, AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF 4.4 METERS INCLUDING WHEN TRAVELING THROUGH OVER HEAD DOORS.</p> <p>2. TYPE G LOADING SPACE WILL BE AT LEAST 4 METRES WIDE, 13 METRES LONG, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF 6.1 METRES, IS LEVEL (+/-2%), AND IS CONSTRUCTED OF AT LEAST 200MM OF REINFORCED CONCRETE.</p> <p>3. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BIN FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAG MAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.</p> <p>4. SHARING OF TYPE G LOADING SPACE - RESIDENTIAL USE OF LOADING SPACE FOR PURPOSES OF MOVING WILL BE SCHEDULED ACCORDING TO GARBAGE PICK UP TIMES. SHOULD THE TYPE G SPACE BE NEEDED FOR USE BY COMMERCIAL SECTORS, THE COMMERCIAL COMPONENT MUST ARRANGE THIS USE SUCH THAT IT DOES NOT CONFLICT WITH ANY RESIDENTIAL USES.</p> <p>5. IF THE LOADING AREA / EGRESS ROUTES ARE OVER SUPPORTED STRUCTURES, IE. OVER AN UNDERGROUND GARAGE OR A MECHANICAL SHAFT, THE FACILITY MUST CONFORM TO THE FOLLOWING:</p> <p>i. DESIGN CODE- ONTARIO BUILDING CODE.</p> <p>ii. DESIGN LOAD- CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS.</p> <p>iii. IMPACT FACTOR- 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/H AND 30% FOR HIGHER SPEEDS.</p> <p>iv. CITY COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE (SUCH AS AN UNDERGROUND PARKING GARAGE). THE UNDERGROUND PARKING GARAGE ROOF SLAB IS TO BE DESIGNED TAKING INTO ACCOUNT THE COLLECTION VEHICLE WEIGHT. THE CITY MUST PROVIDE, PRIOR TO COMMENCEMENT OF CITY SOLID WASTE PICK UP, A LETTER CERTIFIED BY A QUALIFIED ENGINEER THAT THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE WEIGHING 35,000 KILOGRAMS.</p> <p>6. PRIVATE CONTRACTOR MUST COLLECT ALL SOLID WASTE FROM THE RETAIL COMPONENT.</p> <p>7. WASTE BINS TO BE JOCKEYED ON COLLECTION DAY, IF REQUIRED. STAFF JOCKEYING THE BINS DURING SOLID WASTE PICK UP AND THE REQUIRED STAGING AREA IS TO BE LOCATED IN CLOSE PROXIMITY TO THE LOADING AREA TO AVOID ANY DELAYS DURING PICK UP.</p> <p>8. NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON OPPOSITE DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION. IF LOADING SPACE IS TO BE SHARED, THE COMMERCIAL BINS MUST BE LABELLED "RETAIL WASTE ONLY"</p>	<p>AS PER CITY OF TORONTO REQUIREMENTS FOR GARBAGE, RECYCLING, AND ORGANIC COLLECTION SERVICES FOR NEW DEVELOPMENTS AND REDEVELOPMENTS (MAY 2012)</p> <p>RESIDENTIAL WASTE STORAGE AREA REQUIRED:</p> <p>MINIMUM 25 m2 FOR THE FIRST 50 UNITS + 13 m2 FOR EACH ADDITIONAL 50 UNITS + MINIMUM OF 10 m2 FOR BULKY ITEMS</p> <p>NUMBER OF UNITS = 458 = 489 - 50 = 439 / 50 UNITS = 8.74 (ROUND UP) = 9 X 13 m2 = 117 m2 + 25 m2 = 142 m2</p> <p>BULKY ITEMS = 142 m2 + 10 m2 = 152 m2</p> <p>TOTAL AREA REQUIRED: = 152 m2 WASTE STORAGE AREA REQUIRED</p> <p>WASTE STORAGE AREA PROVIDED:</p> <table><tr><td>RESIDENTIAL</td><td>164.1 m2</td></tr></table> <p>TOTAL RESIDENTIAL WASTE STORAGE AREA PROVIDED: = 164.1 m2 WASTE STORAGE AREA</p>	RESIDENTIAL	164.1 m2	<p>GARBAGE BINS REQUIRED ONE 3-CUBIC YARD BIN PER EVERY 50 UNITS FOR GARBAGE</p> <p>NUMBER OF UNITS = 495 489/50 = 9.9 (ROUND UP) = 10 BINS</p> <p>PROVIDED = 10 BINS</p> <p>RECYCLING BINS REQUIRED ONE 4-CUBIC YARD BIN PER EVERY 50 UNITS FOR RECYCLING</p> <p>NUMBER OF UNITS = 495 489/50 = 9.9 (ROUND UP) = 10 BINS</p> <p>PROVIDED = 10 BINS</p> <p>ORGANIC BINS REQUIRED ONE 3-CUBIC YARD BIN PER EVERY 150 UNITS FOR GARBAGE</p> <p>NUMBER OF UNITS = 489 489/150 = 3.3 (ROUND DOWN) = 3 BINS</p> <p>PROVIDED = 3 BINS</p>	<table><tr><td><p>STAGING AREA REQUIRED:</p><p>IN ADDITION TO THE TYPE 'G' LOADING SPACE THE AREA REQUIRED FOR STAGING VARIES WITH THE NUMBER OF UNITS. AS SUCH, 5 SQUARE METRES IS REQUIRED FOR EVERY 50 UNITS OVER 50.</p><p>RESIDENTIAL: = 489 UNITS - 50 = 439 / 50 = 8.74 (ROUND UP) = 9 x 5 m2 = 45 m2</p><p>STAGING AREA REQUIRED: 45 m2</p><p>STAGING AREA PROVIDED: 55.4 m2</p></td><td><p>LOADING SPACE(S) REQUIRED:</p><p>MINIMUM OF ONE TYPE "G "AND ONE TYPE "C" LOADING SPACE</p><p>DEFINITION IN BY-LAW 569-2013:</p><p>i) TYPE "G" LOADING SPACE MUST HAVE A MINIMUM LENGTH OF 13.0 M; MINIMUM WIDTH OF 4.0 M; AND MINIMUM VERTICAL CLEARANCE OF 6.1 M.</p><p>ii) TYPE "C" LOADING SPACE MUST HAVE A MINIMUM LENGTH OF 6.0 M; MINIMUM WIDTH OF 3.5 AND MINIMUM VERTICAL CLEARANCE OF 3.0 M.</p><p>LOADING SPACE(S) PROVIDED:</p><table><tr><td>RESIDENTIAL</td><td>2</td></tr><tr><td>TYPE "G"</td><td>1</td></tr><tr><td>TYPE "C"</td><td>1</td></tr><tr><td>TOTAL LOADING SPACE(S)</td><td>2</td></tr></table></td></tr><tr><td colspan="2"><p>NON-RESIDENTIAL WASTE COLLECTION</p><p>THE NON-RESIDENTIAL COMPONENT OF THIS DEVELOPMENT WILL BE STORED AND TRANSPORTED SEPARATELY FROM THE RESIDENTIAL COMPONENT.</p><p>COLLECTION OF WASTES FROM THE COMMERCIAL SECTOR OF THIS SITE WILL BE IN ACCORDANCE WITH CHAPTER 841, SOLID WASTE OF THE MUNICIPAL CODE.</p></td></tr></table>	<p>STAGING AREA REQUIRED:</p> <p>IN ADDITION TO THE TYPE 'G' LOADING SPACE THE AREA REQUIRED FOR STAGING VARIES WITH THE NUMBER OF UNITS. AS SUCH, 5 SQUARE METRES IS REQUIRED FOR EVERY 50 UNITS OVER 50.</p> <p>RESIDENTIAL: = 489 UNITS - 50 = 439 / 50 = 8.74 (ROUND UP) = 9 x 5 m2 = 45 m2</p> <p>STAGING AREA REQUIRED: 45 m2</p> <p>STAGING AREA PROVIDED: 55.4 m2</p>	<p>LOADING SPACE(S) REQUIRED:</p> <p>MINIMUM OF ONE TYPE "G "AND ONE TYPE "C" LOADING SPACE</p> <p>DEFINITION IN BY-LAW 569-2013:</p> <p>i) TYPE "G" LOADING SPACE MUST HAVE A MINIMUM LENGTH OF 13.0 M; MINIMUM WIDTH OF 4.0 M; AND MINIMUM VERTICAL CLEARANCE OF 6.1 M.</p> <p>ii) TYPE "C" LOADING SPACE MUST HAVE A MINIMUM LENGTH OF 6.0 M; MINIMUM WIDTH OF 3.5 AND MINIMUM VERTICAL CLEARANCE OF 3.0 M.</p> <p>LOADING SPACE(S) PROVIDED:</p> <table><tr><td>RESIDENTIAL</td><td>2</td></tr><tr><td>TYPE "G"</td><td>1</td></tr><tr><td>TYPE "C"</td><td>1</td></tr><tr><td>TOTAL LOADING SPACE(S)</td><td>2</td></tr></table>	RESIDENTIAL	2	TYPE "G"	1	TYPE "C"	1	TOTAL LOADING SPACE(S)	2	<p>NON-RESIDENTIAL WASTE COLLECTION</p> <p>THE NON-RESIDENTIAL COMPONENT OF THIS DEVELOPMENT WILL BE STORED AND TRANSPORTED SEPARATELY FROM THE RESIDENTIAL COMPONENT.</p> <p>COLLECTION OF WASTES FROM THE COMMERCIAL SECTOR OF THIS SITE WILL BE IN ACCORDANCE WITH CHAPTER 841, SOLID WASTE OF THE MUNICIPAL CODE.</p>	
	RESIDENTIAL	164.1 m2															
<p>STAGING AREA REQUIRED:</p> <p>IN ADDITION TO THE TYPE 'G' LOADING SPACE THE AREA REQUIRED FOR STAGING VARIES WITH THE NUMBER OF UNITS. AS SUCH, 5 SQUARE METRES IS REQUIRED FOR EVERY 50 UNITS OVER 50.</p> <p>RESIDENTIAL: = 489 UNITS - 50 = 439 / 50 = 8.74 (ROUND UP) = 9 x 5 m2 = 45 m2</p> <p>STAGING AREA REQUIRED: 45 m2</p> <p>STAGING AREA PROVIDED: 55.4 m2</p>	<p>LOADING SPACE(S) REQUIRED:</p> <p>MINIMUM OF ONE TYPE "G "AND ONE TYPE "C" LOADING SPACE</p> <p>DEFINITION IN BY-LAW 569-2013:</p> <p>i) TYPE "G" LOADING SPACE MUST HAVE A MINIMUM LENGTH OF 13.0 M; MINIMUM WIDTH OF 4.0 M; AND MINIMUM VERTICAL CLEARANCE OF 6.1 M.</p> <p>ii) TYPE "C" LOADING SPACE MUST HAVE A MINIMUM LENGTH OF 6.0 M; MINIMUM WIDTH OF 3.5 AND MINIMUM VERTICAL CLEARANCE OF 3.0 M.</p> <p>LOADING SPACE(S) PROVIDED:</p> <table><tr><td>RESIDENTIAL</td><td>2</td></tr><tr><td>TYPE "G"</td><td>1</td></tr><tr><td>TYPE "C"</td><td>1</td></tr><tr><td>TOTAL LOADING SPACE(S)</td><td>2</td></tr></table>	RESIDENTIAL	2	TYPE "G"	1	TYPE "C"	1	TOTAL LOADING SPACE(S)	2								
RESIDENTIAL	2																
TYPE "G"	1																
TYPE "C"	1																
TOTAL LOADING SPACE(S)	2																
<p>NON-RESIDENTIAL WASTE COLLECTION</p> <p>THE NON-RESIDENTIAL COMPONENT OF THIS DEVELOPMENT WILL BE STORED AND TRANSPORTED SEPARATELY FROM THE RESIDENTIAL COMPONENT.</p> <p>COLLECTION OF WASTES FROM THE COMMERCIAL SECTOR OF THIS SITE WILL BE IN ACCORDANCE WITH CHAPTER 841, SOLID WASTE OF THE MUNICIPAL CODE.</p>																	

7	2021-02-09	ISSUED FOR SPA	AYL
4	2020-08-21	ISSUED FOR SPA	AYL
2	2020-02-03	ISSUED FOR SPA	AYL
1	2019-06-14	ISSUED FOR SPA	AYL
#	DATE	DESCRIPTION	B



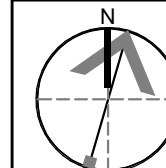
PROJECT	JAC CONDOS
---------	-------------------

