

405 Sherbourne Street

Design Brief

CREATE TO SvN

May, 2021





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1.0 Background and Context

1.1 Introduction

Purpose

The future proponent will use the Design Brief to prepare architectural drawings for the Site Plan Application for 405 Sherbourne that address the content of this document for review and acceptance in the context of the Site Plan Approval.

Historic Context

405 Sherbourne Street has served as a surface parking lot for over fifty years. As such it has been used as a quasi public space, providing a convenient mid block connection through the Site linking Bleecker and Sherbourne Street.

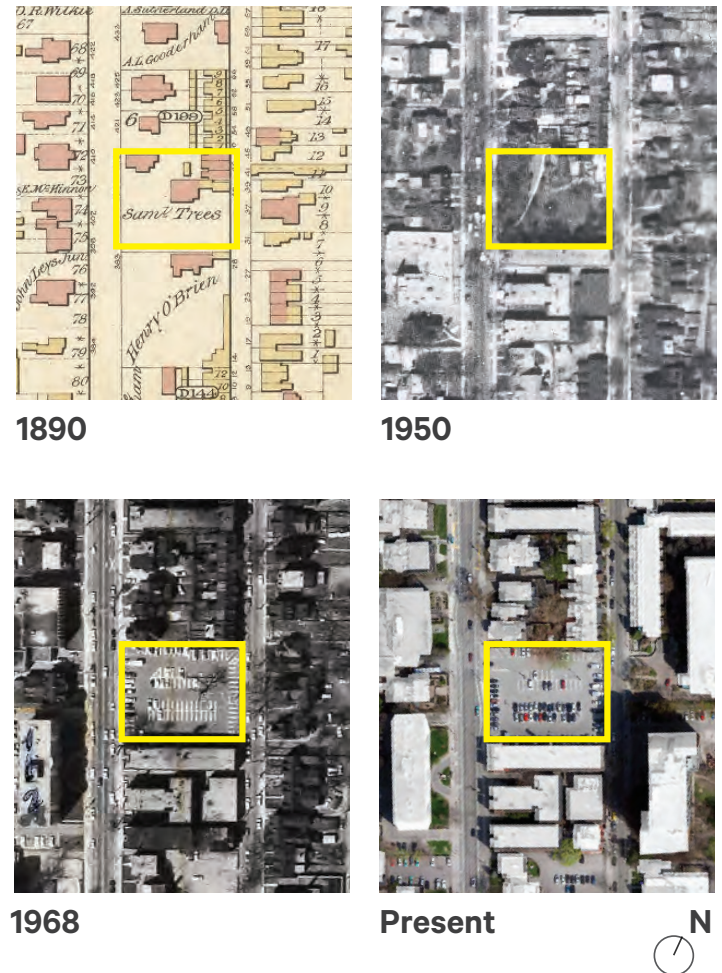
The opportunity for a new development should look to continue the Site's valuable role as a pedestrian connection. The new development should also integrate the built form into the existing historical context respecting the Cabbagetown Northwest Heritage Conservation District Guidelines

Housing Now

Housing Now is a new City Initiative that will use City-owned land to deliver new affordable rental housing and build mixed-income, mixed-use developments to support complete communities.

In January 2019, City Council approved 11 sites as part of Phase One of the Housing Now Initiative. In May, 2020 City Council adopted Phase Two of the Initiative which included six additional sites. The 17 Housing Now sites are estimated to create approximately 12,400 new residential units, including approximately 4,600 affordable rental units. The Site at 405 Sherbourne was identified as part of the Phase Two Housing Now Initiative.

Figure 1: Timeline of Sherbourne Site



405 Sherbourne

The development proposed for 405 Sherbourne Street (the Site) is mixed-use, including a community use space fronting on Sherbourne Street. The proposal also includes an improved public realm and meets the intent of the policies of the Cabbagetown Northwest Heritage Conservation District Guidelines.



Figure 2: Site Analysis Context

1.2 Site Context

Municipally known as 405 Sherbourne Street, the Site is zoned Residential as per Zoning By-law 569-2013, and designated Apartment Neighbourhoods within the City of Toronto Official Plan. The Urban Structure map of the Official Plan shows the Site as being in the Downtown. The Site is also within the Cabbagetown Northwest Heritage Conservation District. The site is also within the TOCore Secondary Plan area.

405 Sherbourne Street is located approximately midway between Carlton and Wellesley Streets on the east side of Sherbourne street. The Site is currently used as a Toronto Parking Authority (TPA) surface parking lot. The parking lot serves as an important mid-block connection for pedestrians traveling between Blecker Street and Sherbourne Street.

Adjacent to the Site on Sherbourne Street is an existing Taxi layby and the Sherbourne Street cycle track. The Site is located within walking distance to the 75-Sherbourne bus route, 94 Wellesley bus route and the 506 Carlton streetcar route.

The Site is in close proximity to a number of public amenities including Allen Gardens, Wellesley Community Centre, Winchester Junior and Senior Public School and Jarvis Collegiate. The area around the Site is characterized by an eclectic mix of housing types and tenures with an equally rich mix of open spaces.



Figure 3: Site Aerial

405 Sherbourne Street: 3000 m² (0.74 acres)

Sherbourne Frontage: 51 metres

Blecker Frontage: 49 metres

Depth: 60 metres

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Figure 4: Existing Sherbourne Street Frontages

 Residential Frontyard Setbacks


1.3 Sherbourne Street Frontage

Sherbourne Street has a mix of building scales. The historical fabric in close proximity to the Site is characterized by two dominant forms:

The first form located to the north of the Site, is large detached homes with generous setbacks from Sherbourne Street. These homes traditionally had a large green space in front and a recess in the façade where the front entrance is located.

The second prevailing form is the four storey apartment block. These blocks stretch the length of Sherbourne Street to Blecker Street. The front entrance divides the façade in two equally sized blocks. There are larger mid-century buildings along Sherbourne which are setback from the street.

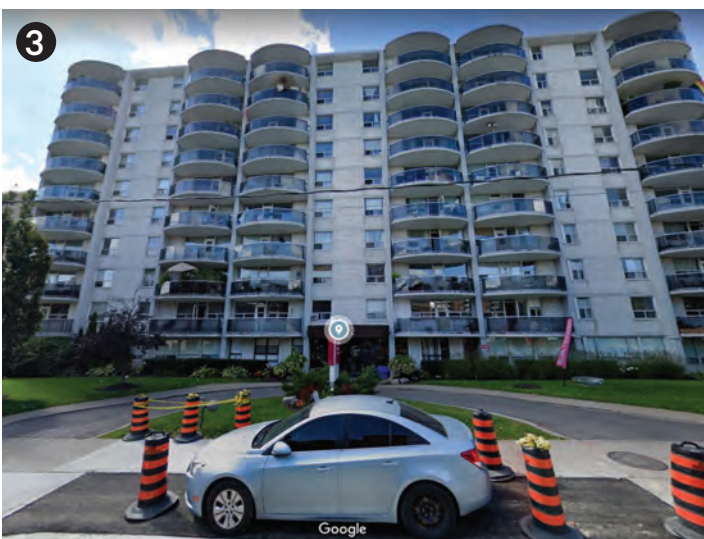


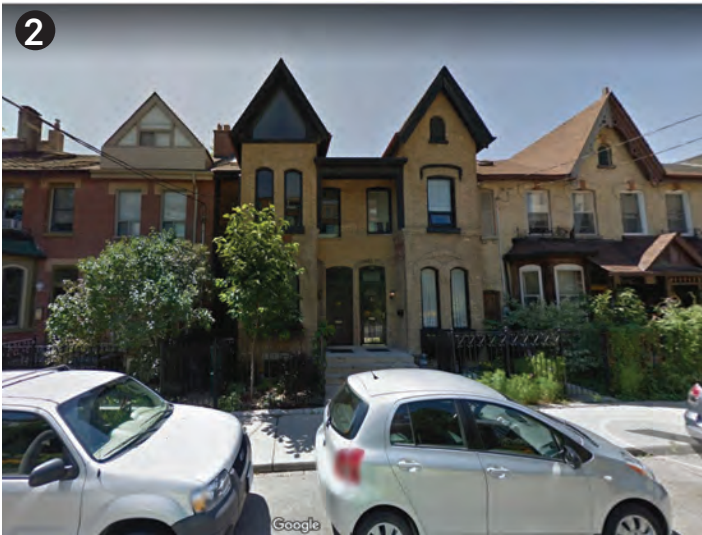
Figure 5: Existing Bleecker Street Frontages

 Residential Frontyard Setbacks


1.4 Bleecker Street Frontage

Blecker Street is characterized by two storey townhomes with front doors located in close proximity to the property line with a small area for landscaping in front. The predominate townhouse form has a rhythm of two sets of front doors and an adjacent large bay window.

The larger residential developments along the east side of Bleecker Street encompass a generous setback from the street, which limits their impact on the pedestrian realm.



1.5 Open Spaces and Pedestrian Connectivity

There are a number of parks and open spaces of varying scales throughout the area that are linked by pedestrian access through private developments.

Winchester Park, Winchester Square Park and an unnamed City of Toronto Park on Bleecker Street are located to the east of the Site. Existing school yards in proximity to the Site provide hardscaped open space. A number of smaller community gardens are also present.

The historical connection of Winchester Street to Sherbourne Street has long been closed off. The existing parking lot has served as an important pedestrian mid-block connection. This connection is part of an informal pedestrian connection from Winchester Park through the Bleecker Street cooperative. The low-rise town homes at the cooperative also provide access through the Site to Bleecker Street via pedestrian walkways serving townhomes.

