

# Etobicoke Centre Housing Now Block Context Plan

## Bloor-Kipling (Six Points) Site

Bloor-Kipling

December 14th, 2020



BA Group

PLANT



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# Context & Urban Analysis

## Context & Urban Analysis

# The Site Today

**Bloor-Kipling (Six Points) has been identified as part of the Housing Now initiative, a city wide effort to bring additional housing density and affordability to Toronto. The site sits adjacent to two other along Bloor Street West at the heart of Etobicoke.**

### **Bloor-Kipling (Six Points)**

Bloor-Kipling (Six Points) consists of a 17.13 acre (6.92 hectare) site west of Bloor-Islington. The development area is bounded by Bloor Street West on the north, Kipling Avenue / Beamish Drive on the west, and the railway on the south. The area was formerly the site of the Six Points highway interchange, which has been reconfigured in recent years to reintegrate the area into the Etobicoke community. As part of this effort, Dundas Street West has been extended through the centre of the site and the area has been subdivided with local roads into seven (7) development Blocks. Block 7 and a small portion of Block 6 on the Northeast corner of the site at the juncture of the railway and Bloor Street West houses the existing police station, which will be relocated to another site within Etobicoke to be identified at a later date. The Kipling TTC Subway Station is steps away from the Southwest corner of the site.