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING

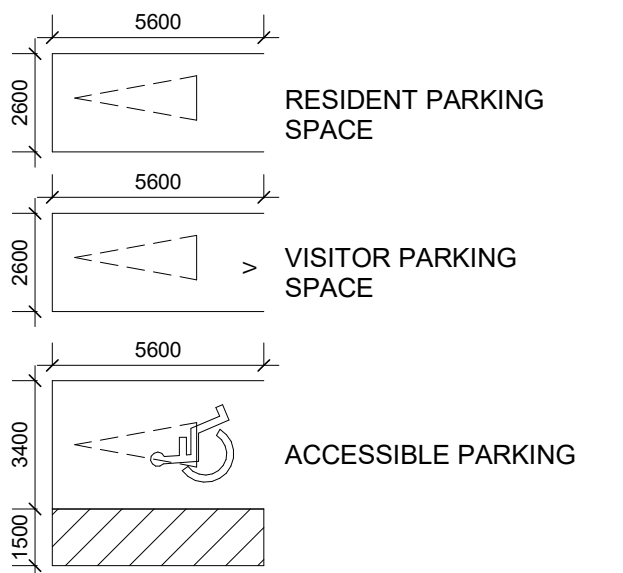
RESIDENTIAL SOLID WASTE MANAGEMENT

PROJECT NO. 18_189CS	
PROJECT DATE 2021-02-09	
DRAWN BY MINZ	
CHECKED BY AYU	
SCALE As indicated	



DRAWING NO. SPA006

LEGEND



ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLED

ROUGHED-IN FOR FUTURE EVSE INSTALLATION

CONVEX MIRROR

STOP SIGN

TRUE COLOUR
RENDITION LIGHTING
TO BE PROVIDED

7	2021-02-09	ISSUED FOR SPA	AYU
4	2020-08-21	ISSUED FOR SPA	AYU
3	2020-07-23	REVISED PER TRANSPORTATION COMMENTS	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



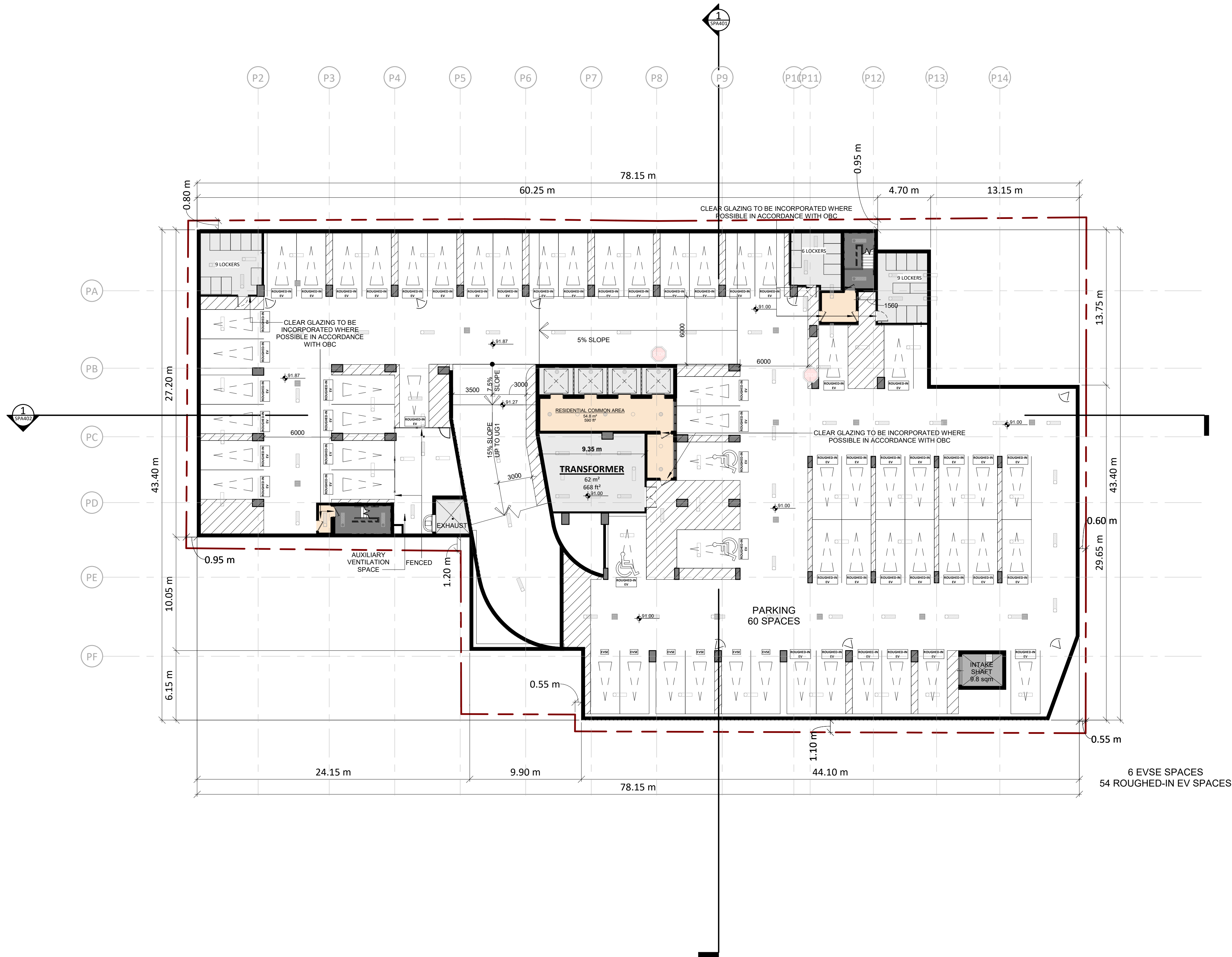
PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
UNDERGROUND LEVEL 02

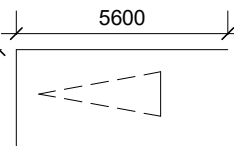
PROJECT NO. 18.189CS	
PROJECT DATE 2021-02-09	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA101

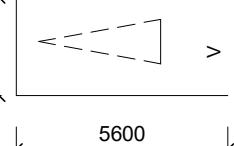


This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be updated. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

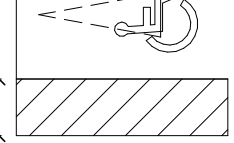
LEGEND



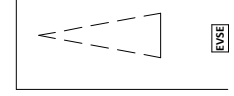
RESIDENT PARKING SPACE



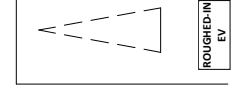
VISITOR PARKING SPACE



ACCESSIBLE PARKING



ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLED

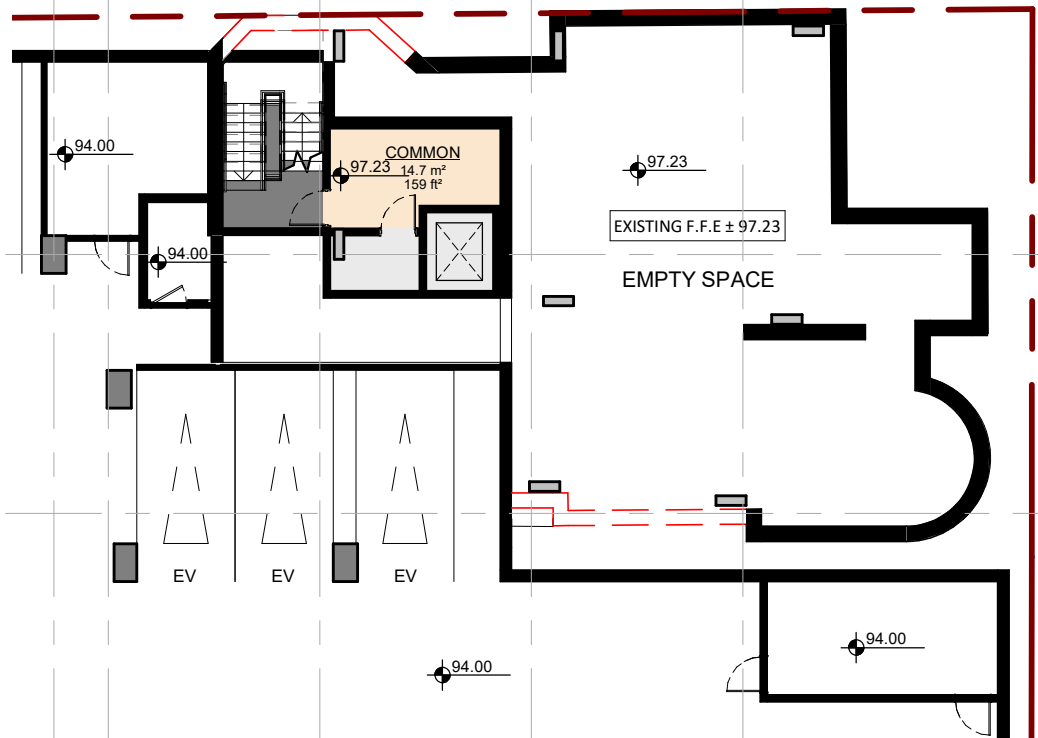
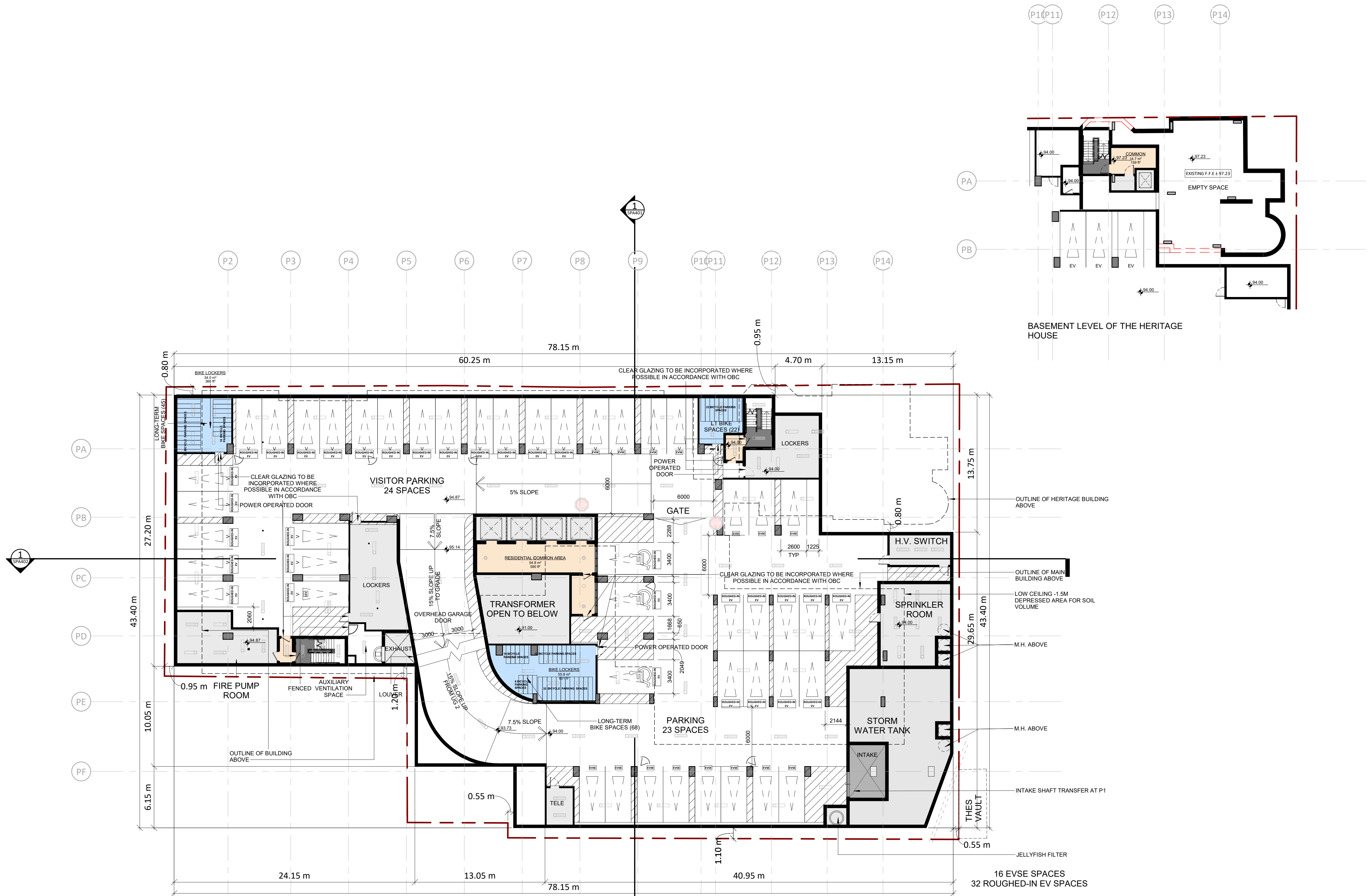