Publicly Accessible Walkway Future Pedestrian Connection

Figure 6: Existing Network of Connections










Walkway under Bridge of Fieldstone Co-Op



Walkway between Blecker Street Co-Op and Winchester Park

Figure 7: Existing Network of Green and Open Spaces



- | | |
|---|---|
|  Parks |  Residential Frontyard Setbacks |
|  Community Gardens |  Residential Rearyards |
|  Private Courtyards / Frontyard Setbacks |  Residential Parking & Vehicular Access |
| |  Institutional Frontyards |



Winchester School Community Garden



Winchester Square Park Community Garden



Bleecker Street Co-Op Courtyard



Hugh Garner Co-Op Housing



City of Toronto Park



Winchester Park



Winchester Square Park



Our Lady of Lourdes Yard



Fudger Louse Long Term Care



Winchester School Yard

2.0 Heritage

2.1 Cabbagetown Northwest Heritage Conservation District Guidelines

405 Sherbourne Street is located within the Cabbagetown Northwest Heritage Conservation. As such the development will meet the intent of the district guidelines. The following key HCD policies and guidelines were determined to be important in directing the design of the building:

- Respect the human scale of the area while enhancing the area's heritage attributes. (3.2.4)
- Complement the prevailing character of existing heritage buildings. (4.2.2)
- Maintain the building height of adjacent properties and the immediate streetscape and should be neither noticeably higher nor lower. In areas of varied building height new development must respect adjacent buildings by being neither excessively higher nor lower." (6.5.2)

Please refer to ERA Architect's Heritage Impact Assessment (HIA) for further history of the Site, its relationship to the surrounding physical context and the existing heritage policy context. The HIA identifies impacts and mitigation measures.

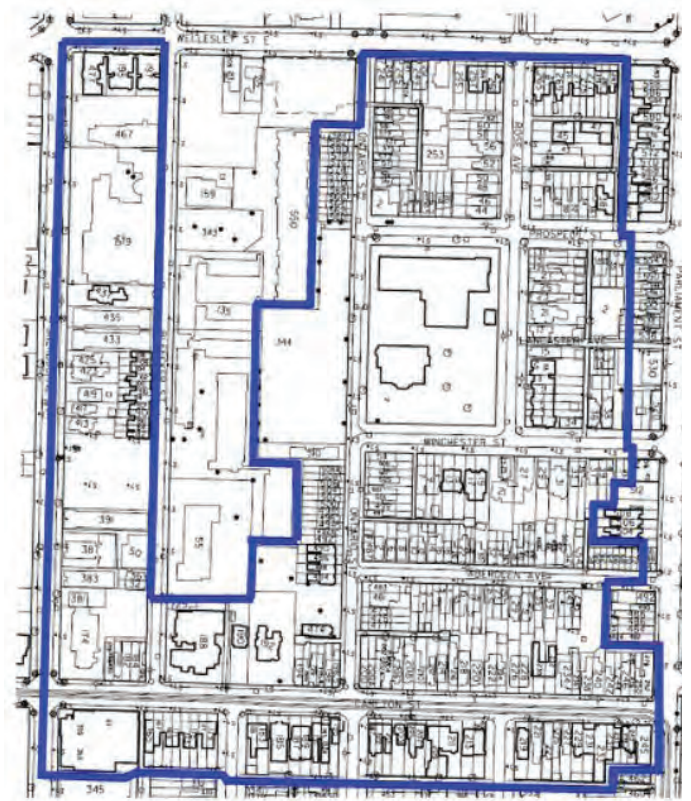


Figure 8: Cabbagetown Northwest Heritage Conservation District (HCD) Plan

2.2 Materiality

The materiality of the new construction will be reviewed in detail at the Site Plan stage.

Masonry cladding in a colour that complements the red and buff brick that predominate the HCD with bricks of a traditional size is recommended for the base building.

Consultation with the Cabbagetown Heritage Conservation District Advisory Committee will inform staff comments on the material palette at the Site Plan stage.



Figure 9: Masonry cladding at the podium level to complement existing heritage context.

2.3 Street Elevation Datums

The following guidelines have been developed to provide direction on the key building elements of adjacent historical properties which can help inform the design of the building podium. The design of the podium has been informed by the depicted horizontal and vertical datum lines. Additional datum lines that relate specifically to heritage character of the district and surrounding context can be explored through the Site Plan stage.

Sherbourne Street

- Incorporate the prevailing character of the historic detached houses to the north and the historic four storey apartments to the south of the Site.
- Incorporate the line of the eaves and grand front entrance among the horizontal datums from the historic large homes to the north into the design.
- Incorporate the large recessed front entrances among the rhythmic elements from the historic large homes to the north into the design.
- Incorporate the line of the front entrance to the apartment and the roof line among the horizontal datums from the historic apartments to the south into the design.
- Incorporate the central recess and the larger block size among the rhythmic elements from the historic apartments to the south into the design.

Figure 10: Sherbourne Street Elevation Horizontal Datum Lines



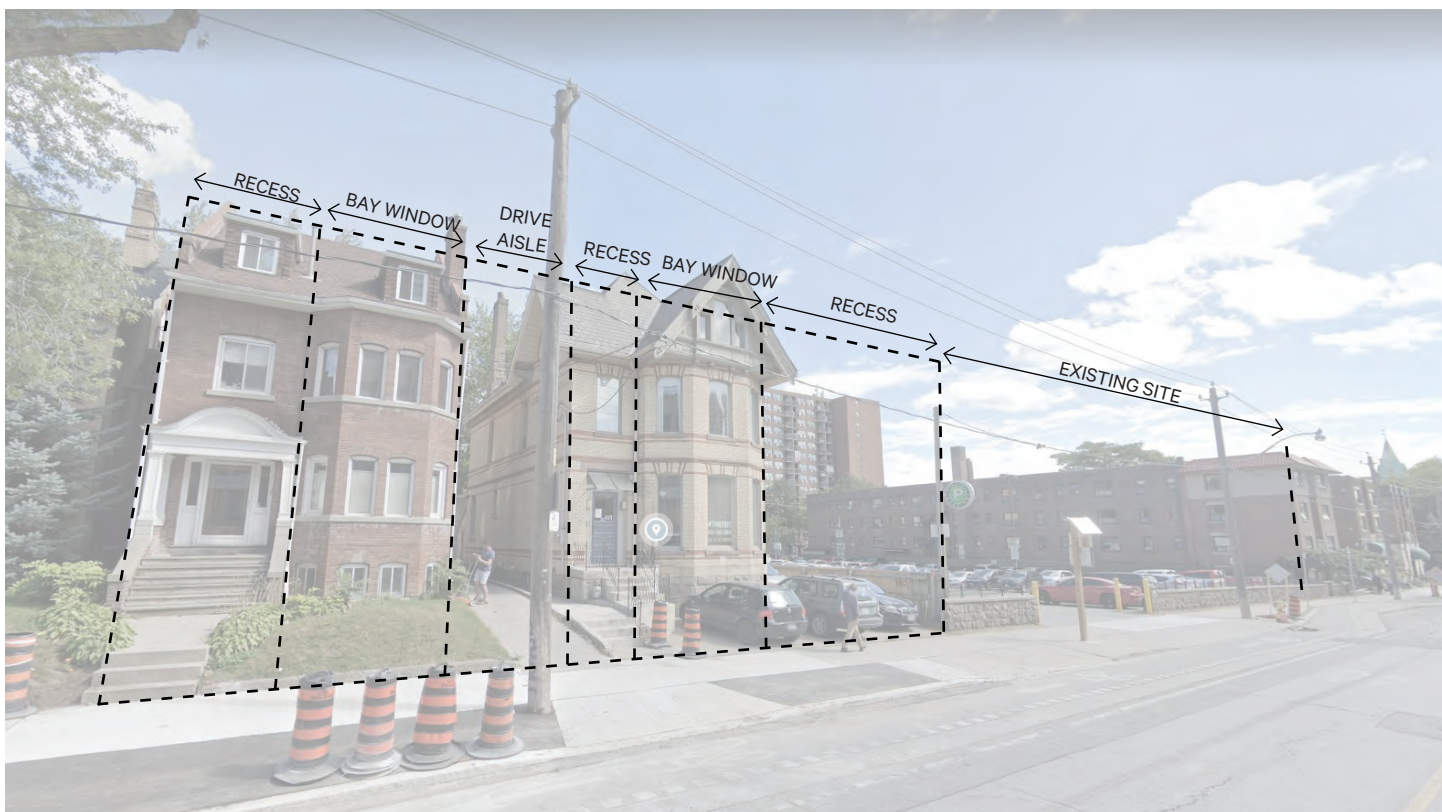
Figure 11: Sherbourne Street Elevation Vertical Datum Lines



Figure 12: Sherbourne Street Elevation Horizontal Datum Lines



Figure 13: Sherbourne Street Elevation Vertical Datum Lines



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Bleecker Street

- Integrate the new development along Bleecker Street by integrating the prevailing character of the existing two storey town homes. The Bleecker Street frontage is proposed to be characterized with two storey residential townhomes.
- The townhomes are proposed to extend the full length of the ground floor of the development.
- The podium above the townhomes is proposed to be set back
- The rhythm of double front doors and adjacent bay windows is proposed to be incorporated into the townhouse design. Incorporate the horizontal datums of the bay window and the eaves line into the design.

Figure 14: Bleecker Street Elevation Horizontal Datum Lines



Figure 15: Bleecker Street Elevation Vertical Datum Lines



2.4 Street Level Perspectives

Sherbourne Street



Figure 16: West side of Sherbourne Looking North



Figure 17: West side of Sherbourne Looking South

Bleecker Street



Figure 18: East side of Bleecker Looking North



Figure 19: East side of Bleecker Looking South

3.0 Public Realm

3.1 Animation

Crime Prevention Through Environmental Design (CPTED) is employed in the Site design through many natural access control and natural surveillance methods.

See section 7.3 of the HCD Plan, Landscape conservation guidelines for guidance on front yards and plantings that should be considered as the project progresses, particularly when refining the design of the residential front yards for the townhouses along Bleecker Street.

The Proponent should consider the inclusion of a bike repair and bike wash station to encourage bicycle use. This is aligned with the Draft Housing Now TDM Measures included in the Transportation Impact Study which provides a list of applicable TDM strategies that could be implemented by the proponent to achieve a 15% trip reduction. A Bicycle Repair station is identified as a Tier 3 strategy for the Proponent to consider.

To animate the Site throughout the day and in the evening, a few urban design strategies are proposed:

- Allow for a pedestrian midblock connection through the Site from Bleecker Street to Sherbourne Street to keep “eyes on the street.”
- For the Sherbourne Street frontage, provide clear and visible entry ways and ensure there is no tall landscaping adjacent to the building.
- Provide street trees and widened sidewalks (minimum 2.1 metres) to create a pleasant pedestrian environment in keeping with City standards and the neighborhood’s urban fabric.
- Provide ornamental landscaping at the front of the Bleecker Street townhomes to enhance views from the public sidewalk, help provide privacy to residents, and define the edge of the private development.
- Bleecker Street frontage animated with townhomes with front doors facing the street.
- Provide ample pedestrian and building lighting to keep the Site well-lit.
- Demonstrate regard for applicable Crime Prevention Through Environmental Design (CPTED) guidelines.