17.13 acres  
6.92 ha

Kipling Avenue

Bloor Street West

Dundas Street West

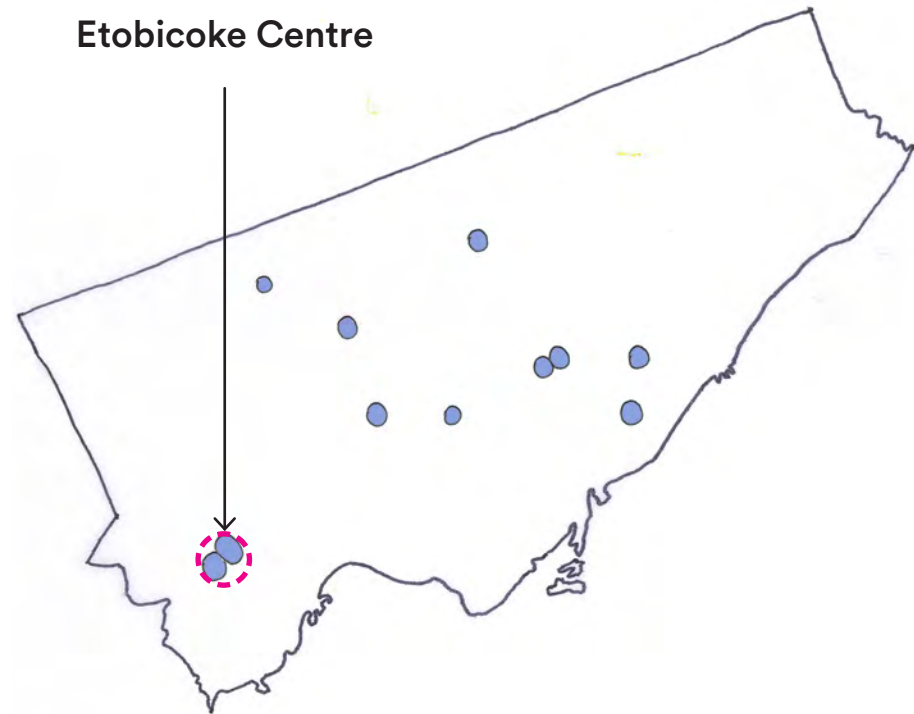
Bloor - Kipling Site

Rail Line

Context & Urban Analysis

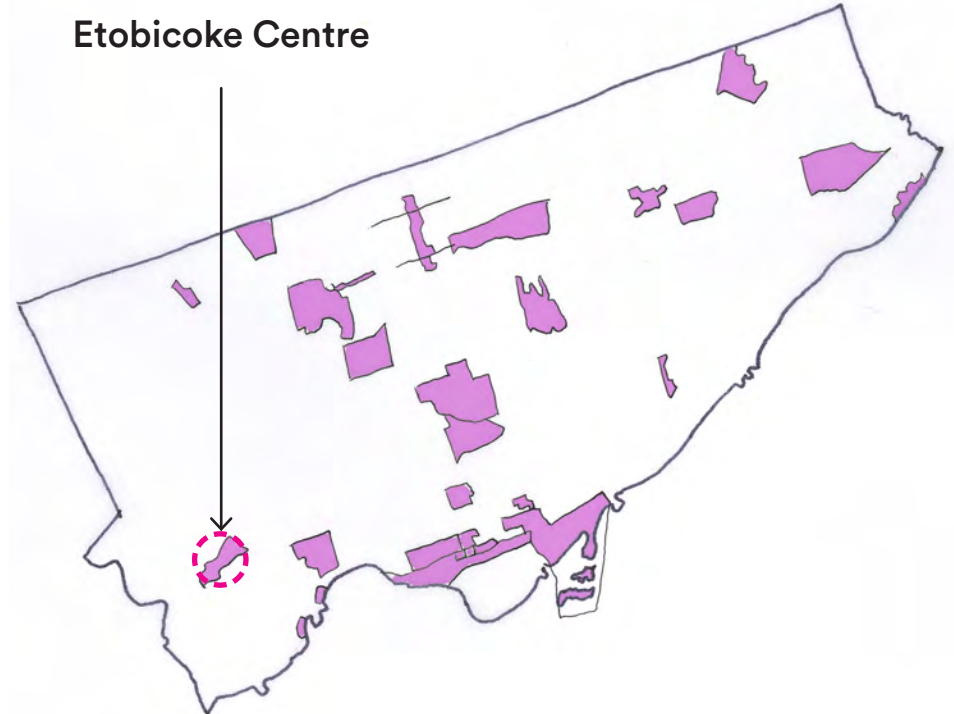
# Urban Context

**Bloor-Kipling is situated on public transit lines, making the development sites attractive for Torontonians who work in different areas of Toronto and are looking for more affordable housing options with greater access to open space. Etobicoke Centre has the potential to become the missing link between east and west for existing networks, including bicycle networks and open green spaces.**



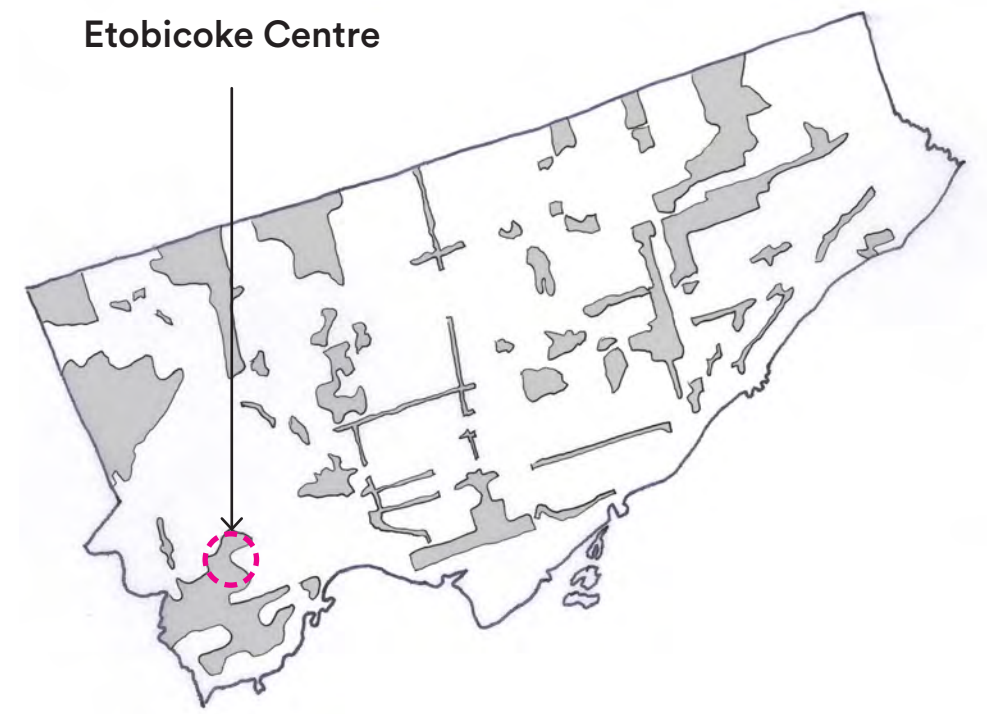
**Housing Now Sites**

Bloor-Kipling (Six Points) is one (1) of the seventeen (17) Housing Now sites across Toronto and is among the largest identified sites. The Housing Now initiative is characterized by increased density and affordability.



