



HISTORIC YONGE STREET HERITAGE CONSERVATION DISTRICT

HCD PLAN

2024

ACKNOWLEDGMENTS

The Historic Yonge Street area was nominated to be studied as a potential Heritage Conservation District (HCD) by the Bay Cloverhill Community Association and the Church Wellesley Neighbourhood Association. The formal HCD Study & Plan process leading to this report was initiated by the City of Toronto's Heritage Planning. Throughout the HCD Study & Plan process, community members provided input and comments. These contributions were important to capturing the character of Historic Yonge Street. A number of volunteers became further involved by assisting with the built form and landscape survey required as part of the HCD Study. We are extremely grateful for this participation. In addition, we would also like to thank the other community representatives who provided their contribution through public meetings and stakeholder interviews, which include: City Park Co-op, The Greater Yorkville Residents' Association, Canadian Lesbian and Gay Archives, Downtown Yonge BIA, Church Wellesley BIA, Bloor Yorkville BIA, Buddies in Bad Times Theatre, Panasonic Theatre, Cat's Cradle Boutique, Northbound Leather, Morningstar Trading, Heritage Toronto, The Architectural Conservancy of Ontario, and The Toronto Historical Association.

Thank you!

This HCD Plan was prepared by DIALOG in association with Philip Goldsmith, Archaeological Services Inc., and Carl Bray, for Heritage Planning at the City of Toronto.

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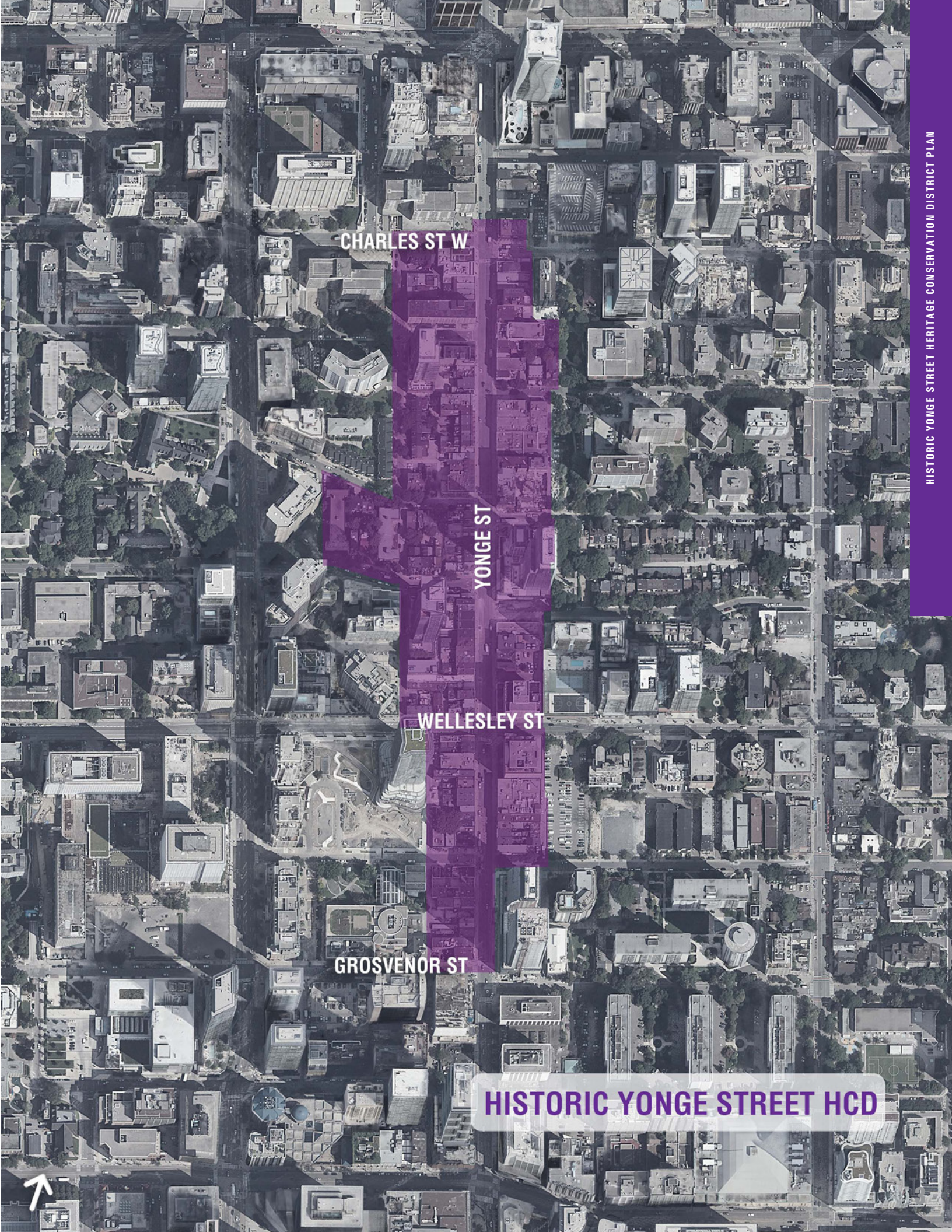


City of Toronto, City Planning Division

Historic Yonge Heritage Conservation District Plan online:

<https://www.toronto.ca/city-government/planning-development/heritage-preservation/heritage-conservation-districts-planning-studies/>

Figure 1: Cover page image: Yonge Street at Dundonald Street, looking south.



CHARLES ST W

YONGE ST

WELLESLEY ST

GROSVENOR ST

HISTORIC YONGE STREET HCD

Table of Contents

Contents

Acknowledgments

Preface & Reader’s Guide

1.0

INTRODUCTION

1.1 HCD Project Overview

1.2 HCD Plan Process

2.0

POLICY & LEGISLATIVE FRAMEWORK

2.1 Provincial Legislation

2.2 Provincial Policy Statement

2.3 Growth Plan for the Greater Golden Horseshoe

2.4 City of Toronto Official Plan

2.5 Applicable Studies, Plans and Guidelines

2.6 Zoning By-laws

3.0

DISTRICT SIGNIFICANCE AND STATEMENT OF OBJECTIVES

3.1 Statement of Cultural Heritage Value

3.2 District Heritage Attributes

3.3 Statement of Objectives

4.0

DISTRICT BOUNDARY & RESOURCES

4.1 District Boundary

4.2 Contributing & Non-Contributing Properties

4.3 Archaeological Resources

4.4 Character Sub-Areas

5.0

POLICIES and GUIDELINES FOR CONTRIBUTING PROPERTIES

5.1 Understanding

5.2 Existing Part IV Designations

5.3 Demolition & Removal

5.4 Maintenance

5.5 Restoration

5.6 Alterations & Repair

5.7 Additions

5.8 Massing

5.9 Storefronts

5.10 Façade Patterns and Features

5.11 Windows & Fenestration

5.12 Awnings

5.13 Roofs

5.14 Materiality & Wall Design

5.15 Signage

5.16 Views & Key View Sites

5.17 Code Compliance and Accessibility

5.18 Sustainability

5.19 Over-Clad Buildings

Figure 2: Previous page, base image: Aerial view of Yonge Street, Toronto, Ontario with an overlay of the approximate location of Historic Yonge Street Heritage Conservation District.