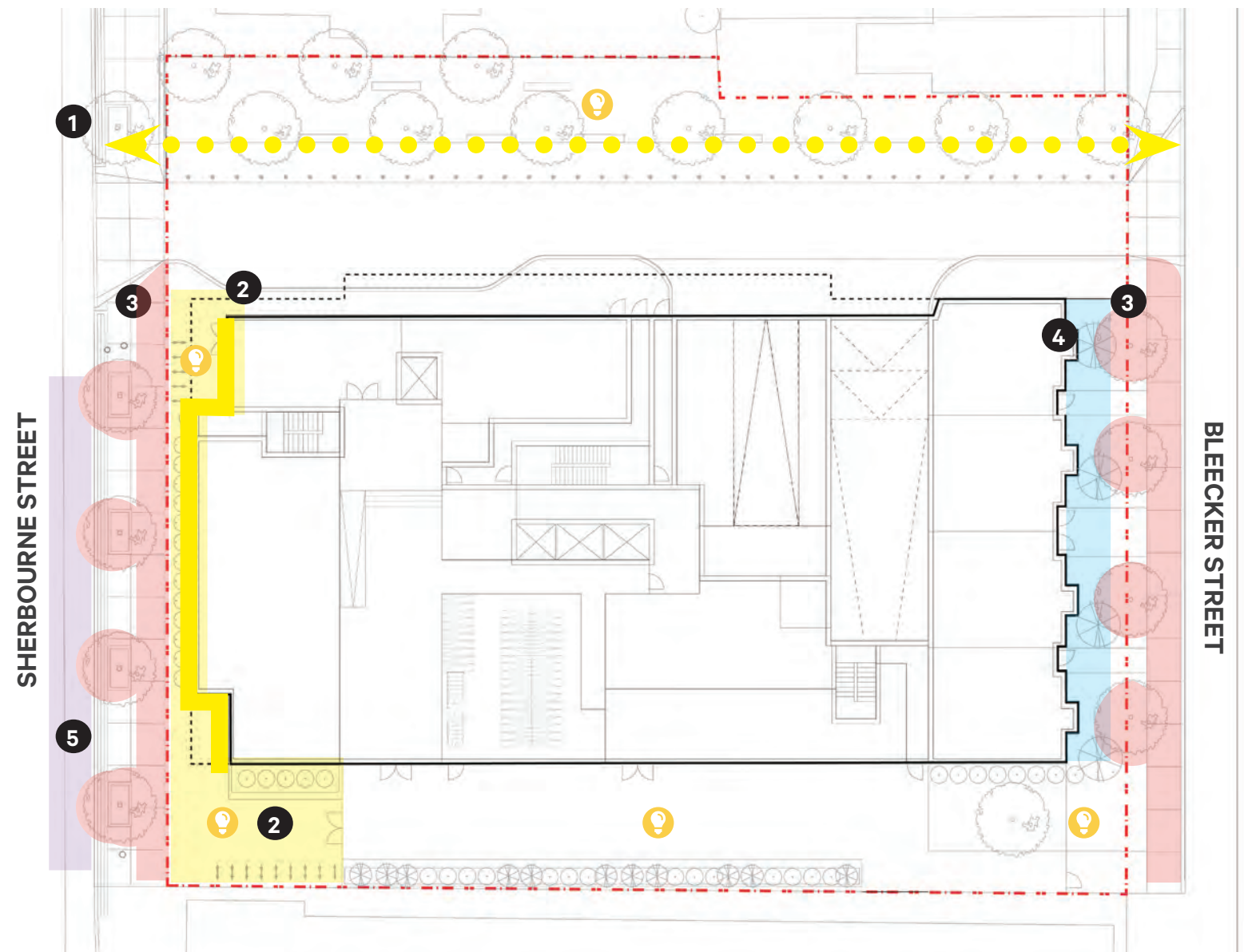
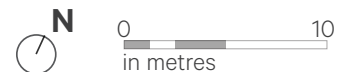


Figure 20: Diagrammatic Site Plan - Animation



- 1** Utilize pedestrian connections to connect Sherbourne Street and Bleecker Street.
- 2** Animate Sherbourne Street with visible and clear building access and no tall landscaping adjacent to the building
- 3** Provide street trees and 2.1 metres wide sidewalks
- 4** Provide ornamental landscaping in front of Bleecker Street townhomes
- 5** The existing Sherbourne Street layby will be removed and the curb and cycle track reconstructed and realigned with the north and south curb edges.

Figure 21: Contextual Rendered Roof Plan

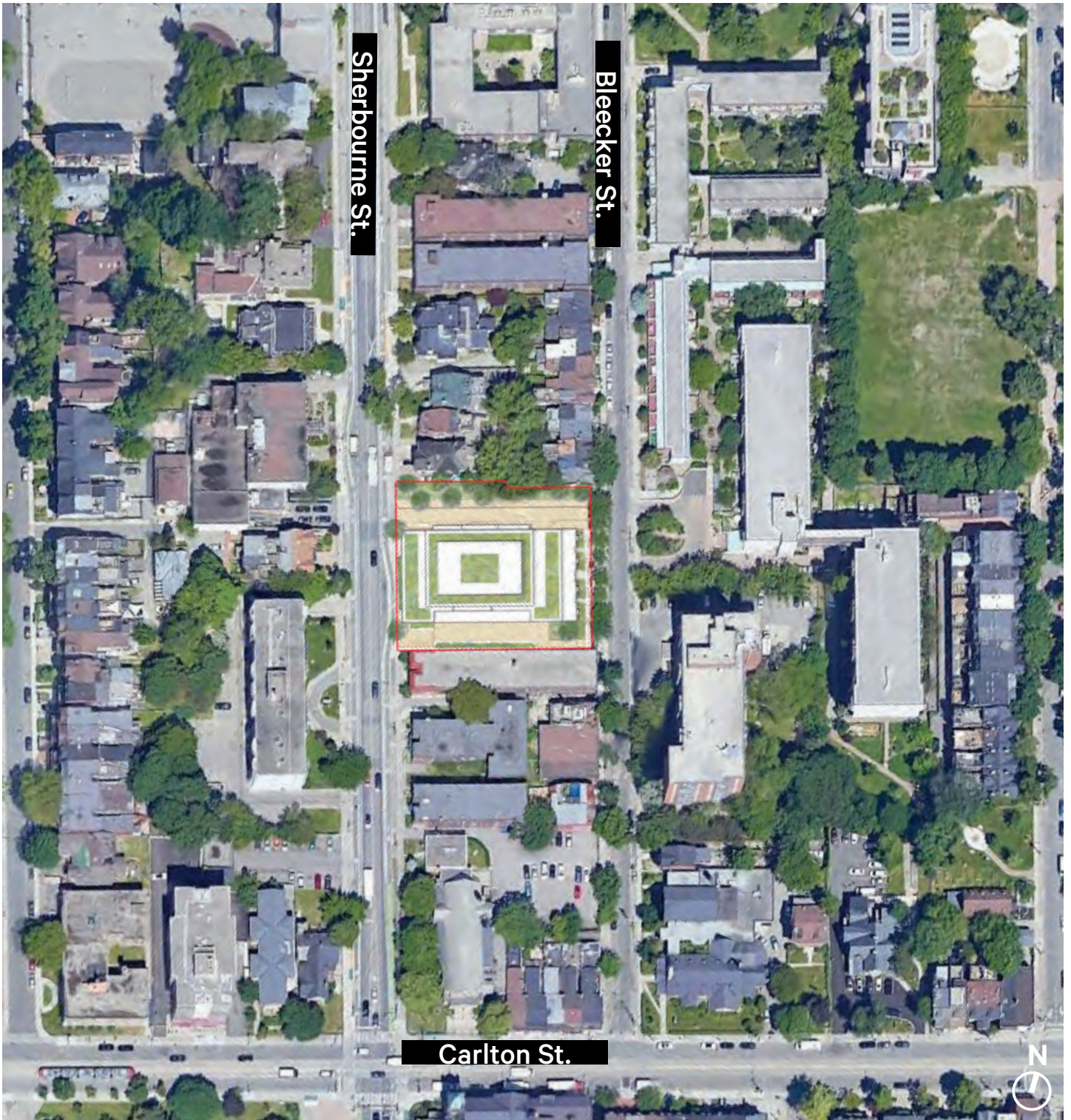
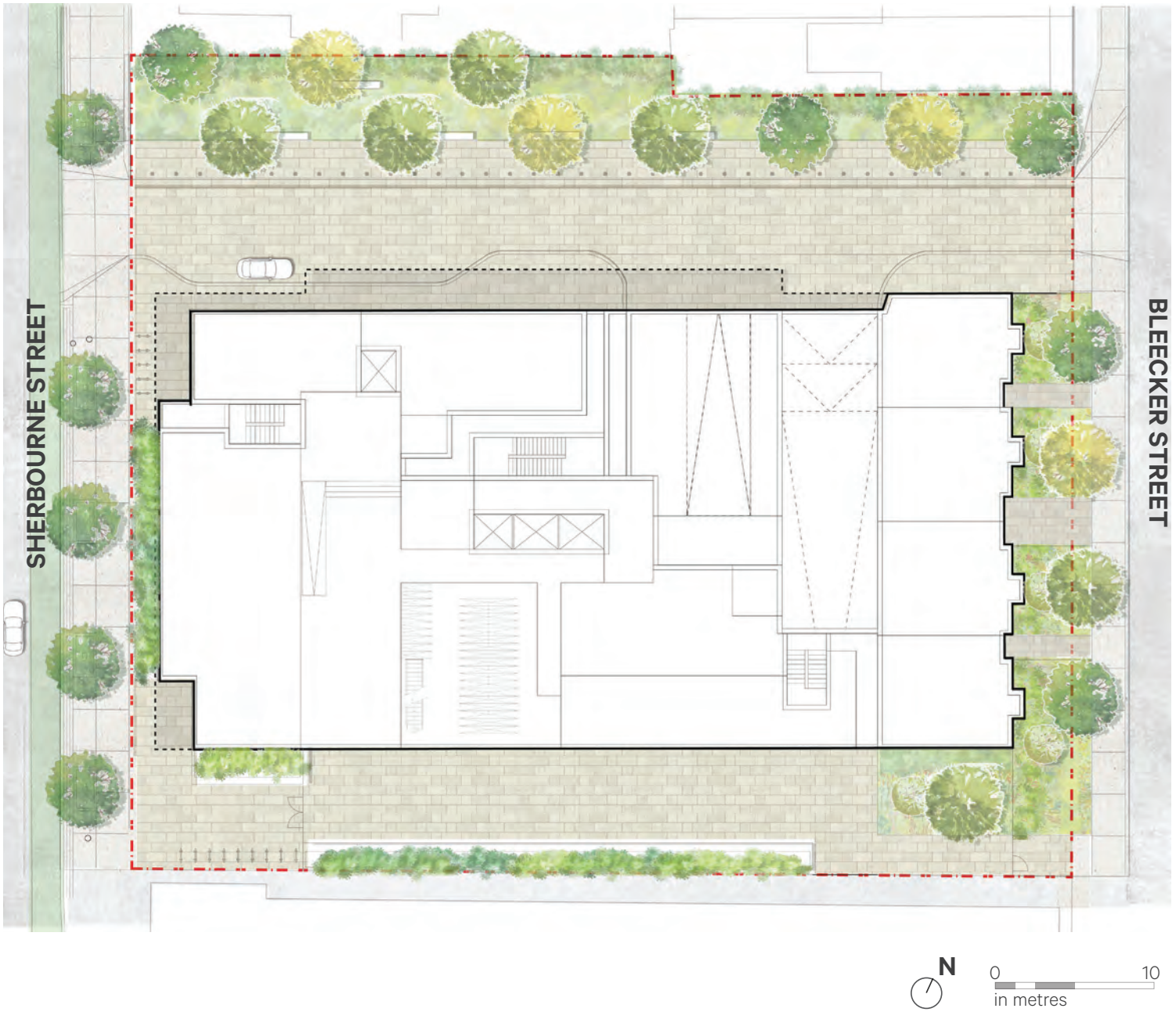