ROUGHED-IN FOR FUTURE EVSE INSTALLATION

CONVEX MIRROR

STOP SIGN

TRUE COLOUR
RENDITION LIGHTING
TO BE PROVIDED



BASEMENT LEVEL OF THE HERITAGE HOUSE

7	2021-02-09	ISSUED FOR SPA	AYU
4	2020-08-21	ISSUED FOR SPA	AYU
3	2020-07-23	REVISED PER TRANSPORTATION COMMENTS	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



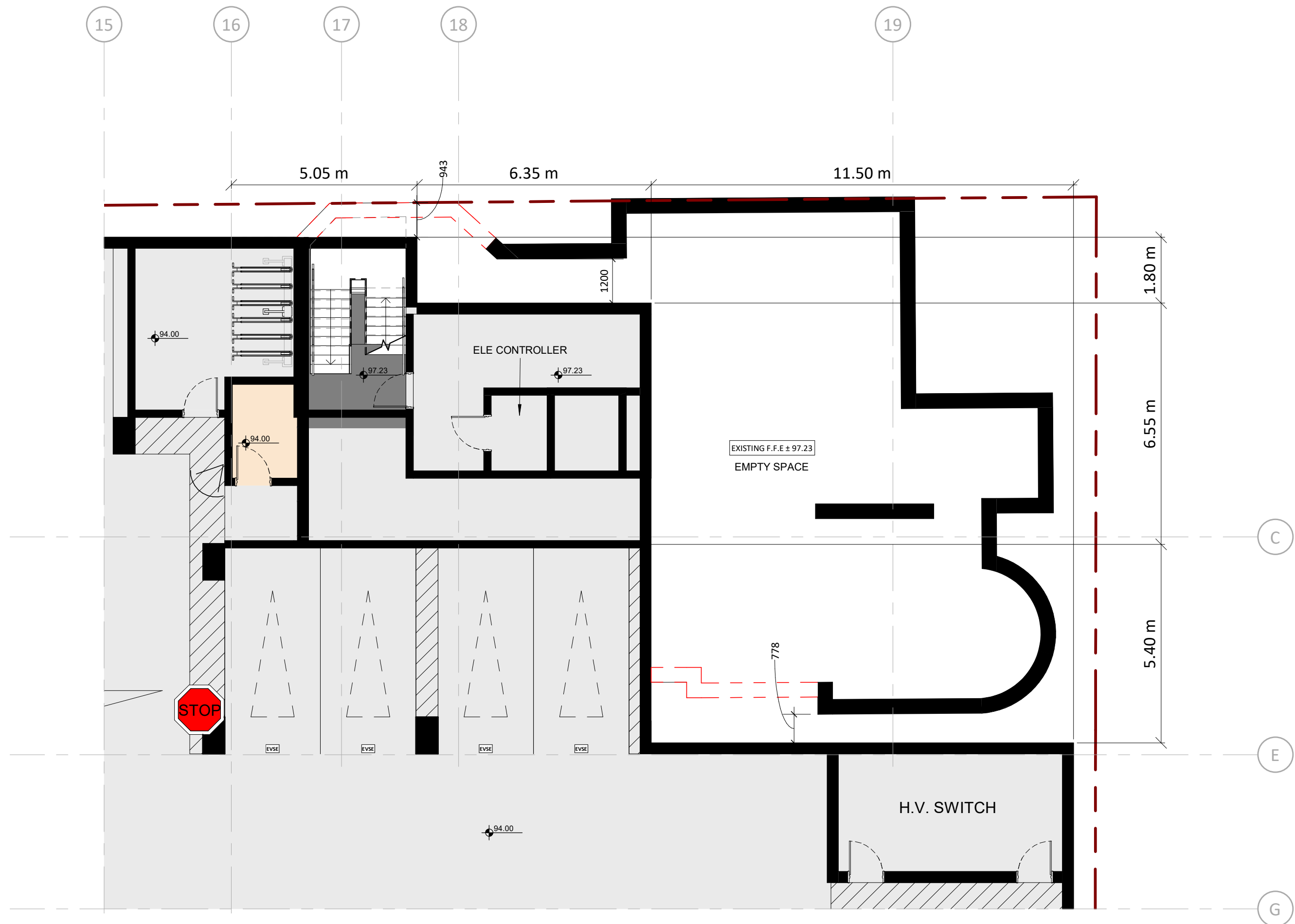
PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

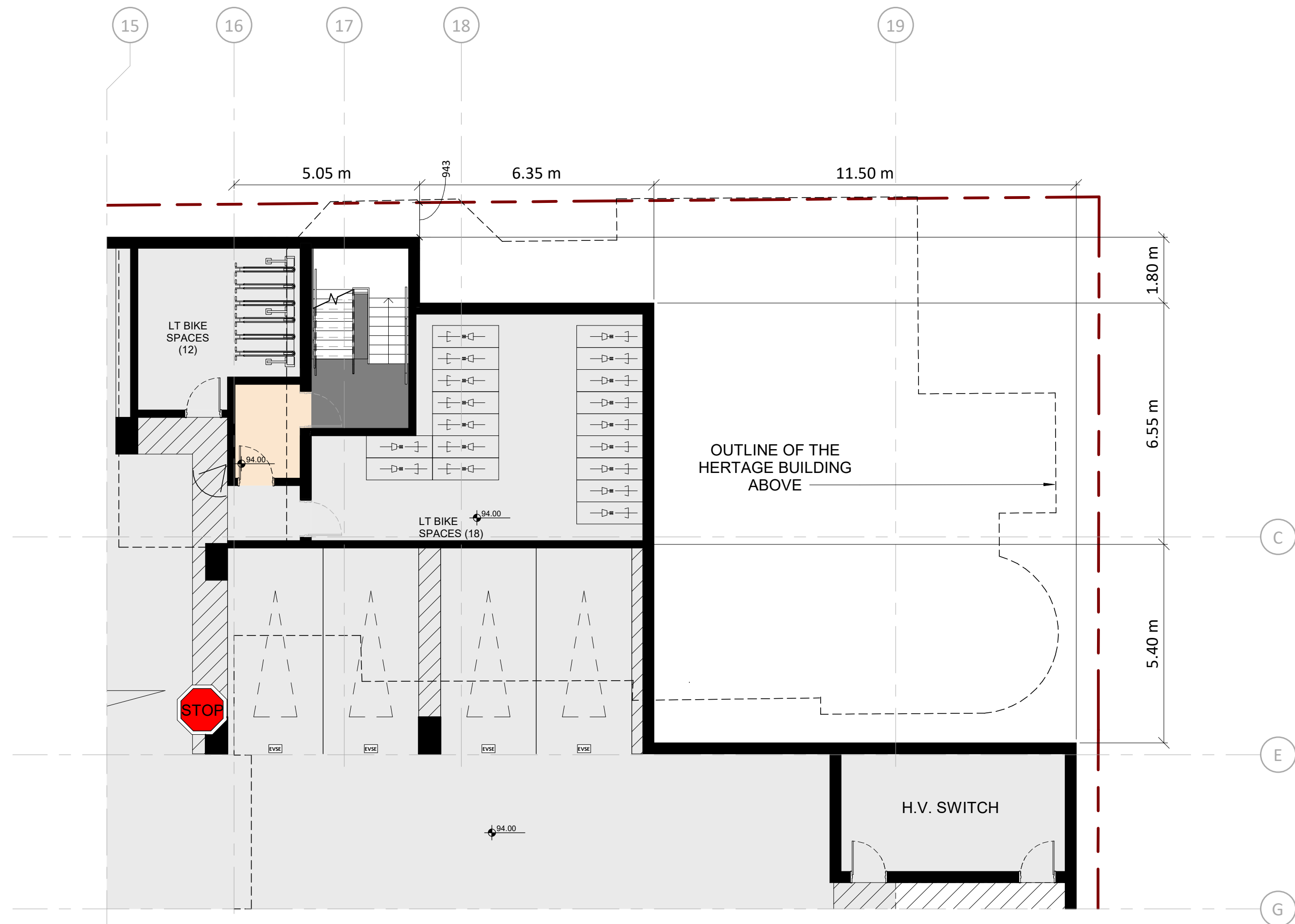
DRAWING
UNDERGROUND LEVEL 01

PROJECT NO. 18.189CS	
PROJECT DATE 2021-02-09	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE 1 : 200	

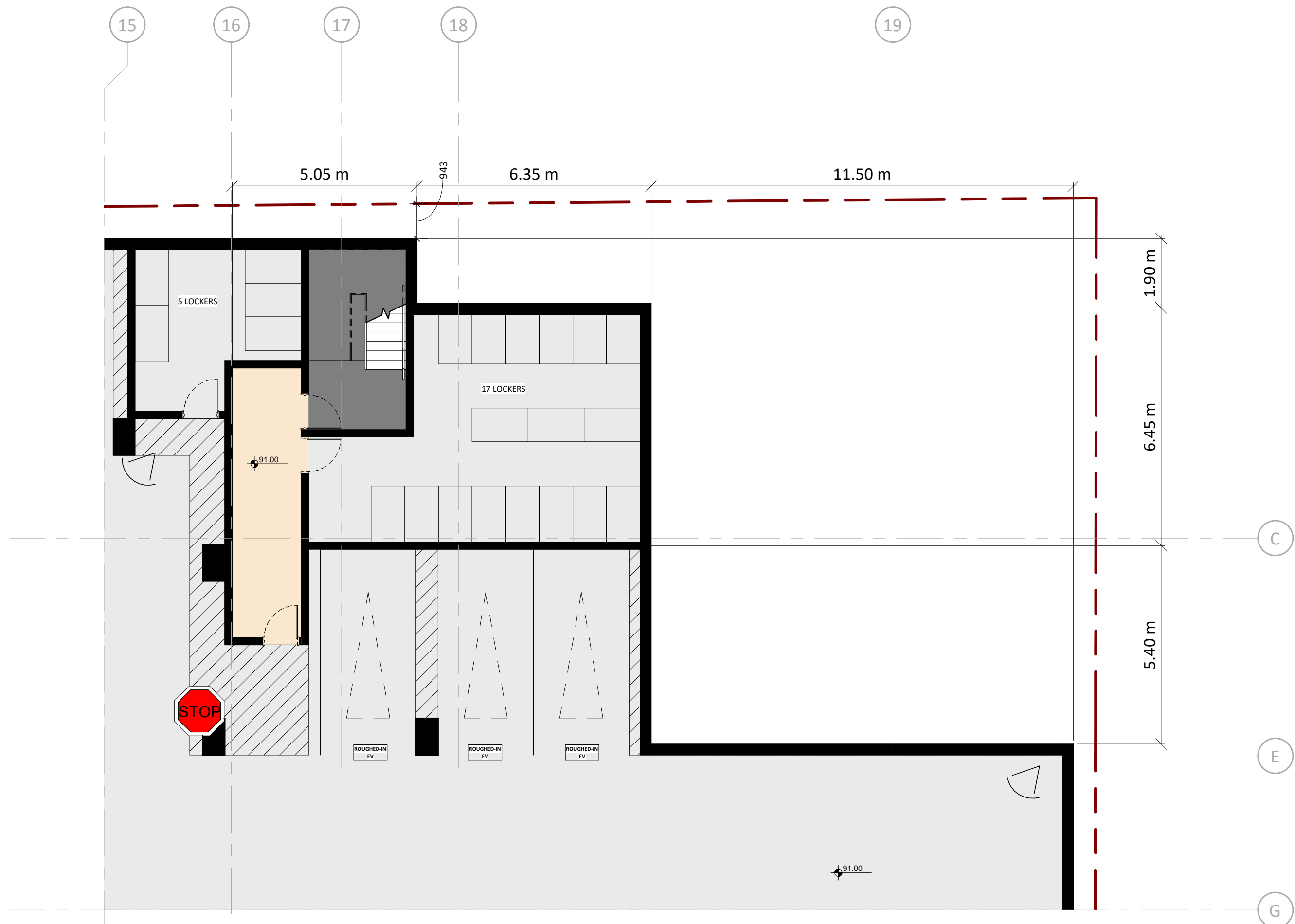
DRAWING NO.
SPA102



1 UNDERGROUND 1 HERITAGE BUILDING
SPA103 1 : 100



2 UNDERGROUND 1 GARAGE
SPA103 1 : 100



3 UNDERGROUND 2 GARAGE
SPA103 1 : 100

4	2020-08-21	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING

UNDERGROUND NORTHEAST CORNER

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE 1 : 100	

	DRAWING NO. SPA103
--	------------------------------

LEGEND

- ▲ PRIMARY ENTRANCE
- △ SECONDARY ENTRANCE
- ▲ RETAIL ENTRANCE
- ▲ EXIT
- ⊙ FH FIRE HYDRANT
- ▽ CONVEX MIRROR
- ⋈ SIAMESE CONNECTION
- ⊙ GAS/HYDRO METER
- ▨ FIRE ROUTE
- PROPERTY LINE