**Secondary Plans**

The site falls within the Etobicoke Centre Secondary Plan—an intensified mixed-use area intended to accommodate sustainable growth to benefit the community.

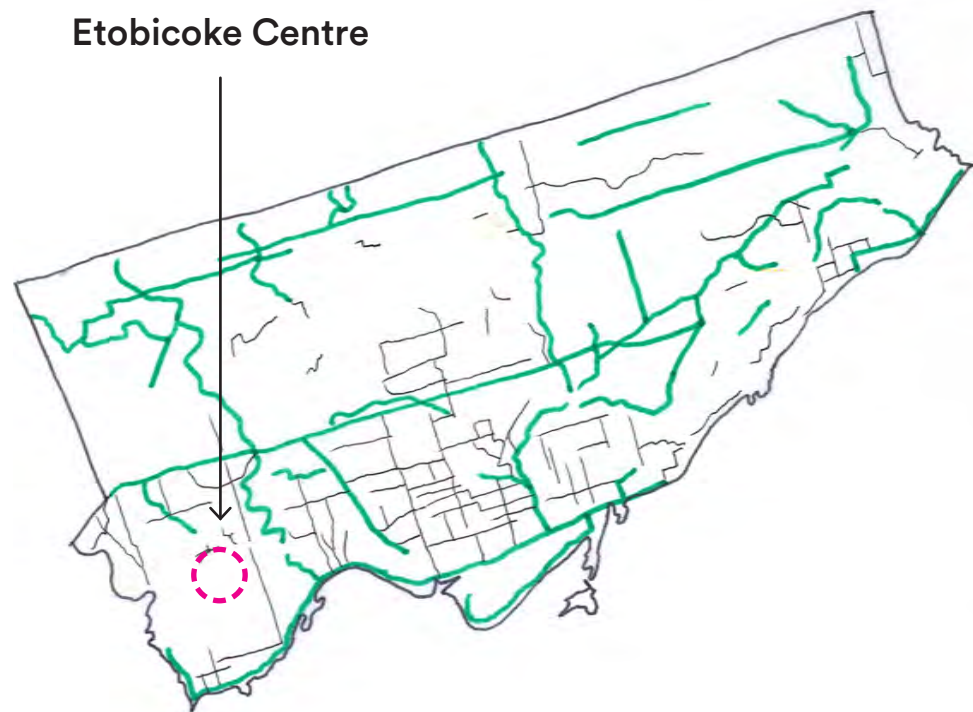


**Commercial and Employment Zones**

The Bloor Street West and Dundas Street West commercial corridors are being extended through the focus areas.



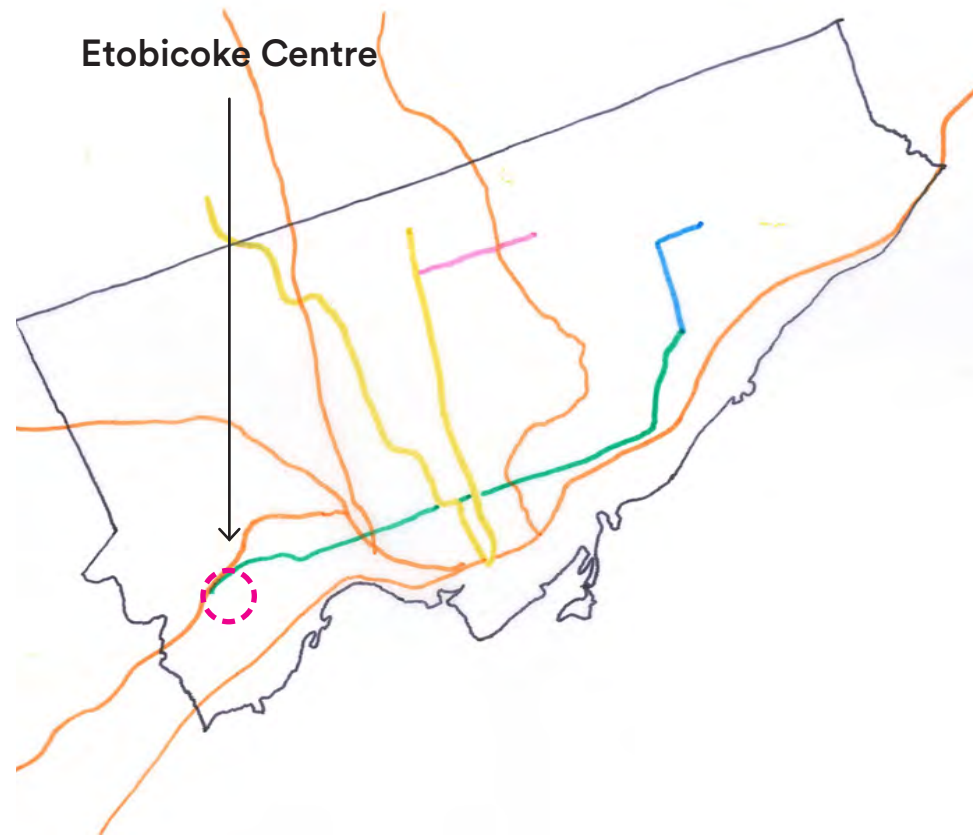
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**Bicycle Networks and Trails**