Figure 22: Rendered Landscape Plan



3.2 Landscape Character Zones

Building off of the rich array of landscaped and open spaces nearby, the open space design at 405 Sherbourne aims to tie into some existing neighbourhood typologies as well as create some new ones.

Figure 23: Network of Green and Open Spaces

- Parks/Open Spaces
- Residential Frontyards
- Community Gardens
- Residential Rearyards
- Private Courtyards / Frontyard Setbacks
- Residential Parking & Vehicular Access
- Publicly Accessible Walkway
- Institutional Frontyards
- Future Pedestrian Connection

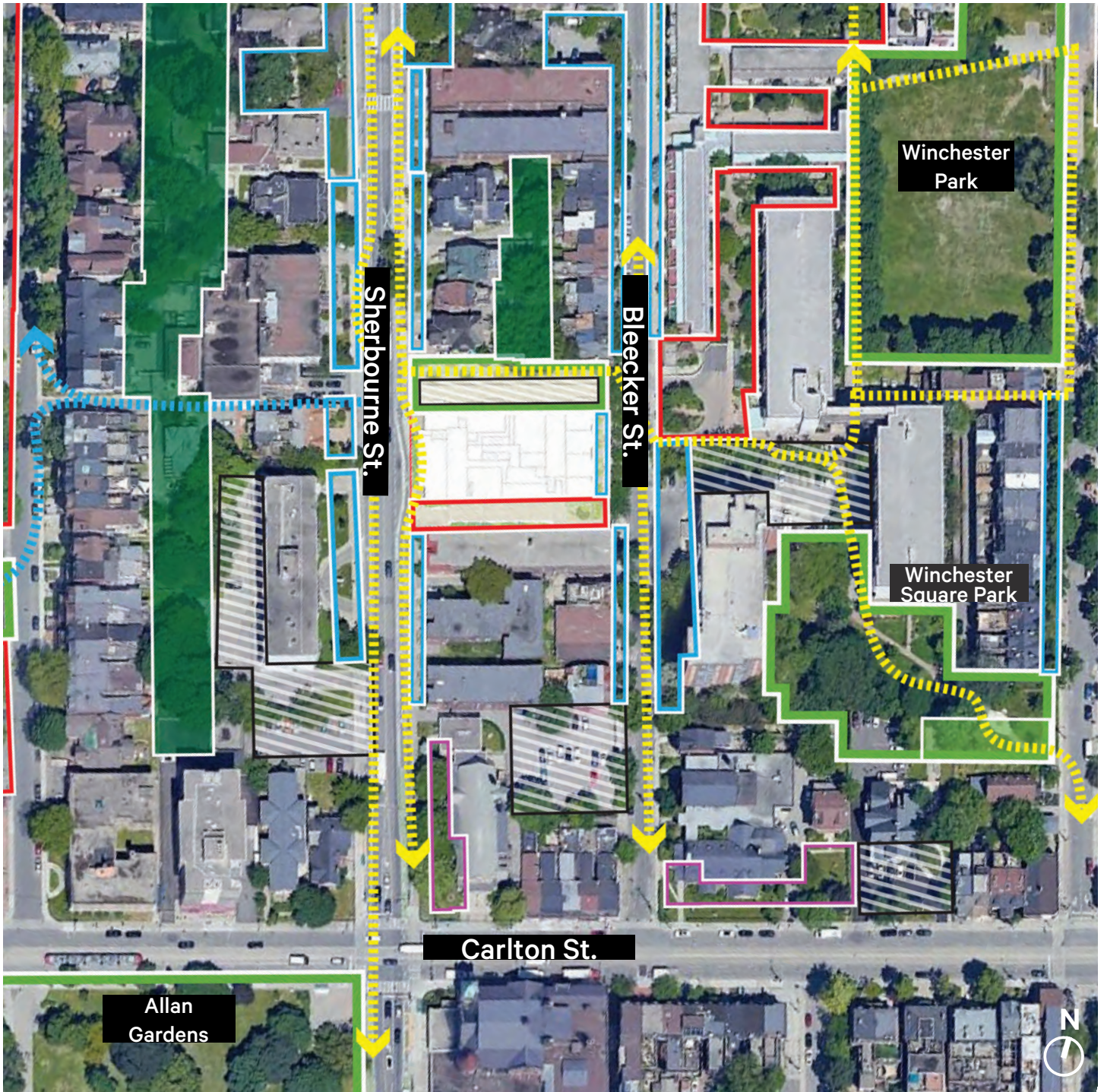
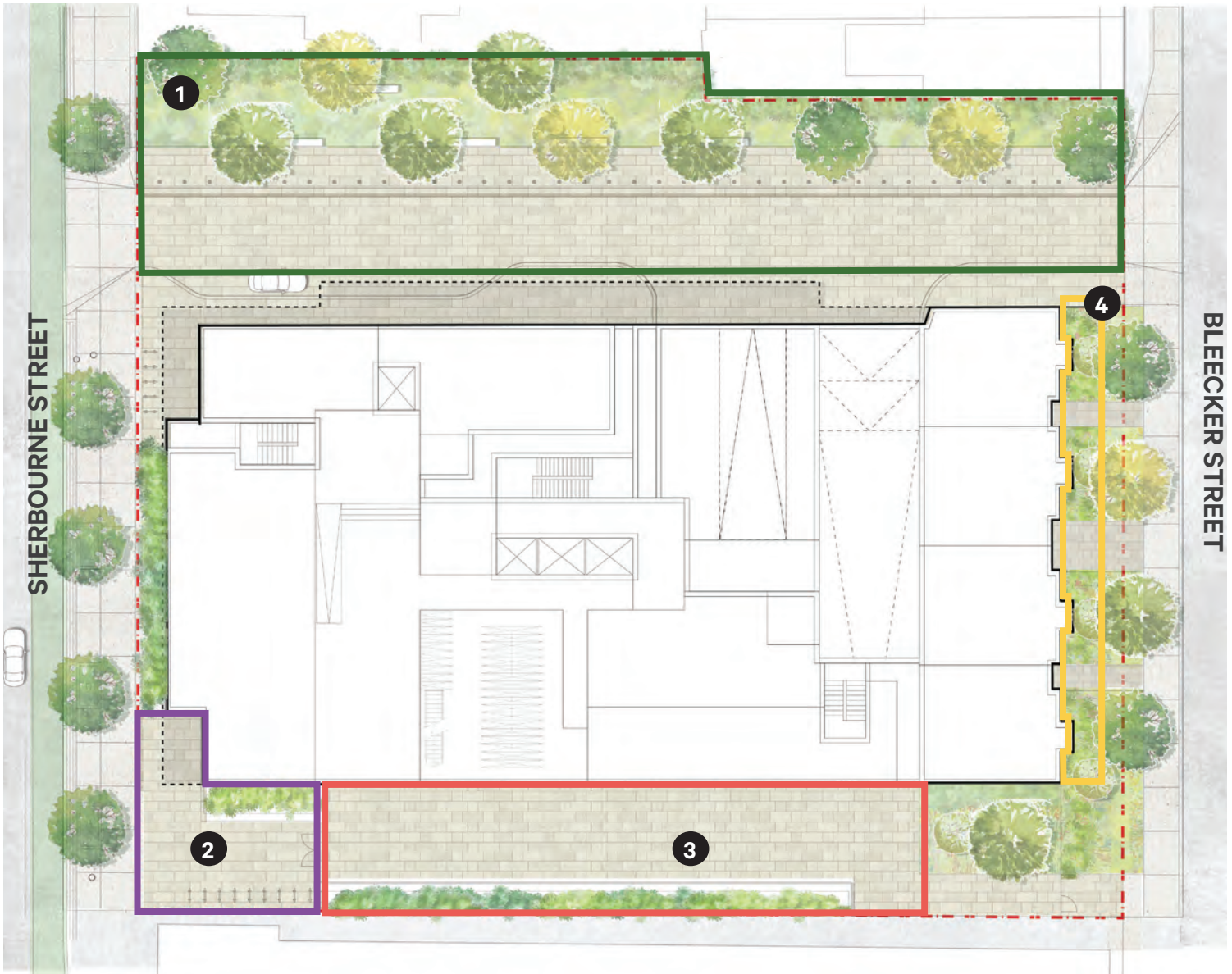
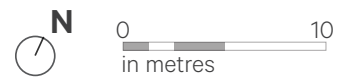


Figure 24: Landscape Character Zones



- ① Sherbourne Green
- ② Sherbourne Court
- ③ Residential Amenity
- ④ Townhome Frontages



1 | Sherbourne Green

Sherbourne Green preserves the Site’s current use as a pedestrian midblock connection, but elevates the experience. The space is proposed to be a minimum 5.5 metres wide including a dedicated pedestrian walkway. A curbless design, through bollards or a tactile paving strip to denote the separation from the drive aisle and the walkway, is encouraged to allow the thoroughway to become a true shared space, allowing pedestrians and cyclists to take over the space during off-peak vehicular hours. The north edge of the Sherbourne Green measures 3.0 to 5.4 metres, and is proposed as a treed lawn space bordered with perennial planting. Sherbourne Green forms a softscaped landscape buffer from the residences to the north and contributes to the Cabbagetown network of open spaces.