6.0 POLICIES and GUIDELINES FOR NON-CONTRIBUTING PROPERTIES

- 6.1 Understanding
- 6.2 Demolition
- 6.3 Additions and Alterations
- 6.4 Massing
- 6.5 Façade Patterns and Features
- 6.6 Windows & Fenestration
- 6.7 Roofs
- 6.8 Materiality & Wall Design
- 6.9 Signage

7.0 POLICIES and GUIDELINES FOR PUBLIC REALM

- 7.1 Laneways
- 7.2 Parking
- 7.3 Privately Owned Publicly-Accessible Space (POPS)
- 7.4 Utilities and Public Works
- 7.5 Lighting & Street Furnishings
- 7.6 Circulation

8.0 ARCHAEOLOGICAL RESOURCES

- 8.1 Policy Context
- 8.2 Archaeological Resources Requirements

9.0 IMPLEMENTATION & ADMINISTRATION OF THE HCD PLAN

- 9.1 Heritage Permits Deemed To Be Issued
- 9.2 HCD Administration, Incentives & Procedures
- 9.3 Additional Recommendations

BIBLIOGRAPHY

APPENDICES

- A: Definitions
- B: Index of Contributing Properties
- C: Statement of Contribution
- D: List of Non-Contributing Properties
- E: Transition

PREFACE & READER'S GUIDE

Preface

Yonge Street is one of Canada's great streets. Over the past 231 years of its history, Yonge Street has played a vital role as a key regional route for settlement, commerce and travel, as a locally important commercial Main Street for adjacent residential areas, and as a national magnet and hub of artistic and cultural activity. Some of Toronto's most storied moments have happened on Yonge Street and today the area is still regarded as the street of choice for Toronto's parades, demonstrations and spontaneous celebrations.

The section of Yonge Street between College Street and Bloor Street shares the route's dynamic history but has generally been occupied by independent businesses, government services, professional and fraternal organizations and cultural/entertainment venues. Over the past few years, Yonge Street's desirability as a destination address has attracted interest and investment in other kinds of development along the corridor. As Toronto continues to grow and evolve, it is imperative that the City bring forward *policies* that retain what has made Yonge Street historically great into the future.

A Heritage Conservation District (HCD) is a valuable regulatory tool that municipalities can use to manage and guide change in historically important areas. HCDs are designated under Part V of the *Ontario Heritage Act* and an HCD Plan contains *policies* and *guidelines* that are designed to *conserve* the district's unique *cultural heritage values* and resources. HCD plans are created based on a thorough understanding of the district's history, its significance, its heritage character and the *heritage attributes* that collectively express that character.

While an HCD Plan provides a framework for managing change and growth, it can also serve as a common reference point for community members, property owners, developers, entrepreneurs, elected representatives and City staff. In this way, heritage *conservation* can act as a both foundation and catalyst for sympathetic social, economic and cultural strategies; strategies that will *conserve* Yonge Street's existing heritage character and encourage its continued evolution and vitality.

"Urban heritage is of vital importance for our cities – now and in the future. Tangible and intangible urban heritage are sources of social cohesion, factors of diversity and drivers of creativity, innovation and urban regeneration – we must do more to harness this power."

- Irina Bokova, Director-General of UNESCO as the World Urban Forum (Naples, 2012)

"The key to understanding and managing any historic urban environment is the recognition that the city is not a static monument or group of buildings, but subject to dynamic forces in the economic, social and cultural spheres that shaped it and keep shaping it."

- *New life for historic cities* (UNESCO booklet, 2013)

Reader's Guide

The Historic Yonge Street Heritage Conservation District Plan (the Plan) outlines the *conservation* objectives for Historic Yonge HCD (HYHCD or the District) and includes *policies* and *guidelines* to meet those objectives. It should be used to understand the District's *cultural heritage value*, and the *policies* to *conserve* it. Property owners should consult this Plan when planning *repair* work, *alterations*, *additions*, or *new development* on their property. Community members may consult this Plan to understand the *policy* context that applies to HYHCD and the regulations in place to *conserve* its *heritage resources*.

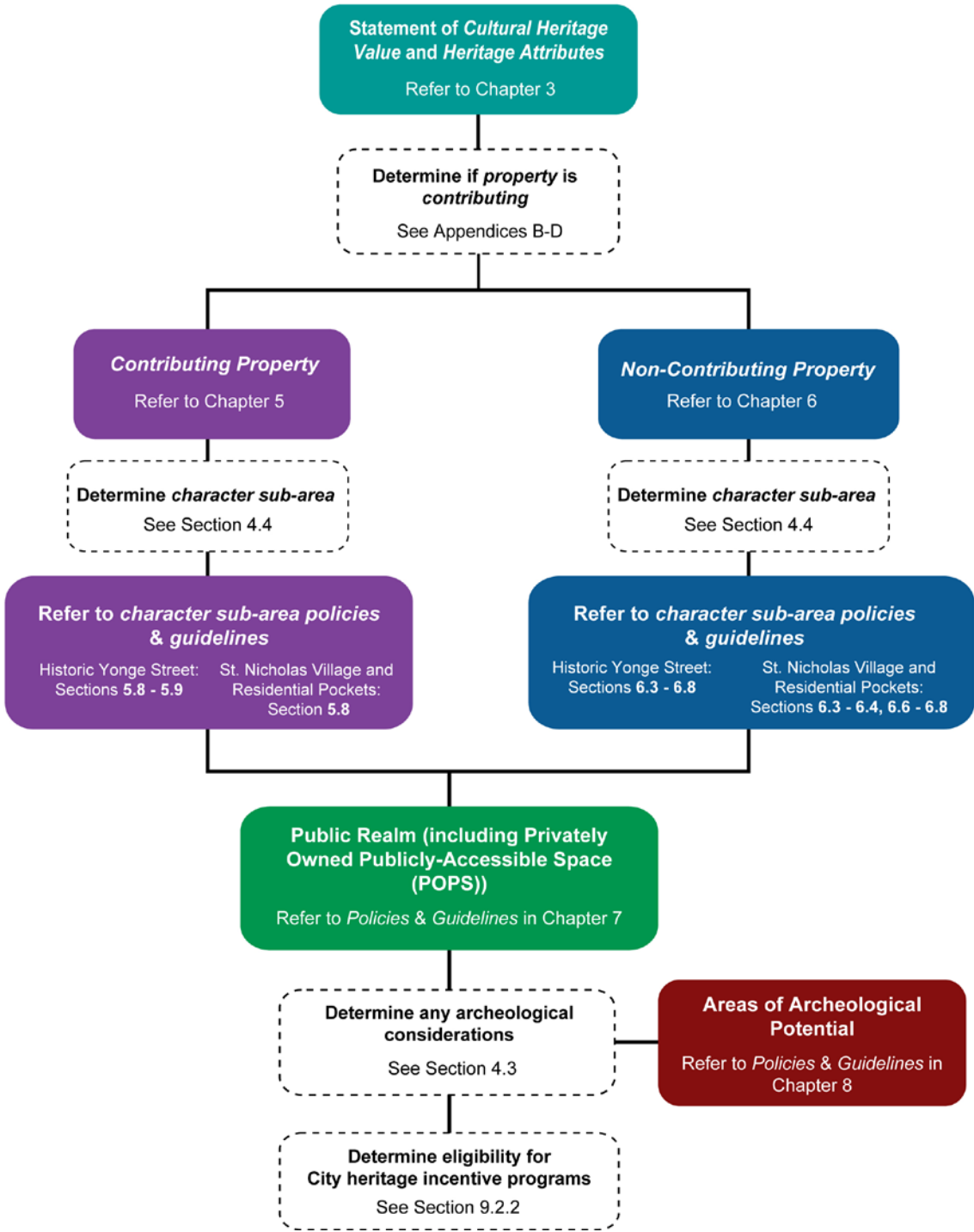
The *policies* and *guidelines* are organized into four sections: Contributing Properties (section 5.0), Non-Contributing Properties (section 6.0), Public Realm (section 7.0), and Archaeology (section 8.0). Appendix C and D, respectively, include the Statement of Contribution and List of Non-Contributing Properties that determine whether section 5.0 or 6.0 apply. Depending on the type of work being considered, and the location of a property, section 7.0 and 8.0 may also apply. Note that all properties within District are designated under Part V of the *Ontario Heritage Act* and this Plan applies to all properties within its boundary.