EXTERIOR LIGHTING
LEGEND

- DL DIRECTIONAL LIGHTING
- BL BOLLARD LIGHT
- WL WALL SCONCE

TRUE COLOUR
RENDITION LIGHTING
TO BE PROVIDED

7	2021-02-09	ISSUED FOR SPA	AYU
4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-05-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
FLOOR 01

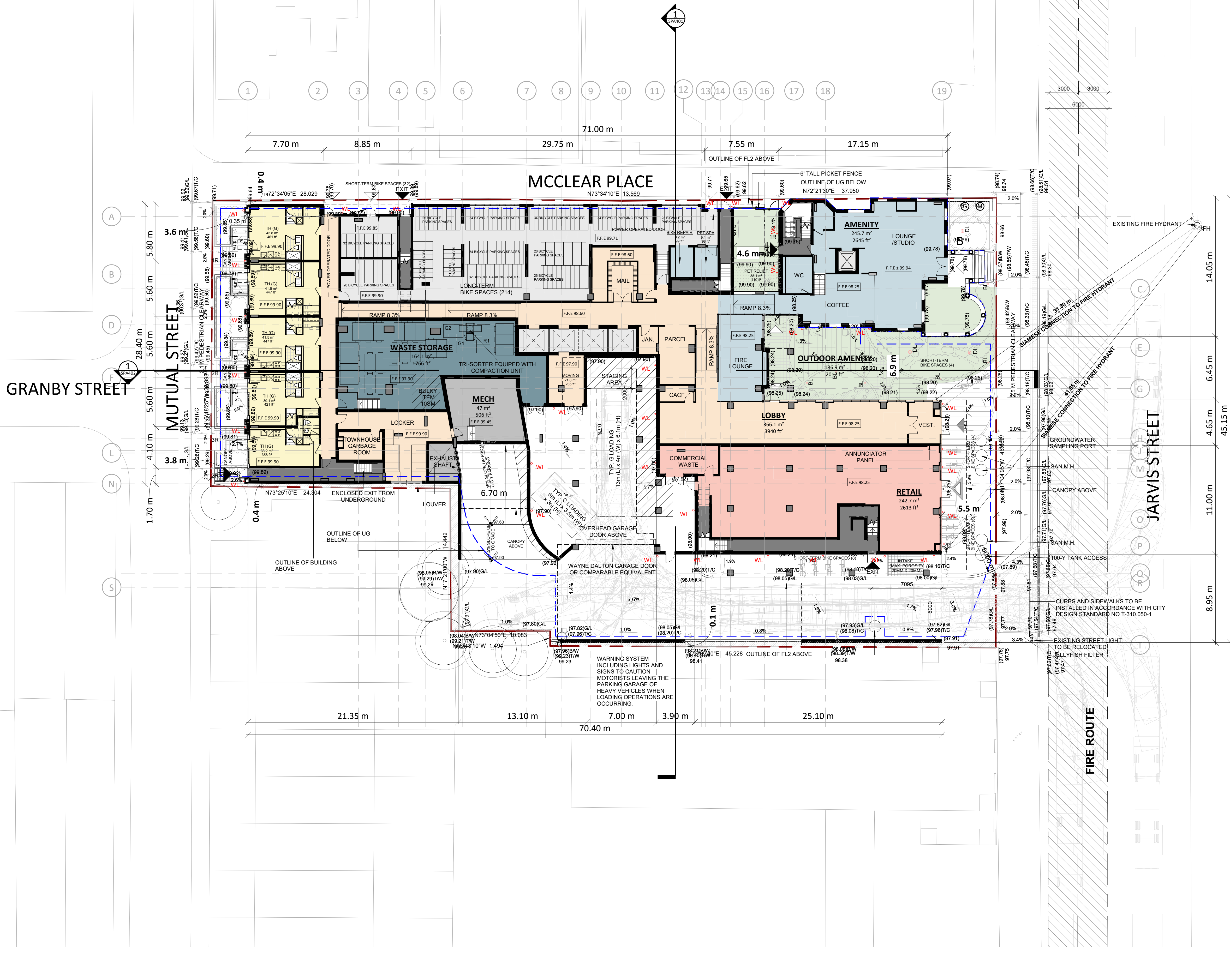
PROJECT NO.
18.189CS

PROJECT DATE
2021-02-09

DRAWN BY
MNZ

CHECKED BY
AYU

SCALE
1 : 200

DRAWING NO.
SPA151



4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



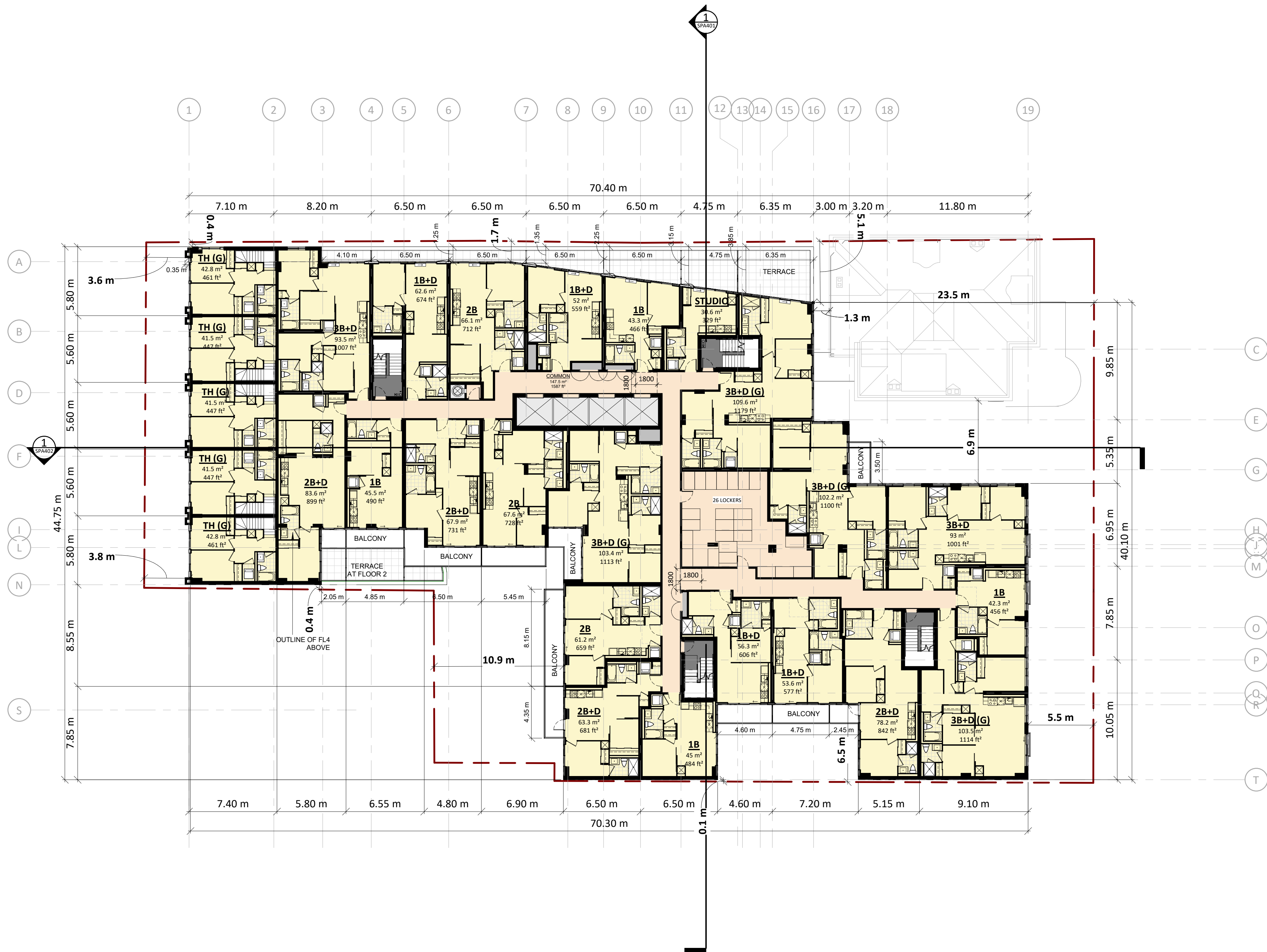
PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
FLOOR 02

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA152



4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
FLOOR 03

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA153



4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

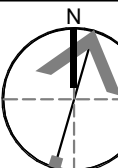


PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
FLOOR 04

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	



DRAWING NO.
SPA154

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.



4	2020-08-21	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



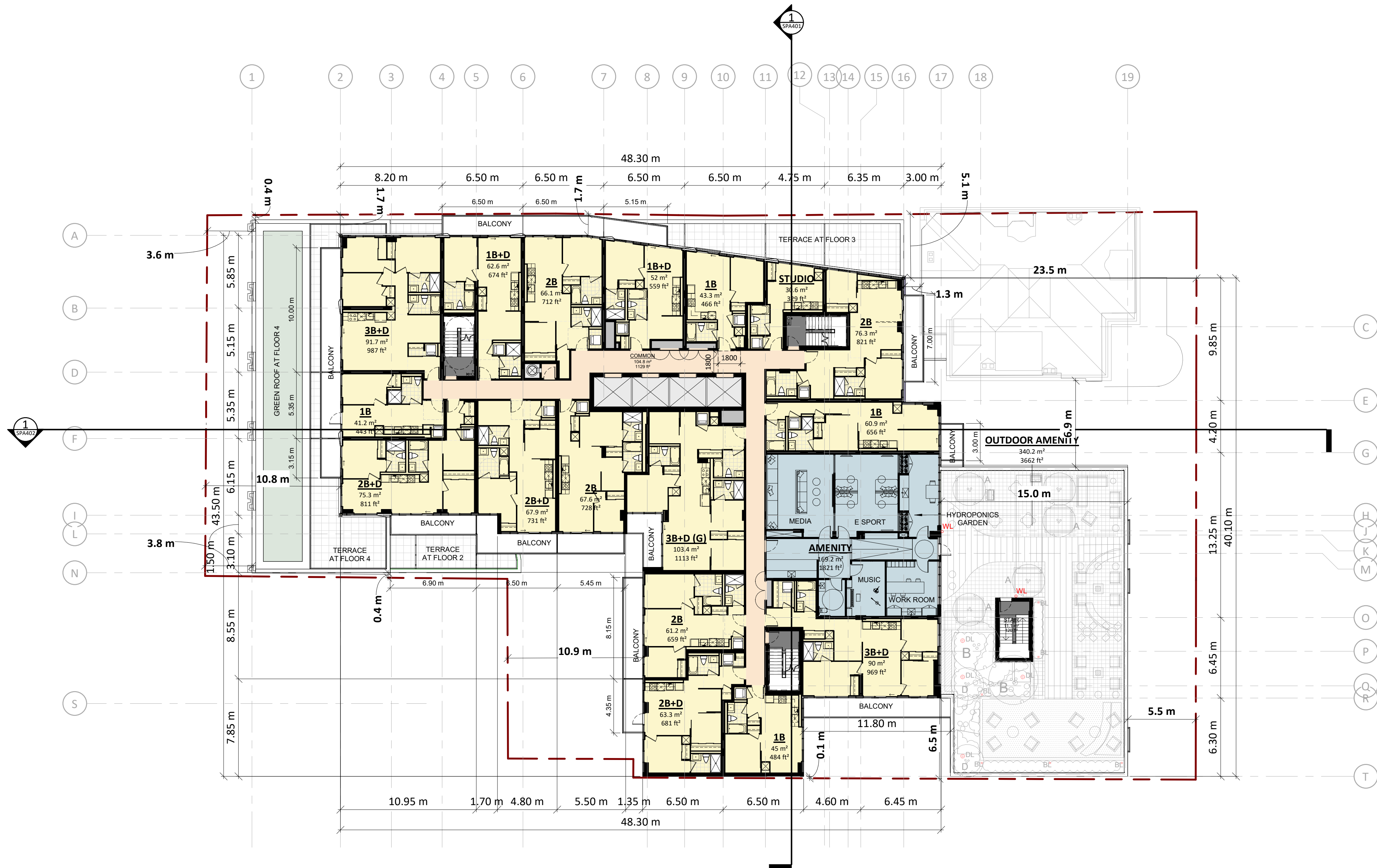
PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
FLOOR 05-06