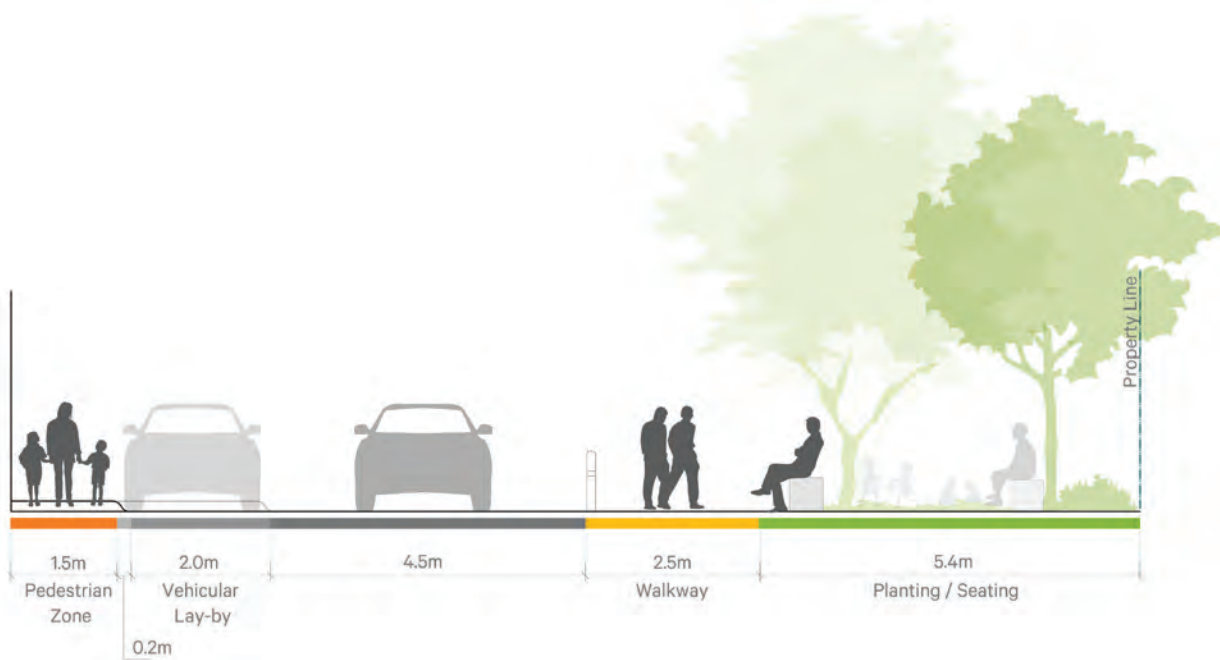
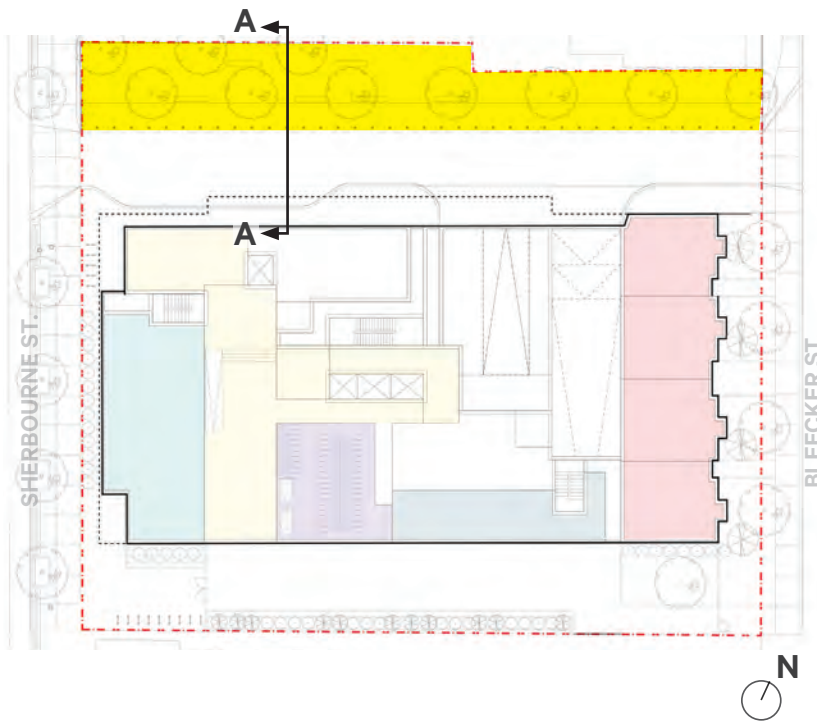
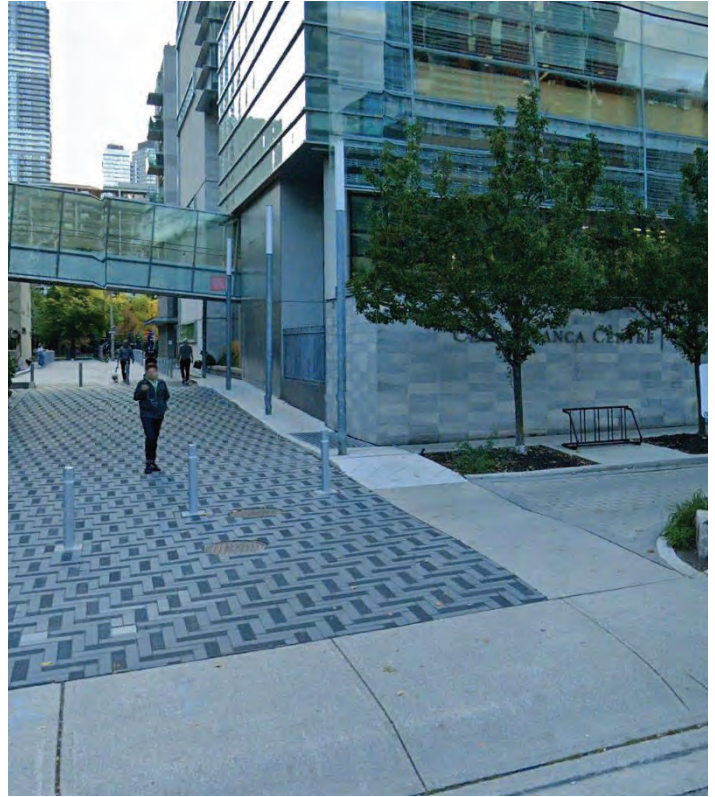


Figure 25: Cross section A-A of Sherbourne Green Lay-By Area

Precedent Images



Jaktgatan and Lövängsgatan, Stockholm, Sweden



National Ballet School, Toronto



Passeig de Saint Joan, Barcelona



Ryerson Public Realm, Toronto

2 | Sherbourne Court

Sherbourne Court is on the southwest corner of the Site, adjacent to the sidewalk and cycle track. This publicly-accessible space is proposed to be primarily hardscaped and open to maintain sightlines and to tie into the indoor community programming at this corner.