Existing bicycle networks and trails are disconnected around the site, but can be extended through the focus area to link the site with greater Etobicoke and Toronto.

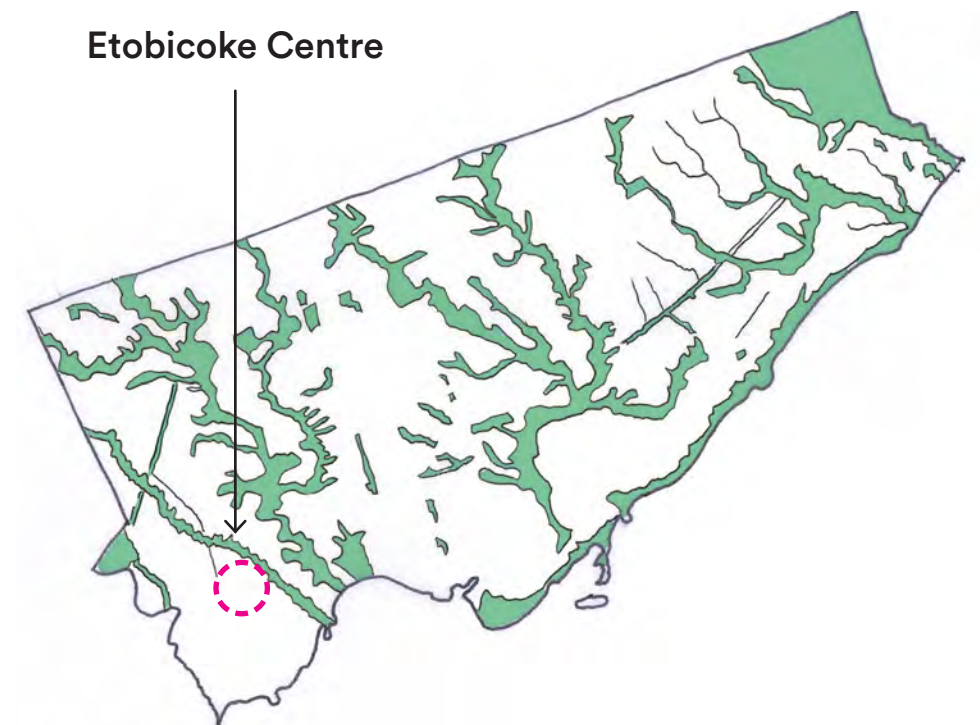
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**Public Transit**

The site is a current nexus for the Bloor-Danforth subway line and GO Train. The focus area can be developed as a transit-oriented complete community within Etobicoke.

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**Ravines and Open Space**

Tom Riley Park and nearby ravines link the area to Toronto's broader open space network.

## Context & Urban Analysis

# Site Observations

**Etobicoke Centre is surrounded by a diverse urban fabric with varied scales and land uses. While Bloor-Kipling is within a mixed-use district that includes increasingly substantial high rise residential towers, there are suburban single family residential neighbourhoods directly adjacent on the Southeast and Northwest. An employment zone continues to operate on the opposite side of the railway south of Bloor-Kipling.**

**A main challenge of developing the Etobicoke Centre is creating a cohesive urban fabric that respects while simultaneously negotiates the diverse urban character of the districts surrounding the two sites. The goal of the Block Context Plan is to lay the framework for a single, cohesive centre that is uniquely Etobicoke and an asset for the entire Etobicoke community.**

**The new focus areas will extend the main Bloor Street West and Dundas Street West commercial and retail corridors into the site to continue the vibrancy found further east.**