The front end of this Plan (sections 1.0, 2.0, 3.0, & 4.0) provides background information that will provide readers with an understanding of the project process, the *policy* context the Plan operates within, and a description of the District's *cultural heritage value* and its *conservation* objectives. Section 9.0 includes information on implementing the Plan, including applying for a heritage permit and incentives for *conservation*.

This Plan operates in conjunction with the *City of Toronto Official Plan* (the OP) that gives further direction on the management and *conservation* of *heritage resources*.

Italicized terms throughout this document have been defined; definitions can be found in Appendix A.

Road Map



1.0 Introduction

- 1.1 HCD Project Overview
- 1.2 HCD Plan Process



1.1 HCD Project Overview

Heritage Conservation Districts (HCDs) are designated under Part V of the *Ontario Heritage Act* for the purpose of *conserving*, protecting, and enhancing the *integrity* of resources within the HCD and the *cultural heritage value* they carry. An HCD provides a framework to *conserve* the *cultural heritage value* and *heritage attributes* of a district as defined by its historical context, architecture, streets, landscape, and other physical and visual features.

Historic Yonge Street was nominated to be studied as a potential HCD by the Bay Cloverhill Community Association and the Church Wellesley Neighbourhood Association. The Historic Yonge Street HCD Study was authorized at the August 16, 2012 meeting of City Council. As part of this motion, Council also authorized the use of funds to complete the phase of work to develop a plan if the study determined that designation as an HCD was appropriate. The Study Area was subsequently identified as a high priority HCD study area on October 2, 2012, as a result of approved prioritization criteria.

DIALOG was the lead consultant firm retained for the HCD Study and Plan. As part of the team, Philip Goldsmith, Heritage Architect, provided architectural and *conservation*

expertise; Archaeological Services Inc. studied archaeology, history, and landscapes; and Carl Bray contributed his knowledge of heritage planning.

The HCD Study and Plan were undertaken in keeping with the City of Toronto's *Heritage Conservation Districts in Toronto: Procedure, Policies, and Terms of Reference*. That document expands upon the requirements for designating an HCD under the *Ontario Heritage Act*. It outlines detailed steps for the Study and Plan phases of an HCD designation process and informs the structure and contents of this Plan.

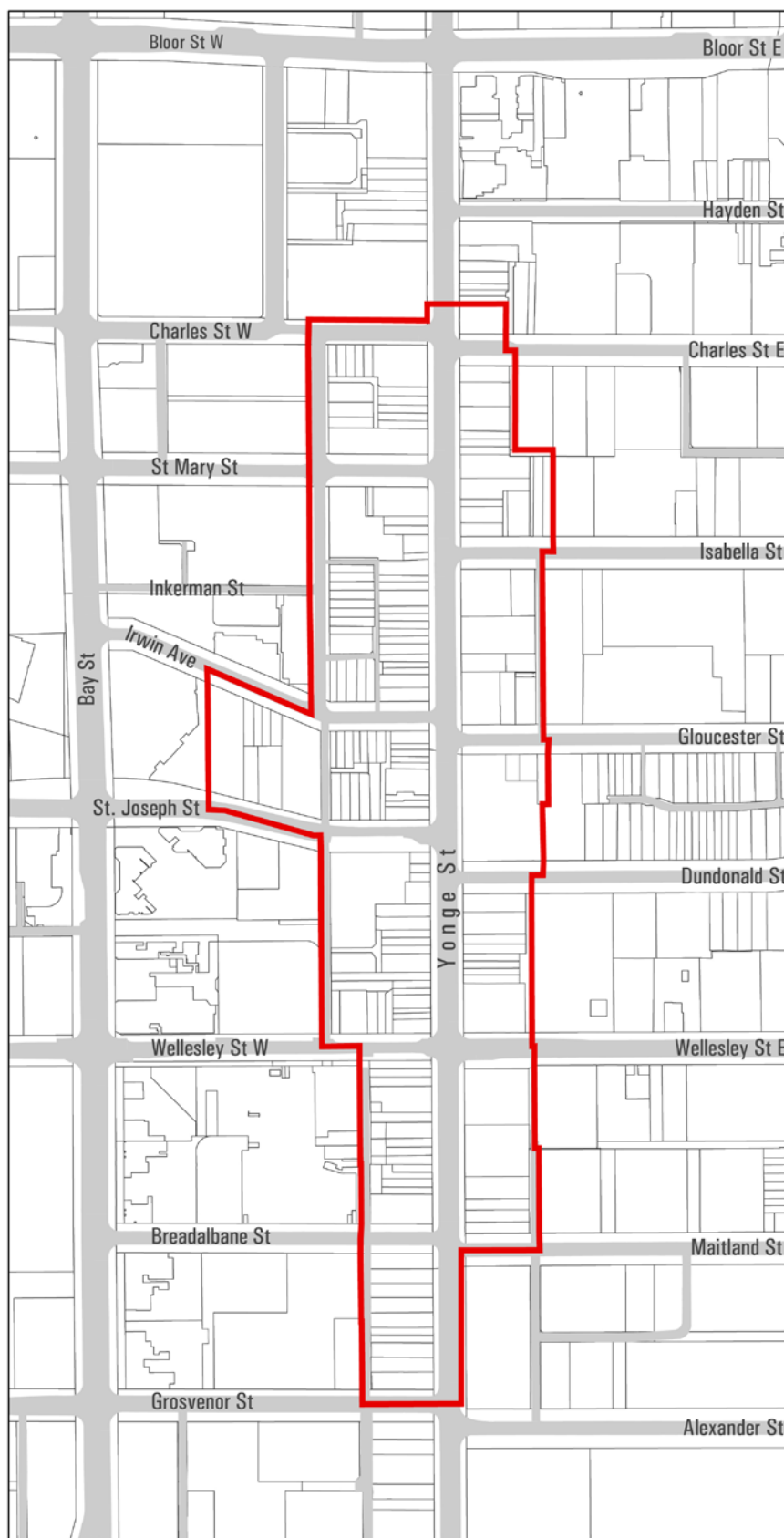
1.1.1 The HCD Study Area

The area approved for HCD Study included all properties fronting onto Yonge Street between the south side of Davenport Road/Church Street and the north side of College/Carlton Street. In addition, it included predominantly residential properties in the area referred to as St. Nicholas Village, which generally lies between Wellesley Street to the south, St. Mary Street to the north, and ending at the western edge of the HCD Study Area.