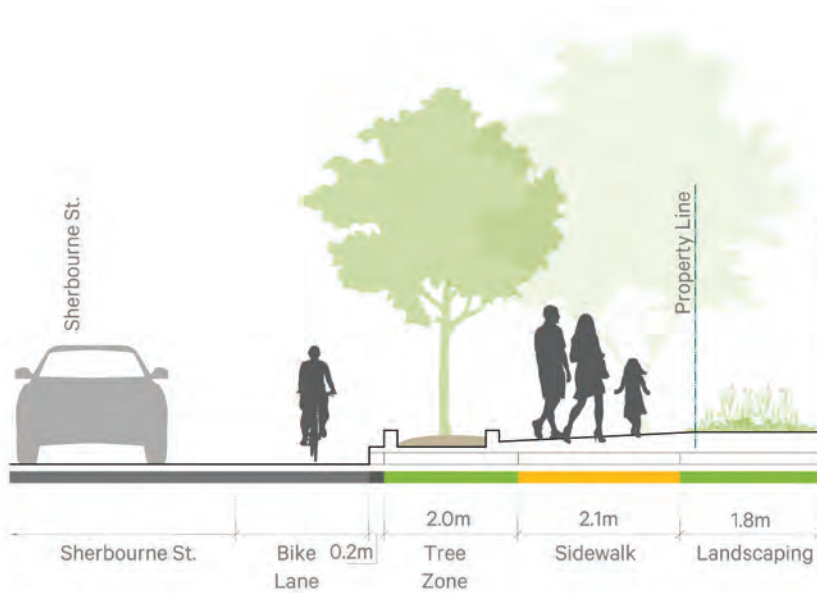
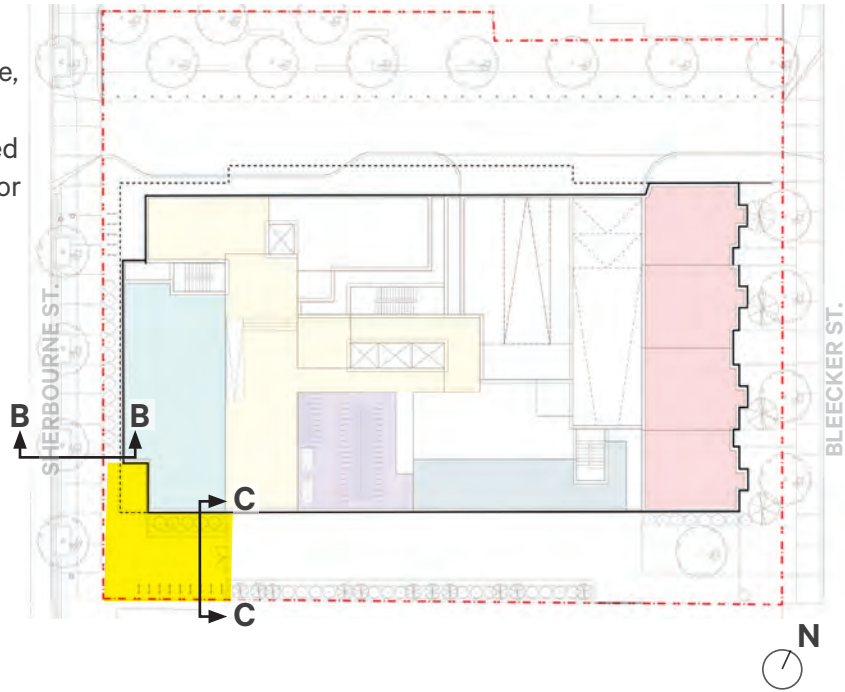
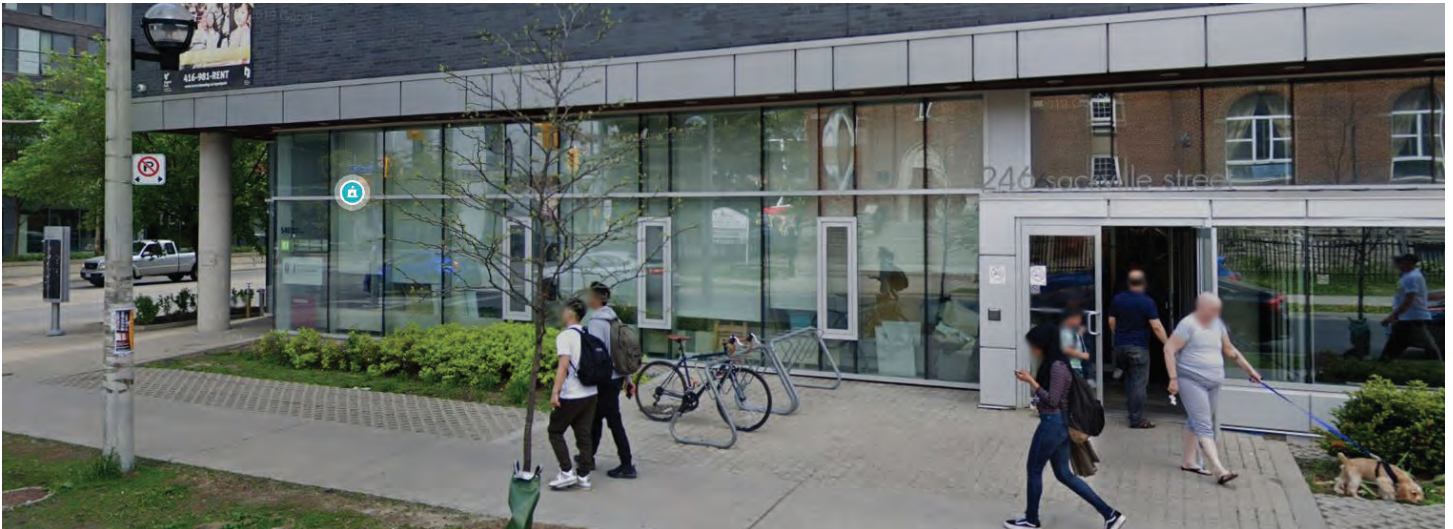


Figure 26: Cross Section B-B Across Sherbourne Street

Precedent Image



Community Entrance with appropriate glazing flexible for privacy or streetscape engagement. Regent Park, Toronto.

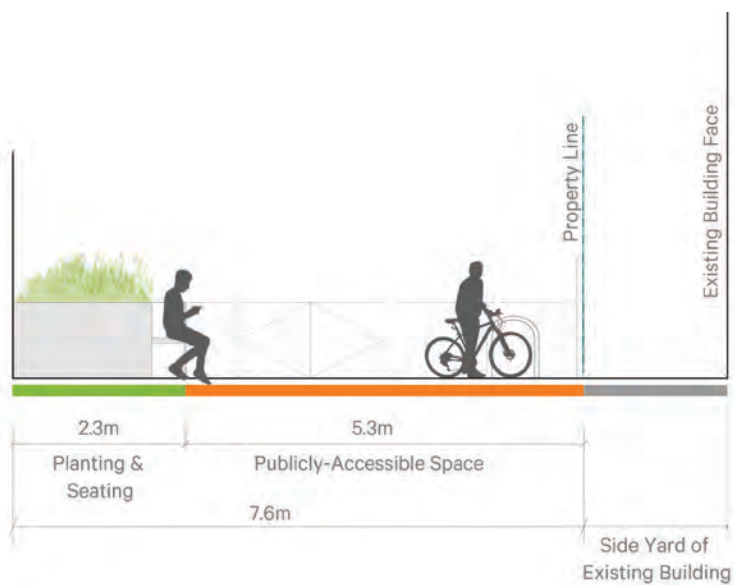


Figure 27: Cross Section C-C Across Sherbourne Court

3 | Residential Amenity

A residential amenity zone is proposed to be located at grade on the south side of the Site, with restricted access to residents only. Access to this amenity area is proposed through gated entries that are recessed from both Sherbourne and Bleecker Streets. The south extents of the zone are proposed to be lined with a 1 metre wide planter for shrubs and perennials. Flexibility of use is a key principle for this zone. The specific programming of this outdoor amenity space will be determined at the Site Plan Application stage.

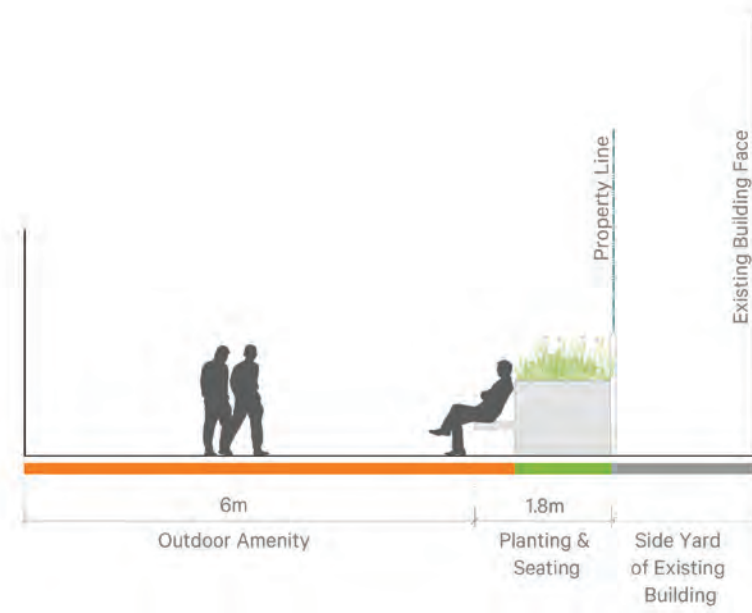
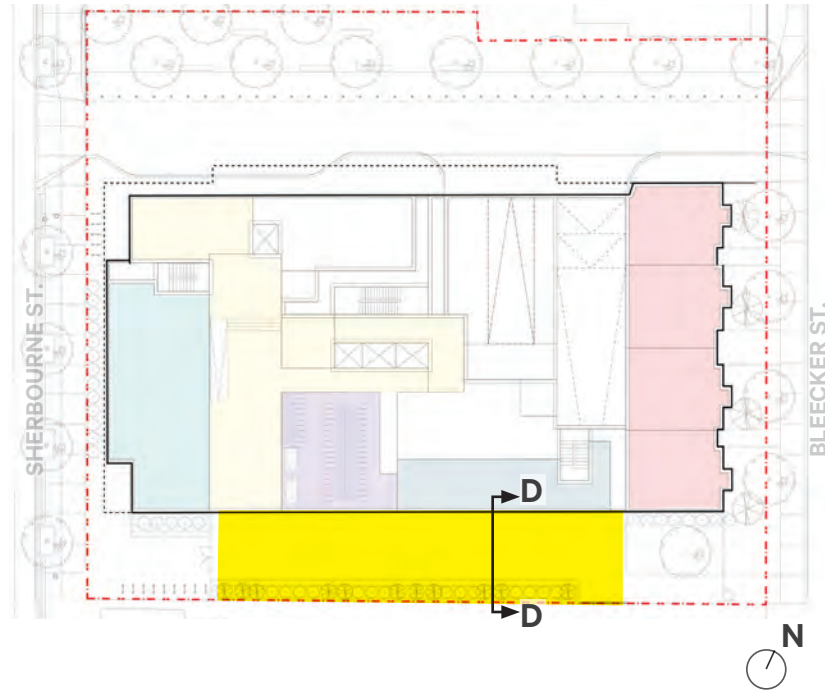


Figure 28: Cross Section D-D Outdoor Amenity Space

Precedent Images



Creston Avenue Residence, New York



171 Liberty Street East, Toronto

4 | Townhome Frontage

Townhome frontages on Bleeker are proposed to respect the heritage context of Bleeker Street, drawing landscape cues and inspiration from the townhomes to the north and the Bleeker Street Cooperative directly across the street. Each townhome is proposed with its own ornamental tree with understorey perennials and tall grasses. Townhomes are proposed to be accessed off of the Bleeker Street sidewalk with a walkway. The suggested minimum width of the walkway is 1.5 metres.

In addition, the future proponent has the option to explore the inclusion of a 5th townhome to create a more continuous and integrated streetwall along Bleeker Street. The proponent can consider the addition of this townhome during the Site Plan Application stage.