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA155



EXTERIOR LIGHTING
LEGEND

- DL DIRECTIONAL LIGHTING
- BL BOLLARD LIGHT
- WL WALL SCONCE

TRUE COLOUR
RENDITION LIGHTING
TO BE PROVIDED

4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

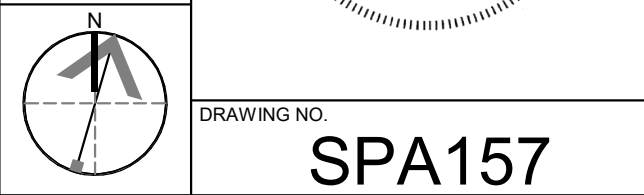


PROJECT
JAC CONDOS

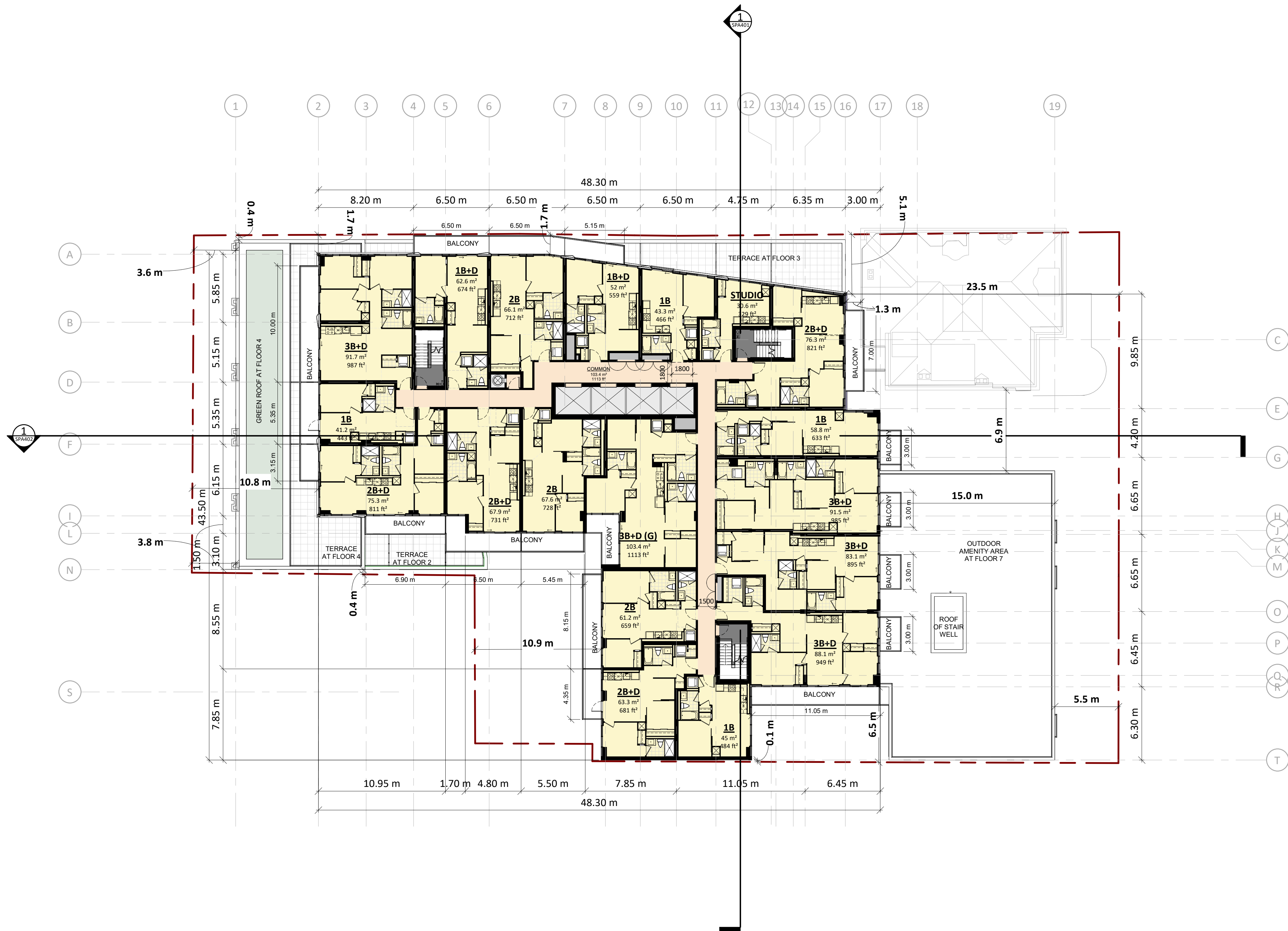
308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
FLOOR 07

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	



DRAWING NO.
SPA157



4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
JAC CONDOS

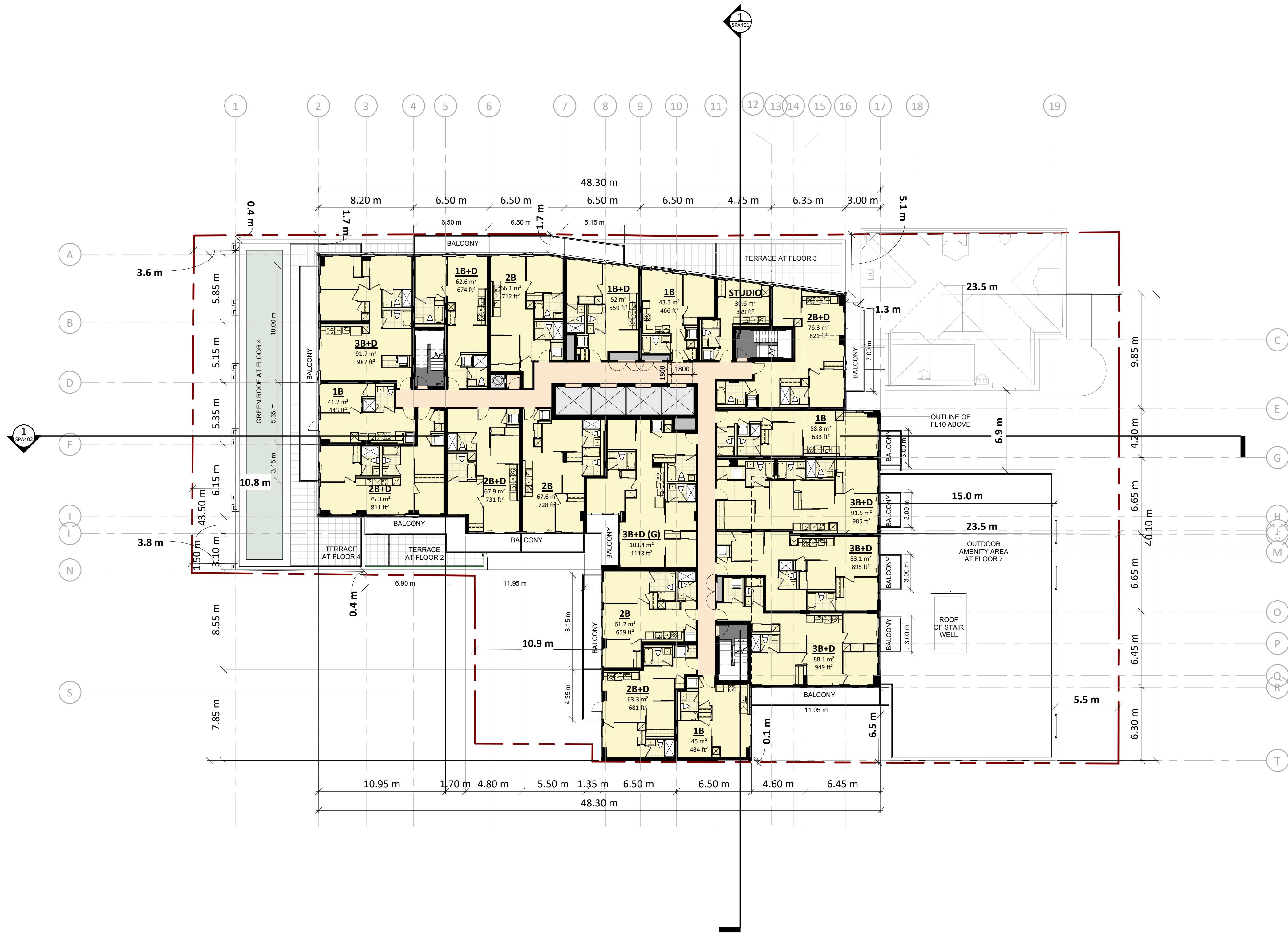
308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
FLOOR 08

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	



DRAWING NO.
SPA158



4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

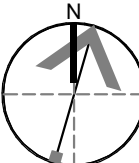


PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

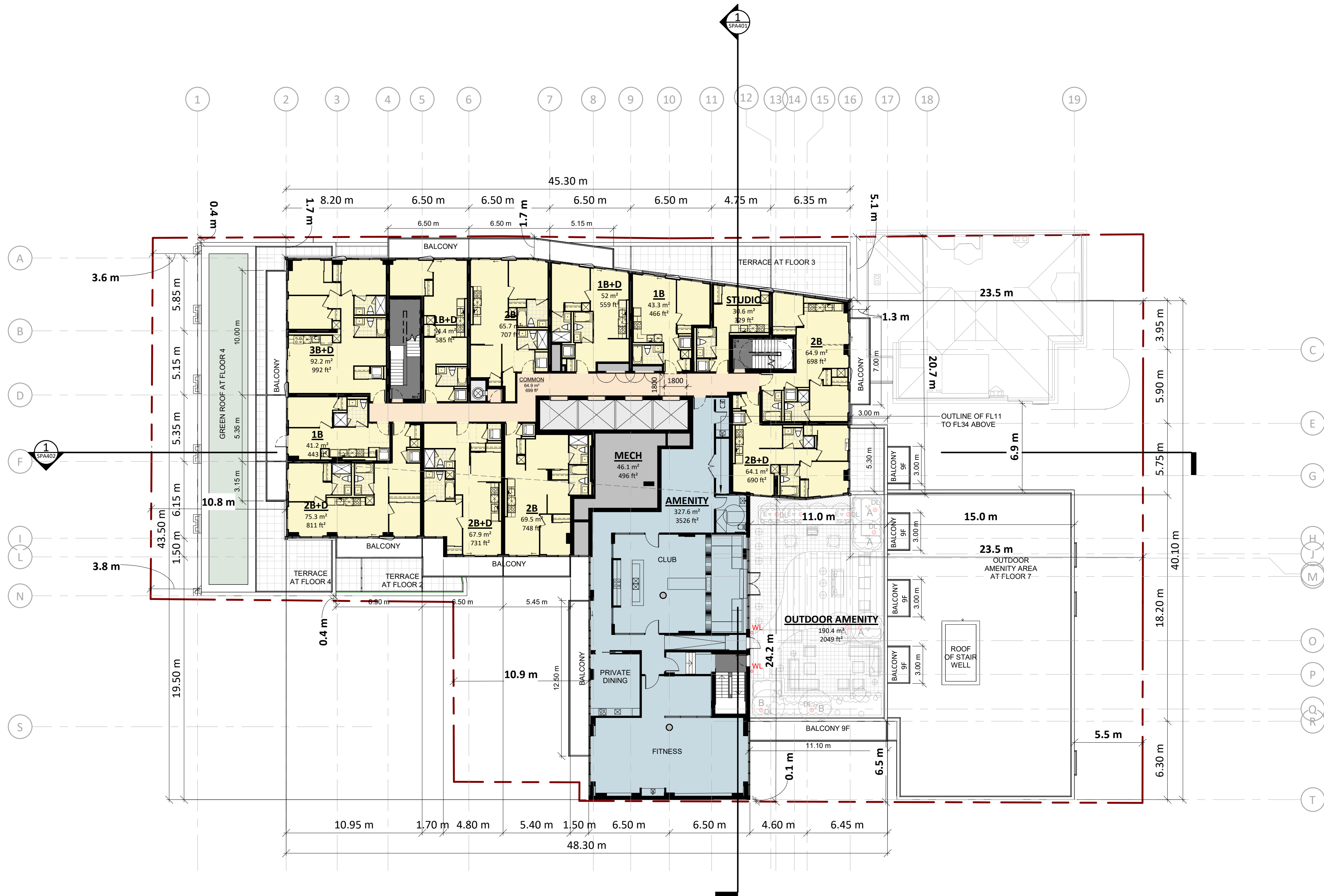
DRAWING
FLOOR 09

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	



DRAWING NO.
SPA159

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used in any way without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.