Figure 4: Yonge Street has strong connections to the LGBTQ2S+ community in Toronto and the advent of more public and LGBTQ2S+ friendly spaces and events, including the annual Pride Parade (DIALOG, 2014).

Figure 3: Previous page: Yonge Street and St. Joseph Street, looking south.



Historic Yonge Street HCD
Boundary Area

 HCD Boundary


Not to Scale

1.1.2 HCD Study Process

The HCD Study process consisted of three main components: researching the thematic history and evolution of the Study Area; surveying the built form and landscape within the Study Area; and, analyzing the Study Area to identify and understand its *cultural heritage value* and *heritage attributes*.

Built Form & Landscape Survey

The built form and landscape survey is a requirement of the HCD Study as set out by section 40. (1) of the *Ontario Heritage Act*. It is a non-evaluative record used to collect information about the history and physical characteristics of the Study Area. The information gathered during the survey informed the analysis of the Study Area and its character.

Community volunteers assisted with completing the survey under the direction of the project team. All of the survey

results went through an internal vetting process by the consultant team, and additional research was completed as necessary.

In total, 255 properties and 2 parks were documented and researched for a total of 257 survey forms.

Community Consultation

Several public engagement events were held over the course of the HCD Study. In addition to the engagement events, the consultant team presented the findings of the HCD Study to the Toronto Preservation Board on July 28, 2015. During the meeting, several community members made verbal deputations and written submissions were also made. The Toronto Preservation Board endorsed the recommendations of the HCD Study to proceed with an HCD Plan for Historic Yonge Street within a revised boundary.



Figure 5: Public Meeting No.2, HCD Study Phase (DIALOG, 2013).

1.2 HCD Plan Process

The Plan enhances the existing *policy* framework that applies to the Historic Yonge Street Heritage Conservation District (HYHCD or the District) by specifically addressing the *conservation* of its *cultural heritage value* and *heritage attributes*. The Plan aims to manage growth and change and guiding future development in a manner that will *conserve*, *maintain* and enhance the District's *cultural heritage value* and *heritage attributes*.

Plan development consisted of: refining the Statement of Cultural Heritage Value and Heritage Attributes for the District (section 3.0); identifying the properties that contribute to the District's *cultural heritage value* and *heritage attributes* section 4.0); and, preparing *policies* and *guidelines* to *conserve* the identified *cultural heritage value* and *heritage attributes*.

1.2.1 Community Consultation

As the Plan was being prepared there were several opportunities for the general public and stakeholders to engage with the project process and understand and provide comment on the structure and substance of the Plan.

Public Open House

A Public Open House was held on October 14, 2015. It was advertised by way of a mail-out to all addresses within the proposed HCD boundary. Notice of the meeting was also provided through community and ratepayers groups actively involved in the HCD Study and process. In all, over 60 people attended. Participants were provided with an update on the structure of the Plan and its draft *policy* direction, and a schedule of *contributing* and *non-contributing properties* was presented for comment.



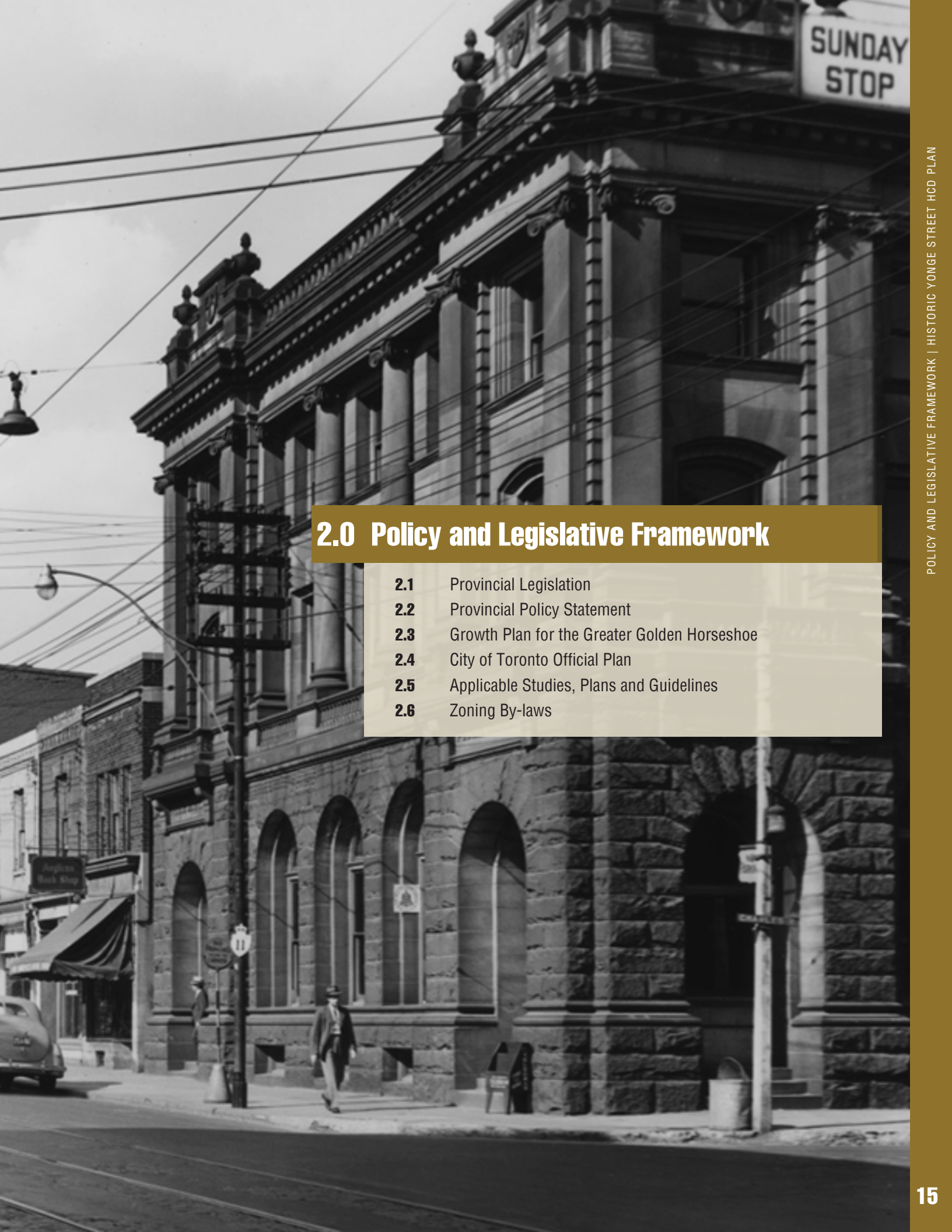
Figure 6: Former Councillor Wong-Tam addressing participants at Public Meeting No.2 (DIALOG, 2013).