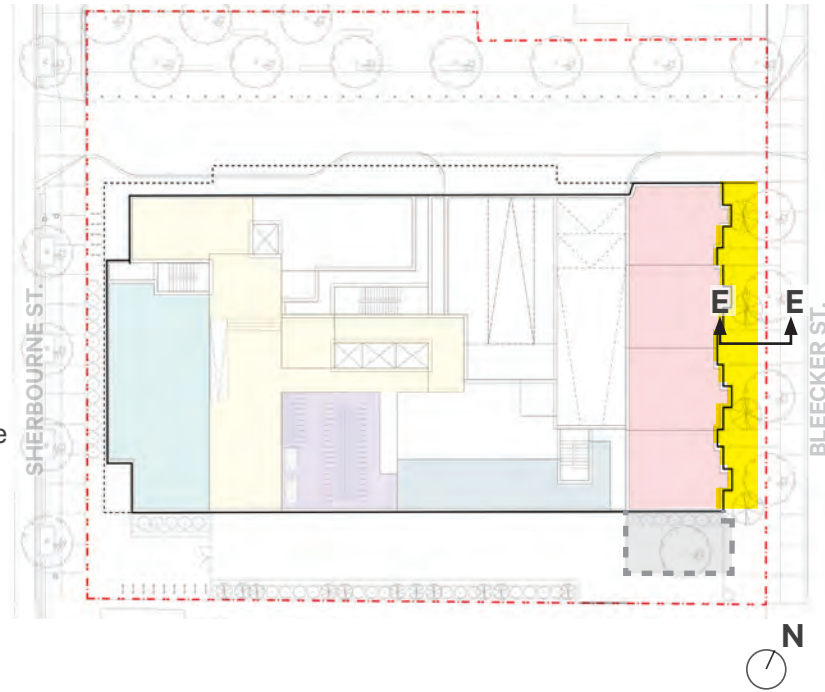


Figure 29: Cross Section E-E Across Bleeker St.

Precedent Images



12 Degrees, Toronto, Ontario



12 Degrees, Toronto, Ontario



Figure 30: Sherbourne Green Illustrative Perspective

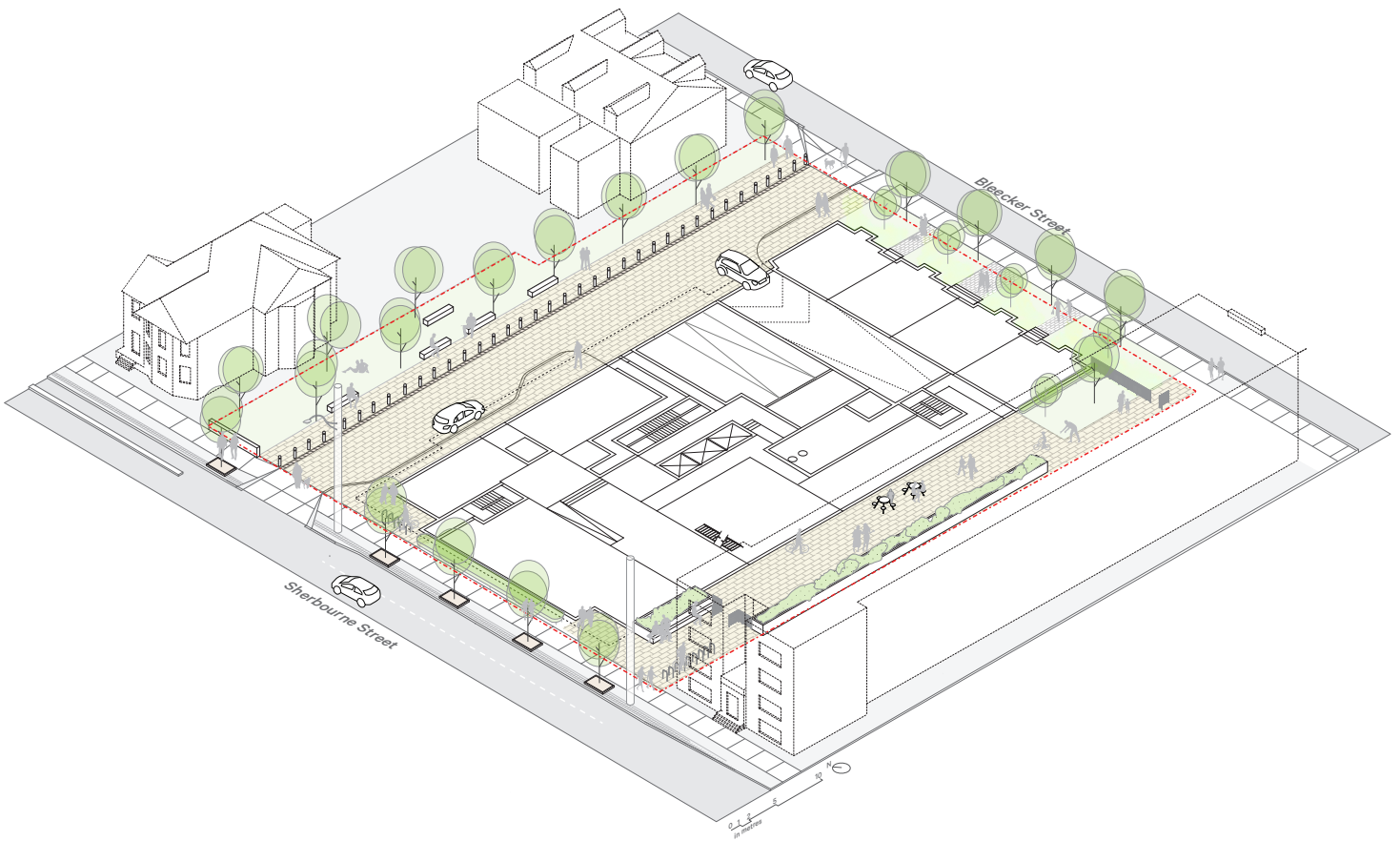


Figure 31: Sherbourne Outdoor Spaces

4.0 Site Organization

4.1 Access and Circulation

Vehicular access is proposed to be located to the north of the Site with the parking garage entrance and loading located on the north elevation of the building. A vehicular lay-by is proposed to be located adjacent to the residential entrance close to Sherbourne Street.

The current scheme shows one-way vehicular access from Sherbourne Street, exiting out to Bleecker Street.

The primary residential entrance is proposed to be located to the north west of the Site facing Sherbourne Street. The community use entrance is proposed to be located at the south west of the Site. Provide adequate transparency to animate Sherbourne Street while still accounting for privacy requirements of the interior uses along the frontage of Sherbourne Street.

Access to the townhomes is proposed to be provided off of Bleecker Street.

Along the south elevation of the Site, a second residential entrance and access into the bicycle parking room is proposed.

Should the proponent choose to explore shared commercial parking for members of the public, a separate elevator should be incorporated in the parking level for public access.

A consistent enhanced surface treatment is to be provided for both the Sherbourne Green walkway and north drive aisle to create the impression of a shared street. In addition the proponent should explore traffic calming design features to discourage the use of the drive-aisle as a through fare.

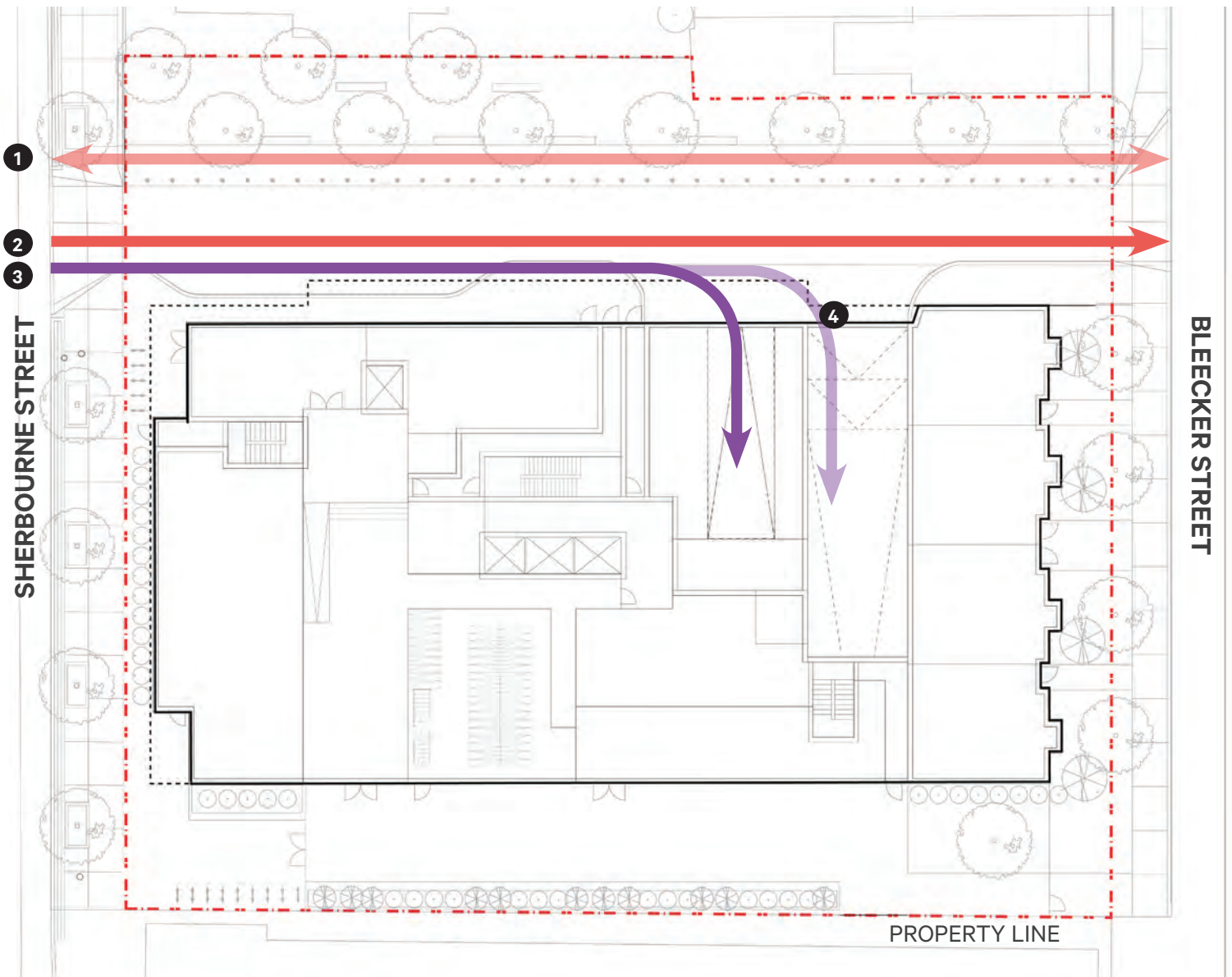
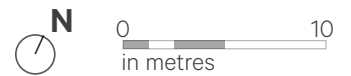


Figure 32: Access and Circulation

- 1 Pedestrian path
- 2 Vehicular Access
- 3 Loading / Garbage Access
- 4 Parking Garage Entry



5.0 Proposed Development

5.1 Stepbacks, Massing, and Built Form

The built form shall be in accordance with the City of Toronto's Tall Building Design Guidelines. The zoning by-law allows for flexibility to allow for creative architectural expression while maintaining a 750-square metre tower floorplate. A unique balcony design is encouraged.