EXTERIOR LIGHTING
LEGEND

- DL DIRECTIONAL LIGHTING
- BL BOLLARD LIGHT
- WL WALL SCONCE

TRUE COLOUR
RENDITION LIGHTING
TO BE PROVIDED

4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

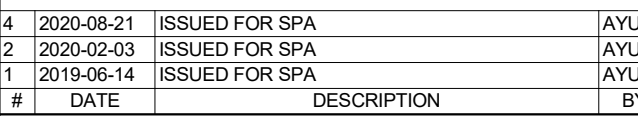
DRAWING
FLOOR 10

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE 1 : 200	



DRAWING NO.
SPA160

This drawing, as an instrument of service, is provided by and is the property of Turner Reischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must not alter or modify any of the drawings or specifications of Turner Reischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



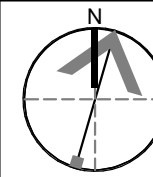
PROJECT **JAC CONDOS**

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING

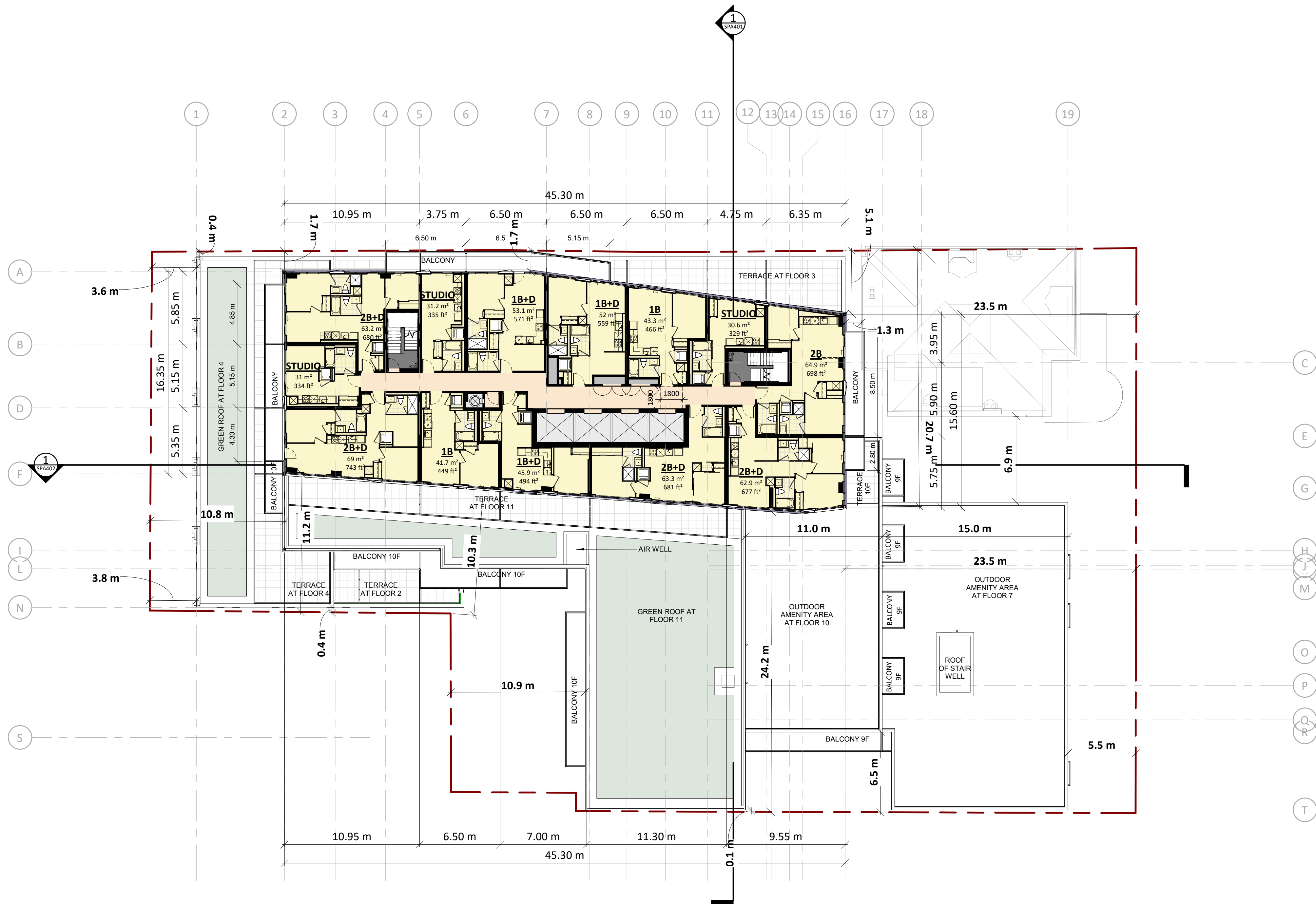
FLOOR 11

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	



DRAWING NO.
SPA161

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any purpose other than that for which it was prepared. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.



4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



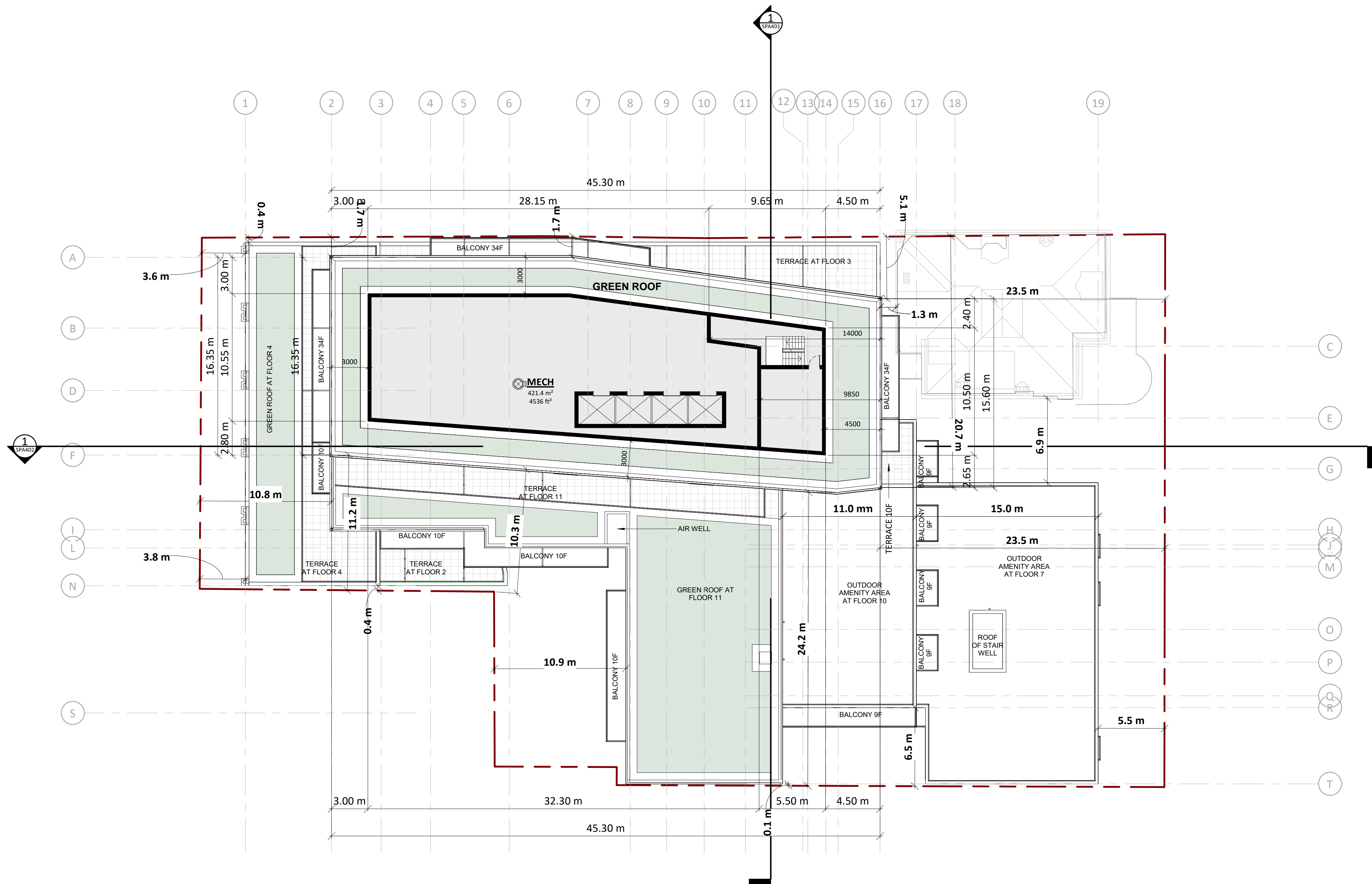
PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
FLOOR 12-34

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA162



4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

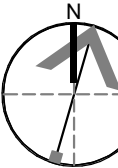


PROJECT
JAC CONDOS

308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

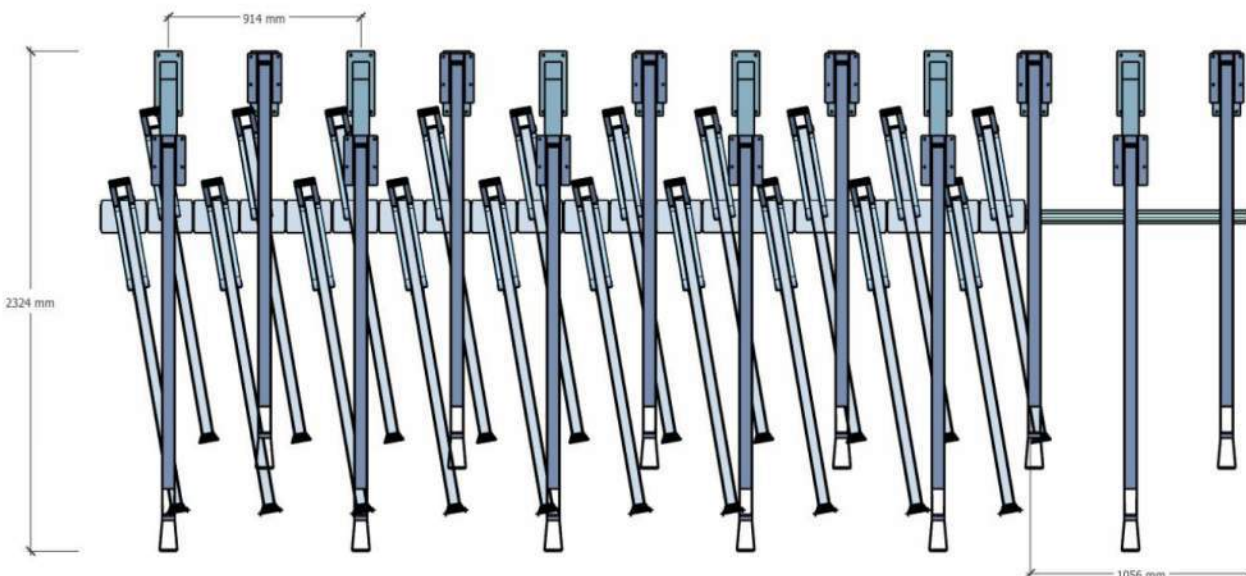
DRAWING
M.P.H.