Stakeholder Interviews

In November and December of 2015 a series of focused stakeholder interviews were completed with interested parties. This included area residents, representatives from community groups, and owners, developers, consultants working on projects in the Study Area and business owners. During the interviews participants were given more detail about the draft *policies* proposed for the Plan. This was followed by a conversation about participant's interests and concerns as they relate to the Plan. The interviews were an opportunity for the project team to better understand the perspective of stakeholders, and for stakeholders to inform the *policy* direction of the Plan.



Figure 7: Workshop session (DIALOG, 2013).



2.0 Policy and Legislative Framework

- 2.1 Provincial Legislation
- 2.2 Provincial Policy Statement
- 2.3 Growth Plan for the Greater Golden Horseshoe
- 2.4 City of Toronto Official Plan
- 2.5 Applicable Studies, Plans and Guidelines
- 2.6 Zoning By-laws



Figure 9: View southwest towards Yonge Street, from Charles Street East

Heritage and Planning Policy

This section provides an overview of the legislation and *policies* that govern the *conservation of heritage resources* within Ontario and Toronto. They include, but are not limited to:

- *Ontario Heritage Act*
- *Planning Act*
- *Provincial Policy Statement*
- *Growth Plan for the Greater Golden Horseshoe*
- *City of Toronto Official Plan*
- *City of Toronto Site and Area Specific Policy 382*

This section also provides an overview, without limitation, of the land-use planning objectives of those documents that speak to both heritage *conservation* and land-use planning matters.

This section does not aim to be exhaustive in its summary of these documents, rather it highlights the *policies* and *guidelines* that are relevant for the Plan. The entirety of each document has also been considered.

2.1 Provincial Legislation

2.1.1 Ontario Heritage Act

The *Ontario Heritage Act* (OHA) is the key provincial legislation that enables municipalities to *conserve*, protect, and manage heritage properties and areas. Part IV of the OHA enables a municipality to designate individual properties that are of *cultural heritage value* and Part V of the OHA enables a municipality to designate groups of properties or landscapes that demonstrate *cultural heritage value*. Within the revised boundary for the HCD as endorsed by the Toronto Preservation Board there are 120 properties¹ that are either listed on the City of Toronto's Heritage Register or designated by the City of Toronto under Part IV of the OHA. Currently, the City of Toronto has designated 24 Heritage Conservation Districts under Part V within the city as a whole.

Part V of the OHA enables a municipality to designate by by-law all, or any part of, a municipality as an HCD (section 41(1)). The OHA enables municipalities to study an area for the purposes of designating it as an HCD (section 40 (1)). The OHA also enables a municipality to formally designate an area of the municipality as an HCD study area by by-law (section 40.1(1)). Where a by-law is passed under the OHA designating an area as an HCD, a plan for that area is also required (section 41.1(1)).

The OHA states that where an HCD plan is in effect, by-laws shall not be passed by the municipality for any purpose that is contrary to the objectives set out in the HCD plan and that public works undertaken by the municipality shall also not be contrary to the objectives of the HCD plan (section 41.2(1)). In the event of a conflict between an HCD plan and a municipal by-law the HCD plan prevails to the extent of the conflict.

Ontario Heritage Toolkit

The *Ontario Heritage Toolkit* is a best practice document produced by the Ministry of Tourism, Culture and Sport to assist municipalities in the identification and designation of HCDs in their communities. The *Ontario Heritage Toolkit* provides guidance on how to conduct HCD studies and plans, identify *cultural heritage value* and *heritage attributes*, determine district boundaries, and prepare a statement of objectives.

2.1.2 Planning Act

The *Planning Act* (the Act) governs land-use planning activity in Ontario. It states that the “*conservation* of features of *significant* architectural, cultural, historical, archaeological or scientific interest” is a matter of provincial interest and that the Minister, the council of a municipality, a local board, a planning board and the Ontario Municipal Board in carrying out their responsibilities under the Act shall have regard for that interest (section 2 (d)) as well as other matters of provincial interest.

Further, the *Planning Act* allows the province to issue policy statements elaborating on areas of provincial interest.

¹ Statistics are based on mapping conducted at the time of the creation of the HCD Plan (January 2016) and do not necessarily reflect additions to the Heritage Register or changes to the boundary made since 2016.

2.2 Provincial Policy Statement

The *Provincial Policy Statement* (PPS) is issued under the authority of section 3 of the *Planning Act* and came into effect on May 1, 2020. The PPS provides policy direction on matters of provincial interest related to land use planning and development. It states that decisions, comments, submissions or advice that affect a planning matter that are provided by the council of a municipality, a local board, a planning board, a minister or ministry, board, commission or agency of the government shall be consistent with the PPS. It states in Part IV, Vision for Ontario's Land Use Planning System, that amongst other matters, the Province's cultural heritage and *archaeological resources* provide important environmental, economic and social benefits and that the wise use and management of these resources over the long term is a key provincial interest.

Cultural Heritage Landscapes

Policy 2.0 of the PPS provides policy direction on the wise use and management of resources in the province. This includes cultural heritage and archaeology; Policy 2.6.1 of the PPS states that “*Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*”

Archaeological Resources

The PPS also provides direction on the *conservation* of *archaeological resources*. Policy 2.6.2 states that “Development and site *alteration* shall not be permitted on lands containing *archaeological resources* or *areas of archaeological potential* unless *significant archaeological resources* have been *conserved*.”

Development Adjacent to Heritage Properties

Policy 2.6.3 directs that planning authorities shall not permit development and site *alteration* on *adjacent* lands to protected heritage properties unless the proposed development and site *alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the *adjacent* protected heritage property will be *conserved*.

2.3 Growth Plan for the Greater Golden Horseshoe

A Place to Grow: The Growth Plan for the Greater Golden Horseshoe, 2020 (Growth Plan) was prepared under the *Places to Grow Act* (2005). It is a framework for implementing the province's vision for building stronger, prosperous communities by better managing growth in this region. It addresses a range of issues related to transportation, infrastructure planning, land-use planning, urban form, housing, and natural heritage and resource protection. In addition, the Growth Plan identifies intensification areas and growth centres that dictate where the region's growing population should be housed through increased population density.

The lands within the District are located within the Downtown Toronto Urban Growth Centre and are located within six proposed “major transit station areas” (MTSAs).

The Growth Plan provides clear direction on heritage matters in Policy 4.2.7 (1) stating that cultural *heritage resources* will be *conserved* in order to foster a sense of place and benefit communities, particularly in strategic growth areas. Policy 4.2.7 (2) directs that municipalities will work with stakeholders, as well as First Nations and Metis communities, in developing and implementing the OP policies and other strategies for the identification, wise use and management of cultural *heritage resources*.