Proposed Podium - Sherbourne

The proposed podium height along Sherbourne Street is a maximum of 13 metres.

- The Community Space is to be located at grade fronting Sherbourne Street.
- The proposed setback from the property line is 1.8m.

Proposed Podium - Bleecker

The proposed townhouse height along Bleecker Street is 7 metres.

- Provide a setback above the townhomes that aligns with the final zoning by-law..
- Provide a minimum setback of 3 metres from the property line to the face of the townhomes along Bleecker Street to provide for a landscaped area for privacy.
- Transparency, glazing and appropriate use of windows will be encouraged along the north elevation at grade, including the northerly townhouse, to promote CPTED principles, passive monitoring of the walkway and provide animation.

Proposed Tower

The proposed tower is to be set back a minimum of 7.5 metres from the face of the podium along Sherbourne Street.

- The tower form is proposed to be placed closer to Sherbourne Street to minimize shadow impacts on Winchester Park.

Common Areas and Amenity Spaces

- Enhanced, inviting access to the stairwell and a high-quality stairwell design will encourage residents to use the stairs instead of the elevator.
- The future proponent should consider the inclusion of a parcel storage area or room near the lobby for short term parcel storage.
- The future proponent should explore opportunities to maximize the outdoor residential amenity on the 4th floor through the Site Plan Application stage while still meeting Toronto Green Standards Version 3 Tier 2 water balance requirements

Underground Parking Garage

- Provide glazing on the elevator vestibule and doors in the underground parking garage.
- The underground garage should allow for large trees to grow on the open space above.
- Consider appropriate garage roof membrane technologies to allow for the proposed trees to be maintained when the membrane is due for maintenance and/or replacement.
- The garage roof and the location of columns should be designed to support the weight of large trees and accommodate the proposed trees above.

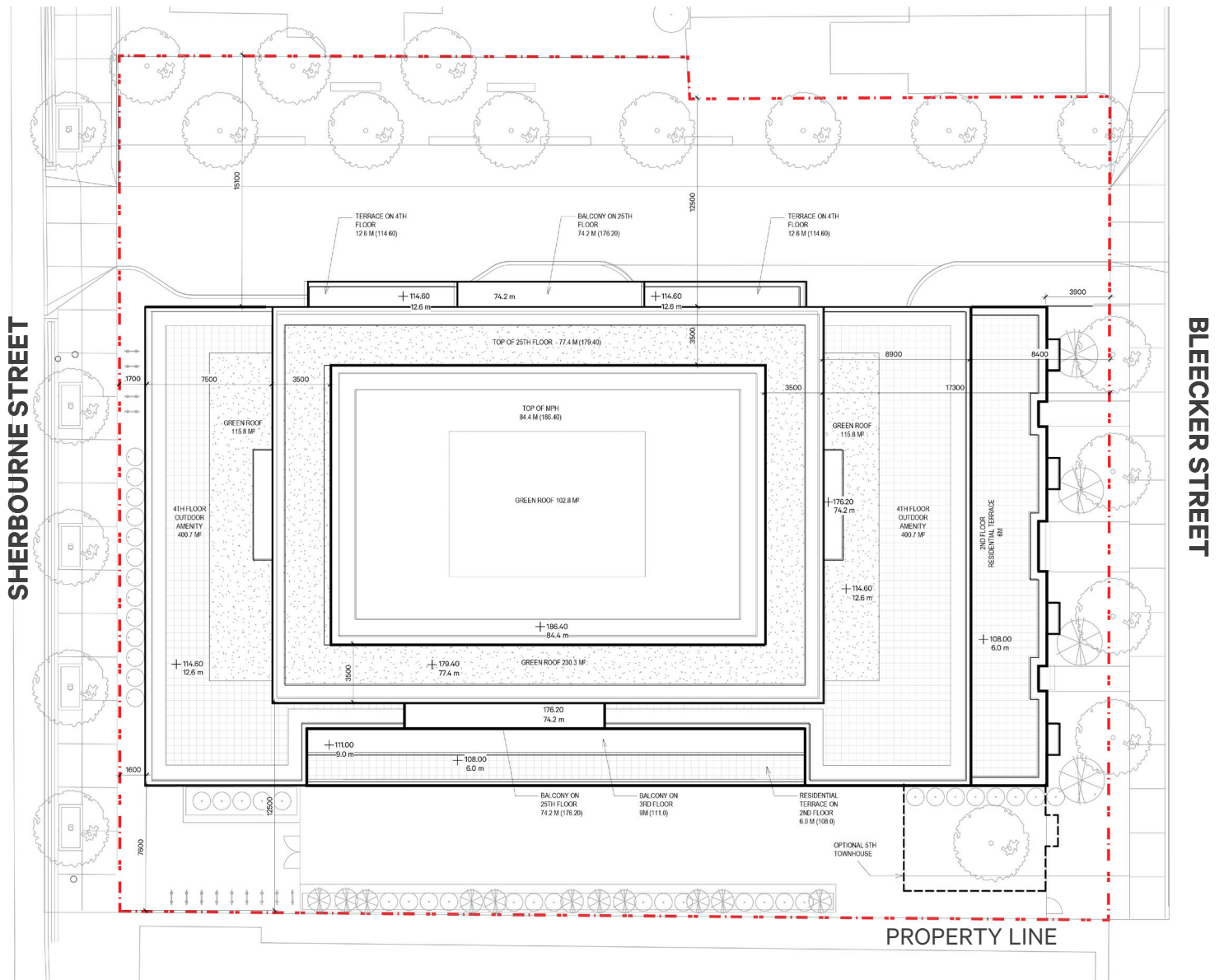
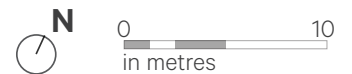


Figure 33: Site Plan and Setbacks



5.2 Proposed Development Perspectives



Figure 34: Perspective from the North-East corner from Blecker Street



Figure 35: North-East Axonometric





Figure 36: Perspective from the South-West Corner from Sherbourne Street

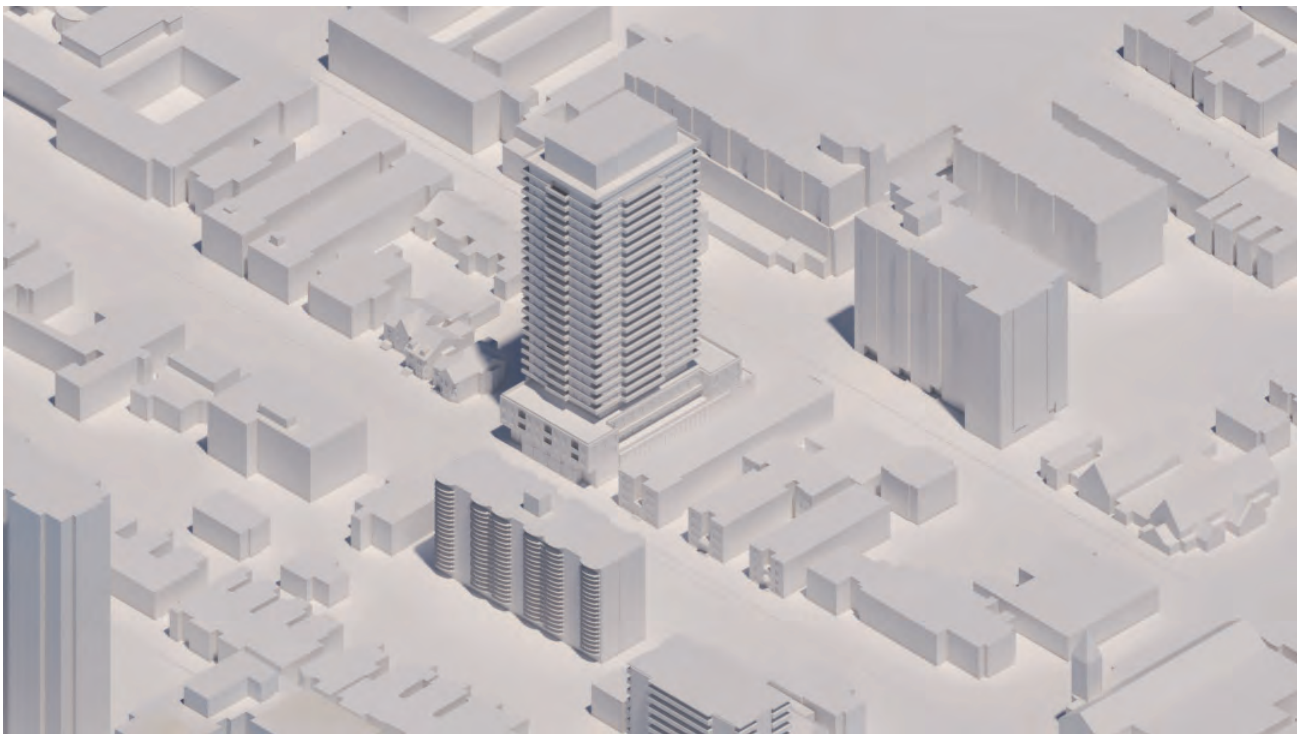


Figure 37: South-West Axonometric



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