PROJECT NO. 18.189CS	
PROJECT DATE 2020-08-18	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE 1 : 200	

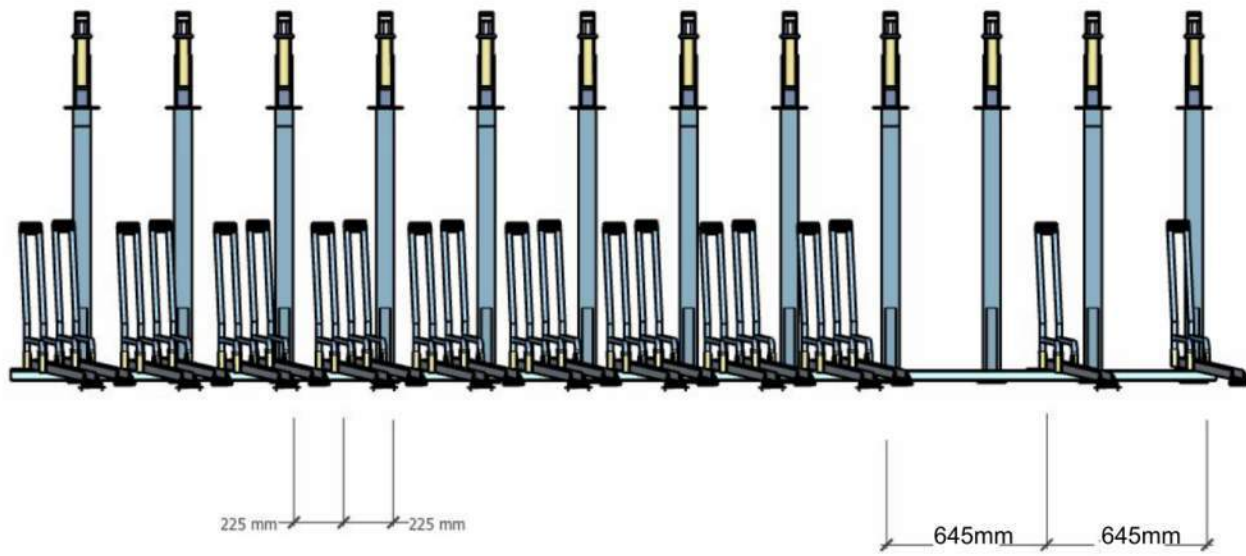


DRAWING NO.
SPA165


Top View



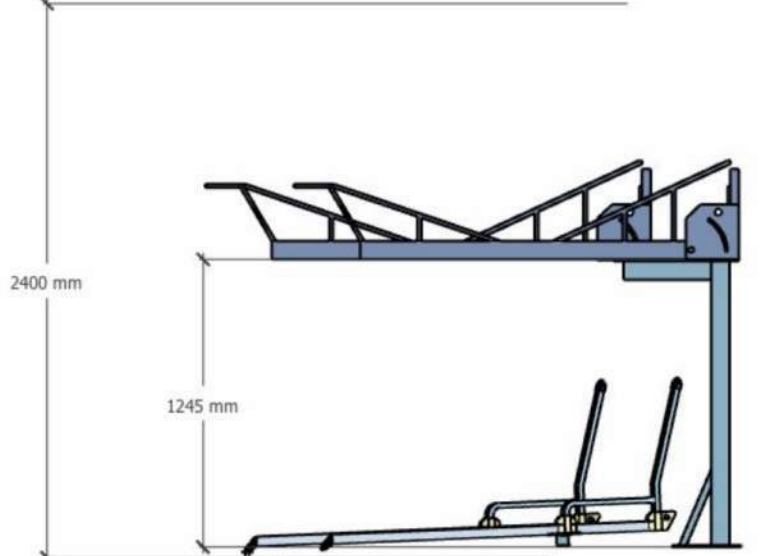
Front View



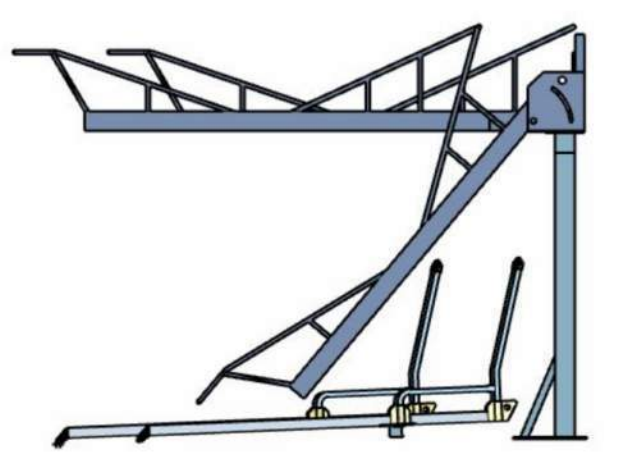
3D View



Side View



Side View Lowered Rack



ParkAid

Dena Plus

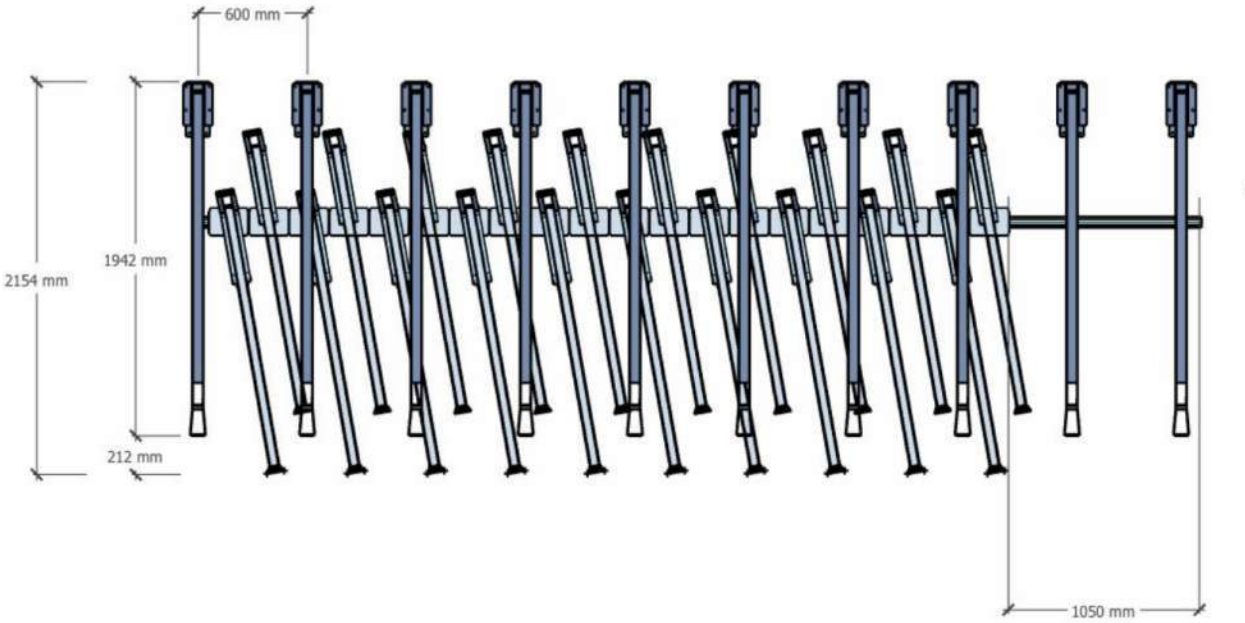
Made Of Painted Galvanized Steel And Aluminum.

Equipped With A Pneumatic Mechanism For End-User Convenience.


Versatile Lower Track System For Increased Capacity.

Copyright 2020 TMR Parking Solutions Corp. All rights are reserved.


Top View



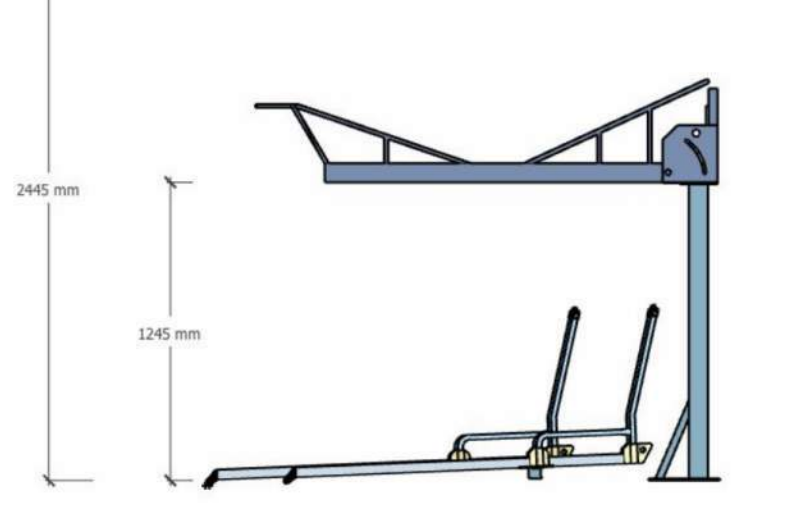
Front View



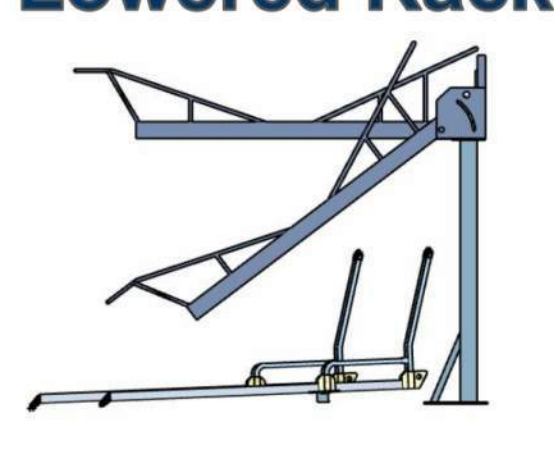
3D View



Side View



Side View Lowered Rack



ParkAid

Dena

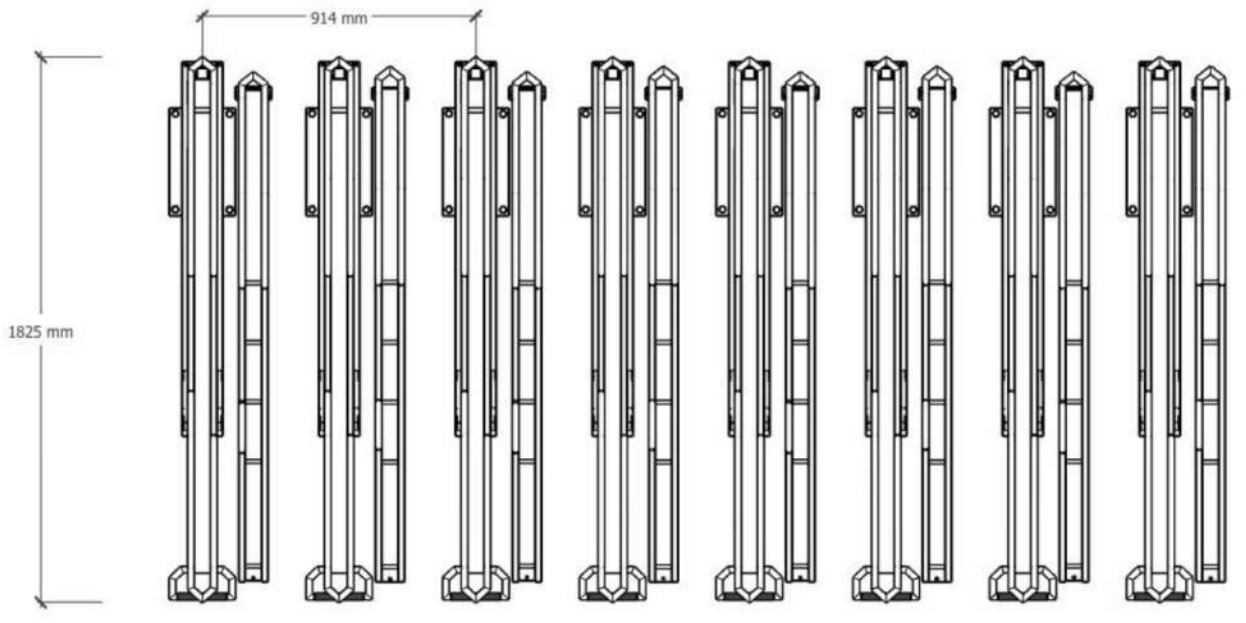
Made Of Painted Galvanized Steel And Aluminum.

Equipped With A Pneumatic Mechanism For End-User Convenience.