2.4 City of Toronto Official Plan

The *City of Toronto Official Plan* (OP) through its growth strategy and land-use designations supports and complements the PPS and the Growth Plan. It provides a comprehensive policy framework to direct and manage physical, social, and economic change. The OP encourages population and employment growth, recognizing that directing growth to appropriate areas is critical to Toronto's future. Chapter Two sets out the growth management strategy to guide re-urbanization and direct job and population growth to certain growth areas including the Downtown and Central Waterfront, the Centres, the Avenues and Employment Districts. It also indicates that the District is within Toronto's Downtown and that although tall buildings are permitted in downtown, they're not appropriate in all areas of downtown. The OP also sets out a policy framework that ensures the city will meet its population and employment targets by directing growth to the city's priority growth areas while still protecting the city's stable areas.

Section 3.1.6 of the OP (Heritage Conservation) outlines a general approach to *conserving heritage resources* in the city, as well as specific steps, such as: raising awareness of heritage conservation; providing incentives for conservation; conserving landscapes and *archaeological resources*; and, identifying and designating heritage conservation districts. The OP policies on *conserving heritage resources* were updated during the project process by Official Plan Amendment 199 (OPA 199) which was adopted in 2013, and came into force in 2015.

As part of the general approach to heritage conservation, the OP refers to the *Standards and Guidelines for the Conservation of Historic Places in Canada* (as adopted by Council), noting that new construction and maintenance of *heritage resources* shall be consistent with that document.

2.4.1 Downtown Plan (Official Plan Amendment No. 406)

The approved and in-force Downtown Plan (OPA 406) applies to the area generally bound by Lake Ontario to the south, Bathurst Street to the west, the mid-town rail corridor and Rosedale Valley Road to the north and the Don River to the east. OPA 406 is a 25-year vision that sets the direction for the city centre as the cultural, civic, retail and economic heart of Toronto and as a great place to live. A series of goals – grouped around the themes of complete communities, connectivity, prosperity, resiliency and responsibility – establish outcomes the Downtown Plan intends to achieve as growth continues. Policy 3.3 of OPA 406 states that "New buildings will fit within their existing and planned context, *conserve heritage attributes*, expands and improve the *public realm*...". Policy 9.1.4 states that development will be encouraged to demonstrate a high standard of heritage conservation. Policy 9.10 directs that "Development on sites that include or are *adjacent* to properties on the Heritage Register will include *base buildings* that are *compatible* with the *streetwall* height, articulation, proportion, materiality and alignment thereof."

2.4.2 City of Toronto Official Plan, Site and Area Specific Policy 382 (Official Plan Amendment No. 183)

The need for Site and Area Specific Policy No. 382 (SASP 382), Official Plan Amendment No. 183 (OPA 183), was determined through the *North Downtown Yonge Planning Framework* (NDYPF) study (see section 2.1.11 of this Plan), which recognized that this study area did not have a clear and specific policy vision to address emerging issues related to increased development pressure. SASP 382 provides a planning framework for new development within an area generally bounded by Charles Street to the north, Church Street to the east, College/Carlton Street to the south, and Bay Street to the west.

SASP 382 (OPA 183) contains policies for the NDYPF study area that are intended to provide protection for stable areas and heritage properties, while also shaping development where growth and intensification is considered appropriate. SASP 382 provides area-wide policies to this effect, and it also provides policies specific to certain Character Areas. OPA 183 was adopted by City Council in 2013 and was appealed to the Ontario Municipal Board. The appeals related to the general application of OPA 183, with the exception of heritage policies, policies related to the Yonge Street Character Area and site-specific appeals, were dealt with through the Ontario Land Tribunal (OLT or Tribunal, formerly Ontario Municipal Board (OMB)) hearings known as phase 1 and resulted in an OMB decision and order issued August 25, 2017. The decision brought much of OPA 183 into effect. Section 9.3.1 of this Plan describes zoning by-law and policy changes related to SASP 382 (OPA 183).

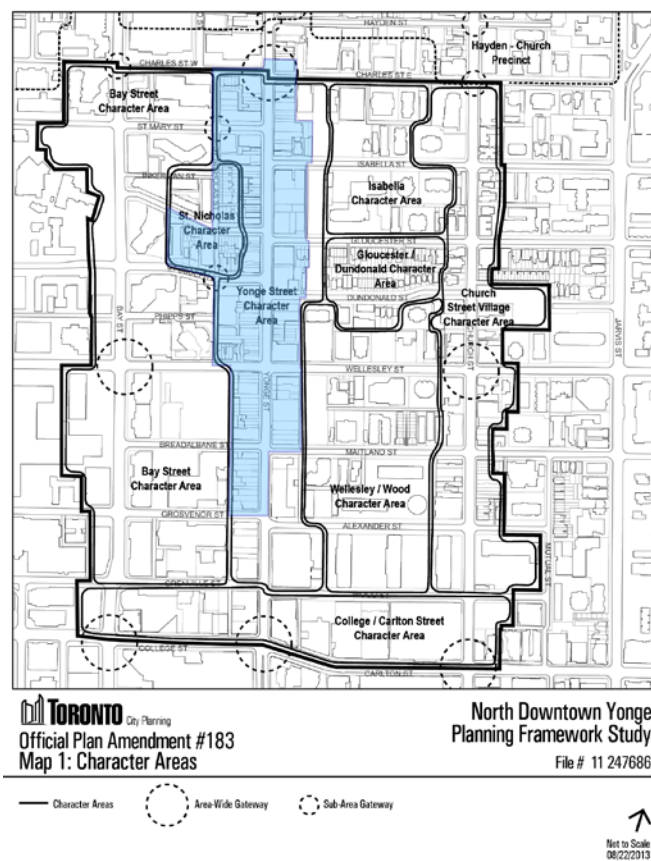


Figure 10: Character Area Map from SASP 382, approximate District boundary shown in blue.

2.5 Applicable Studies, Plans and Guidelines

2.5.1 Heritage Conservation Districts in Toronto: Procedures, Policies, and Terms of Reference

Heritage Conservation Districts in Toronto: Procedures, Policies and Terms of Reference (HCDs in Toronto) was adopted by Toronto City Council in March 2012. It was developed by the City to reflect changes to the OHA and to provide a consistent approach for the studying and planning of HCDs in the city. Policies of *HCDs in Toronto* have guided the HCD Study process and preparation of this Plan, in conformity with the *Ontario Heritage Act*.

2.5.2 Standards and Guidelines for the Conservation of Historic Places in Canada

This Plan has been developed to apply the general methodology and *conservation* approach adopted by the *Standards and Guidelines for the Conservation of Historic Places in Canada, 2010 (Standards and Guidelines)*. This document was developed by Parks Canada through the Historic Places Initiative. *Standards and Guidelines* is the benchmark for recommending *conservation treatments* and approaches. Toronto City Council adopted the *Standards and Guidelines* in 2008 as the official framework for the planning, stewardship and *conservation of heritage resources* within the City. The OP references the *Standards and Guidelines* as a key guidance document, requiring that properties on the City's Heritage Register be *conserved* and *maintained* consistent with the *Standards and Guidelines*. In addition, Policy 10 of *HCDs in Toronto* states, "the HCD Plan and the *Standards and Guidelines for the Conservation of Historic Places in Canada* will apply to any interventions to the HCD as a whole and will generally apply to individual properties within an HCD..."