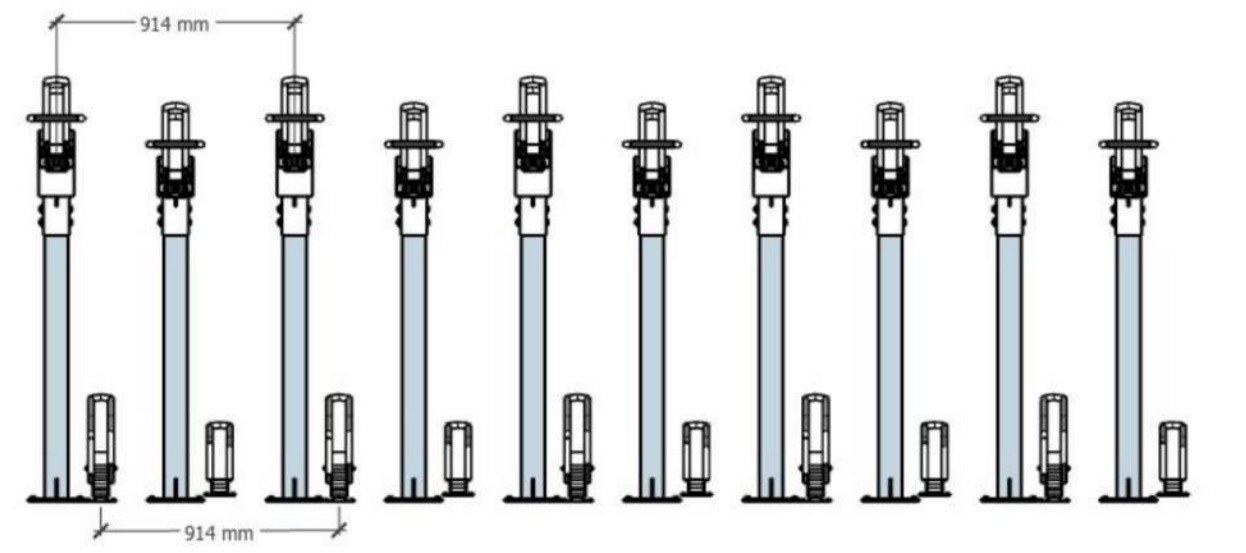
Versatile Lower Track System For Increased Capacity.

Copyright 2020 TMR Parking Solutions Corp. All rights are reserved.

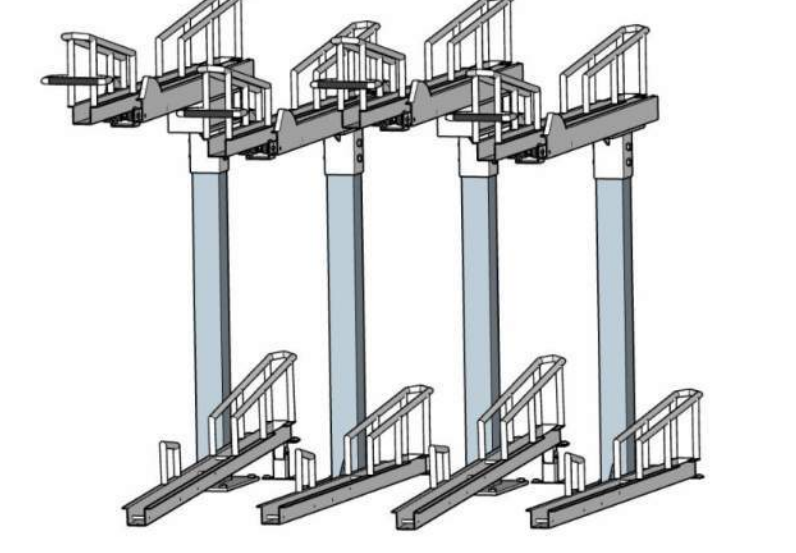
Top View



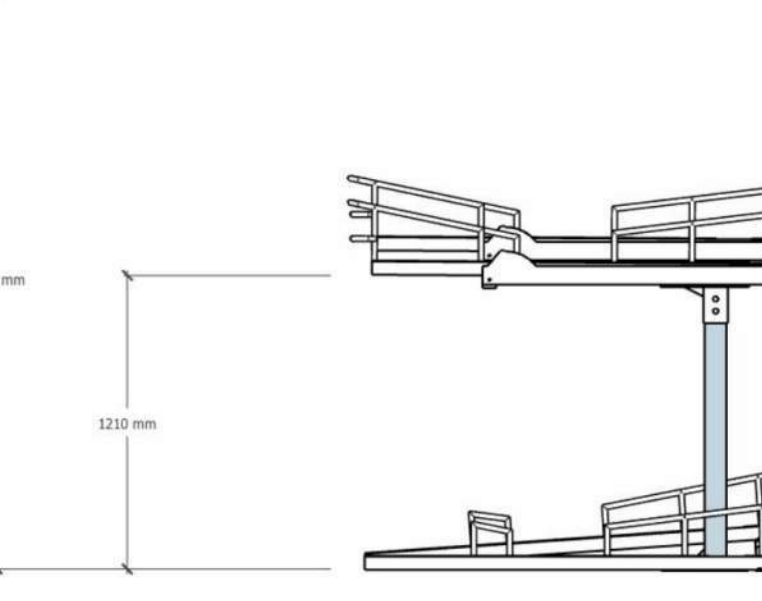
Front View



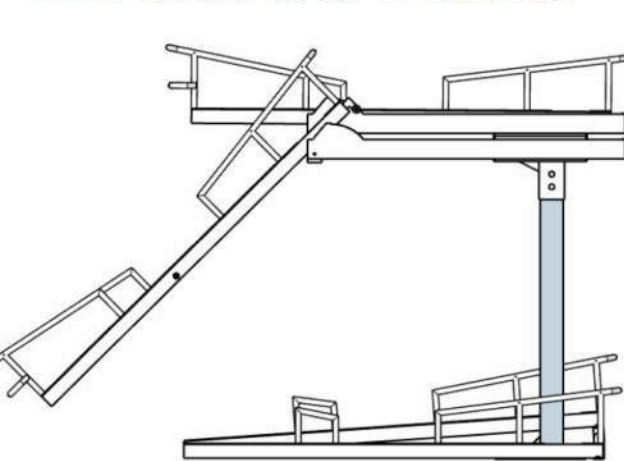
3D View



Side View



Side View Lowered Rack



ParkAid

Felix

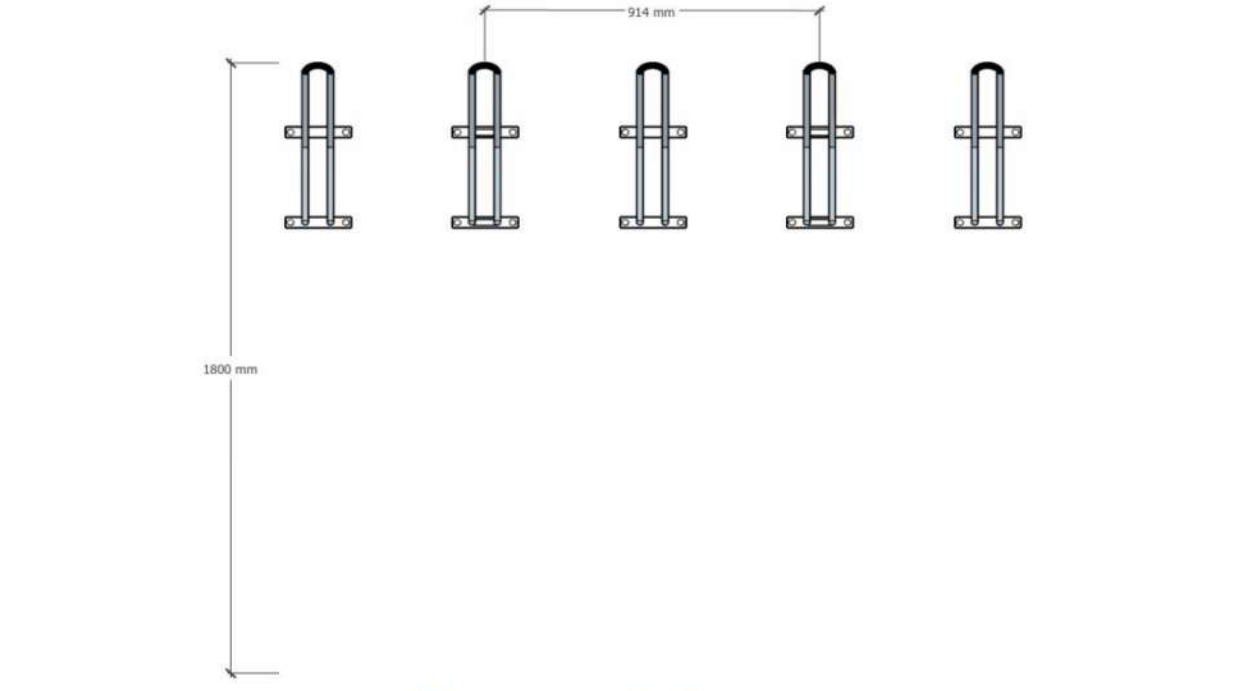
Made Of Galvanized Steel.

Equipped With A Pneumatic Mechanism For End-User Convenience.

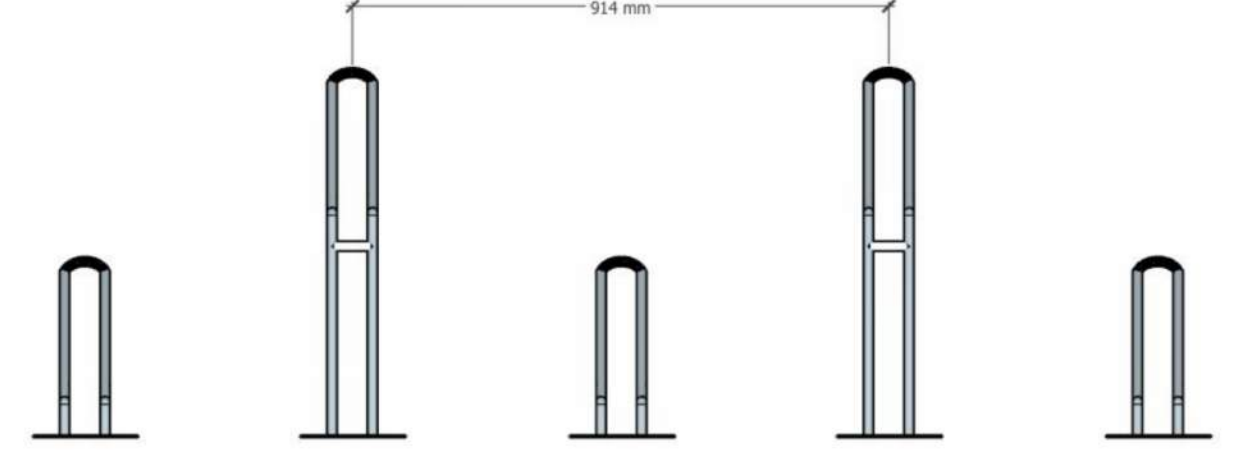
Compatible Lower Rack For Increased Capacity.

Copyright 2020 TMR Parking Solutions Corp. All rights are reserved.

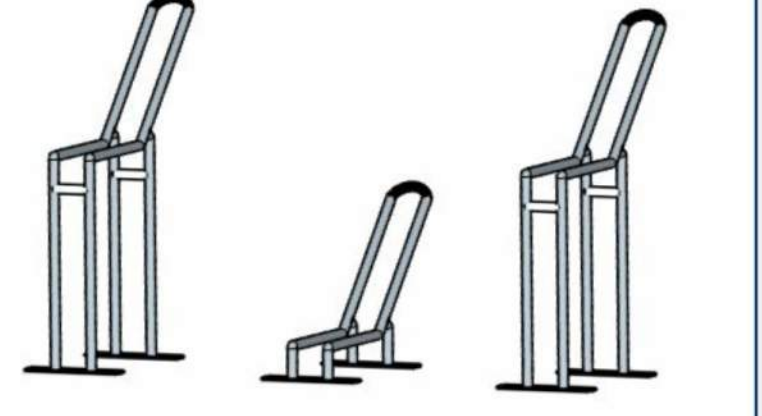
Top View



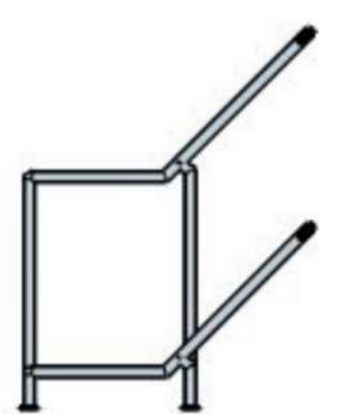
Front View




3D View



Side View



Side View Lowered Rack



ParkAid

Hip Hop

(Staggered)

Made Of Galvanized Steel And Coated With Superior Performance-Grade Paint.

Copyright 2020 TMR Parking Solutions Corp. All rights are reserved.


This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

7	2021-02-09	ISSUED FOR SPA	AYU
4	2020-08-21	ISSUED FOR SPA	AYU
2	2020-02-03	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
JAC CONDOS
308-314 Jarvis Street & 225 Mutual Street, Toronto, Ontario, Canada

DRAWING
PARKAID BIKE RACK DETAILS

PROJECT NO. 18.189CS	
PROJECT DATE 2021-02-09	
DRAWN BY As Indicated	
CHECKED BY As Indicated	
SCALE 5004	

DRAWING NO.
SPA900