2.5.3 Tall Building Design Guidelines, 2013

The *Tall Buildings Design Guidelines, 2013 (Tall Buildings Guidelines)* provide a vision statement for downtown tall buildings and design directives that pertain to the height, massing, typology, base and *public realm* interaction, and appropriate location of tall buildings. The *Tall Buildings Guidelines* also recognize the value of built cultural *heritage*

resources and require that *new development* *conserve* the *integrity* of their *cultural heritage value* and *heritage attributes*. Although not all properties with *heritage resources* can accommodate tall buildings, where appropriate, the *conservation of heritage resources* should inform the scale and massing of redevelopment.

Section 1.6 of the *Tall Buildings Guidelines* provides specific direction to tall building development in relation to heritage properties and HCDs. It requires that the three-dimensional form of a *heritage resource* be *conserved* and that the retention of façades alone is not sufficient. Further, *base buildings* should be designed to respect the scale and massing of *adjacent built heritage resources*.

2.5.4 North Downtown Yonge Urban Design Guidelines, 2013

The *North Downtown Yonge Urban Design Guidelines (North Downtown Yonge Guidelines)* emerged out of the *North Downtown Yonge Planning Framework* study. They *complement* the policies in SASP 382 (described in section 2.1.7).

Yonge Street

A large portion of the study area falls within the Yonge Street Character Area described in the *North Downtown Yonge Guidelines*. They recognize the heritage buildings along Yonge Street as important pieces of the identity of the Character Area and repeatedly note that heritage buildings and properties are to be *conserved*, and that any adverse impacts of *new development* or redevelopment will be mitigated.

The *North Downtown Yonge Guidelines* also note the importance of Yonge Street as a tourist destination and as Toronto's main street. They recognize that Yonge Street is not just a priority retail street, but that it is a major cultural and civic corridor.

2.6 Zoning By-laws

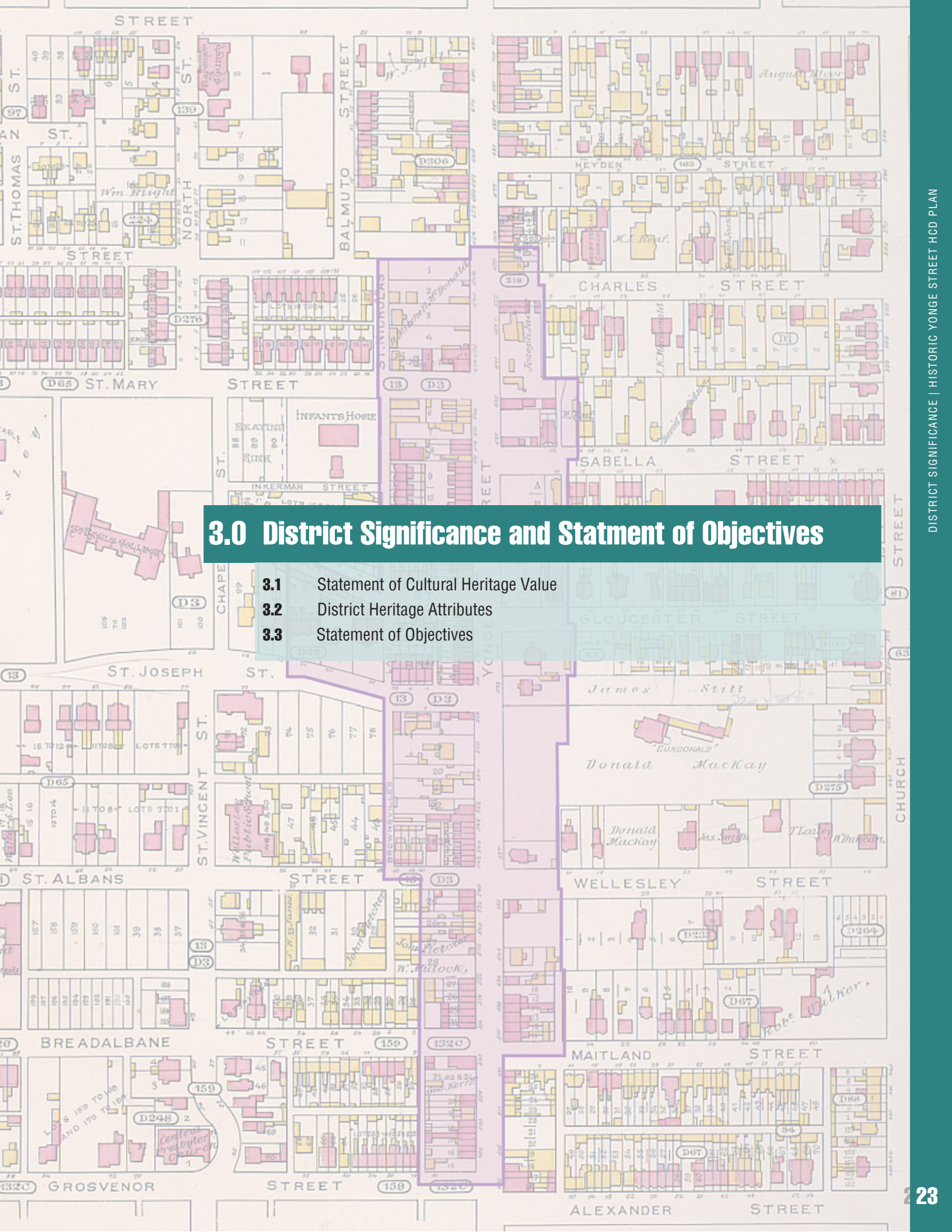
2.6.1 Zoning By-Law 438-86 & 569-2013

The harmonized zoning by-law 569-2013 was enacted by Toronto City Council on May 9, 2013. Following appeals to the Ontario Land Tribunal (OLT or the Tribunal), the Tribunal has issued decisions that amend and/or bring the majority of by-law 569-2013 into force and effect as of the date of writing. As such, for the purpose of issuing building permits, zoning by-law 569-2013 is considered to be in effect and the standard against which new applications will be assessed. Portions of the District are also governed under the former City of Toronto zoning by-law “438-86”.

Under zoning by-law 569-2013, the District is generally zoned Commercial Residential (CR) except for parts of the St. Nicholas Village character sub-area which are zoned Residential (R). There are also several properties within HYHCD that are subject to site-specific zoning.



Figure 11: West side of Yonge Street, north of Wellesley Street looking northwest.



3.0 District Significance and Statment of Objectives

- 3.1 Statement of Cultural Heritage Value
- 3.2 District Heritage Attributes
- 3.3 Statement of Objectives



3.1 Statement of Cultural Heritage Value

Description of Historic Place

Historic Yonge Street Heritage Conservation District is a distinct mixed-use neighbourhood located in downtown Toronto. It runs north-south for approximately seven city blocks around a portion of Yonge Street and serves important civic and commercial functions in the city. It includes St. Nicholas Village, a historic residential area associated with Yonge Street, and portions of a historic network of service laneways. The District contains a cohesive grouping of built *heritage resources* that provide a distinct sense of place and represent Toronto's early and mid-century architectural vernacular.

The boundary limits run along property lines and include the full right-of-way of Yonge Street in front of any property within the boundary. The District's northern boundary is the full right-of-way of Charles Street West on the west side of Yonge Street and the north lot line of the former Postal

Station F at Charles Street East on the east side of Yonge Street. The centre line of Grosvenor Street on the west side of Yonge Street and Maitland Street on the east side of Yonge Street mark the southern boundary. Its western and eastern boundaries generally run parallel to Yonge Street along a historic network of service laneways, except along its western edge where it includes St. Nicholas Street and parts of St. Joseph Street and Irwin Avenue – an area referred to as St. Nicholas Village. The full right-of-way of public laneways have been included within the boundary, as has the full right-of-way of St. Nicholas Street. The District has recently seen growth through the addition of mixed-use developments, including tall buildings. It is expected that HYHCD will continue to evolve and grow, while *conserving the cultural heritage value* of the District, including the historic *streetwall* along Yonge Street.

Figure 12: Previous page: Excerpt from Plate 26 from the 1884 edition of the Atlas of the City of Toronto and Suburbs, published by Charles E. Goad. The approximate boundary of the Historic Yonge HCD has been shaded in purple.

Figure 13: Plan of the City and Liberties of Toronto, surveyed and drawn in 1842 by James Cane. The map shows some early subdivision of Park Lots and the sparse development in the Study Area (City of Toronto Archives). Annotation indicates the approximate location of the Historic Yonge Street HCD.

Statement of Cultural Heritage Value

The District started to develop in 1860 as a pastoral landscape of large private estates that were gradually subdivided and sold-off, laying the foundation for a densely developed urban neighbourhood. Development in the area was encouraged by Yonge Street itself, which was planned as a key transportation route by Lt. Governor John Graves Simcoe.

Yonge Street's importance as a transportation route was reinforced by successive waves of transportation investment that culminated in the construction of Canada's first subway line, which opened in 1954 and runs beneath the District. Public investment in transportation helped to ensure a constant flow of people through the neighbourhood, and the District evolved as a commercial main street that served neighbouring residential areas and commuters who passed through it.

The District is valued for its commercial main street character which is expressed, in part, by mixed-use and commercial buildings that housed the services, amenities, and employment opportunities to support daily life in neighbouring residential areas. St. Nicholas Village, and the residential buildings within

it, reflects this historic relationship and reinforces the District's sense of place.

Historical development of Yonge Street in the early 20th century added entertainment venues to its role as a commercial destination. The former His Majesty's Theatre at 780 Yonge Street, for instance, later became a dance studio and drama school for the emerging Canadian ballet and theatre scene, from the post-war period until the 1960s.

Once the subway opened in 1954, building technology and development patterns changed. This change is reflected in the scale of many modern buildings surrounding the District. Buildings that contribute to the District's *cultural heritage value* share certain characteristics in terms of their scale, height, orientation, and frontage width. They display a range of architectural styles that are appropriate to the time they were built. The historic network of laneways also contribute to the *cultural heritage value* of the District and are a valued element of its landscape. Together, these buildings, and the



Figure 14: East side of Yonge Street at Wellesley Street looking northeast, 1948 (City of Toronto Archives, Fonds 1303, Series 978, File 1, Item 21).

laneways that connect them, give the District the feeling of being an enclave within Toronto's downtown. Approximately 90% of its buildings were built between 1860 and 1954, a period of significance when the District's commercial main street character was established and flourished.

During this period Yonge Street also developed an important civic purpose within Toronto, coming to serve as its Main Street, a role which is evidenced by the numerous parades, demonstrations, and spontaneous celebrations and gatherings that have taken place along the strip. These events, many of which are annual and ongoing, are associated with the District for having passed through it. The civic importance of Yonge Street is recognized as an important component of the District's *cultural heritage value* but one that is primarily associative, and not material, in nature.

As the District and the area around it developed, it attracted a number of important fraternal and professional organizations, including: the Masons (601-613 Yonge Street); the Oddfellows' fraternal organization (450 Yonge Street); and, the Canadian Order of Foresters (22 College Street). A number of buildings in the District are also associated with important architects, including: Samuel G. Curry, Richard Ough, Mathers & Haldenby, Wickson & Gregg, George Gouinlock, Dick & Wickson, J. Gibbs Morton, and E.J. Lennox.



Figure 15: 1952 photograph showing the construction of Canada's first subway line. This photo was taken east of Yonge Street, between Dundonald and Gloucester streets, looking north (City of Toronto Archives, Fonds 1128, Series 381, File 76).

3.2 District Heritage Attributes

The *cultural heritage value* of the District is expressed by the following *heritage attributes* that collectively derive from *contributing properties* within the District:

- The scale of the *streetwall* of *contributing properties* in the District, which typically range between 2-4 storeys
- The three-dimensional character of *contributing properties*, as articulated by their height, massing, and frontage width
- Small *setbacks*, from the front lot line, of buildings within St. Nicholas Village *character sub-area* which create small front yards that contribute to a more open residential character
- Consistent *streetwall* resulting from buildings fronting onto Yonge Street typically built to the lot line, without *setbacks*
- The fine grain of narrow property frontages, generally between 3-7 metres, at regular intervals along Yonge Street, and along some side streets intersecting with Yonge Street
- The fine-grained vertical rhythm of narrow storefronts along the consistent streetscape; frontages of larger historic buildings are divided into bays, *maintaining* the predominant rhythm of narrow storefronts
- Recessed entrance doorways, which in some cases include flanking showcase windows
- Building façades that are generally constructed with brick, stone, and wood detailing
- The façades of *contributing properties* that display a variety of *building features* including, but not limited to cornices, entablatures, pilasters, soffits, punched windows, and their surrounds
- High-quality design and craftsmanship exhibited in *contributing properties*
- The higher percentage of glazing on ground floor façades along Yonge Street, relative to upper floors, that demarcates a retail use at-grade and residential and/or commercial uses in upper floors
- The consistent percentage of glazing between ground and upper floors on the primary elevation of residential *contributing properties*, showing a consistent use and function between ground and upper floors
- Mixed-use and commercial buildings that typically have flat roofs, or roofs sloped towards the street that the building fronts onto
- House-form buildings typically have sloped roofs, which includes a combination of roofs sloped towards the street, and roofs sloped parallel to the street in the case of a dormer or central gable
- House-form buildings that display a range of architectural styles most commonly: Gothic Revival, Second Empire, and Queen Anne
- Apartment buildings within St. Nicholas Village *character sub-area* that display Art Deco and Edwardian architectural styles
- Mixed-use and commercial buildings that display a range of architectural styles, most commonly: Georgian, Italianate, Romanesque, and Second Empire
- Warehouses and commercial buildings fronting onto service laneways and side streets, such as those along St. Nicholas Street and Gloucester Lane
- Views toward prominent buildings within the District as identified in this Plan
- Narrow public laneways that support commercial operations along Yonge Street, and are used by pedestrians as a circulation network
- The *archaeological resources* in the District as identified in this Plan
- Use, function and enjoyment of Yonge Street for the purpose of parades, demonstrations, celebrations and social gatherings

3.3 Statement of Objectives

The overall objective of the Historic Yonge Street HCD Plan is the protection, *conservation* and management of its *heritage attributes* and *contributing properties* so that the District's *cultural heritage value* is protected in the long-term. The *cultural heritage value* of the District consists of its historic, associative, contextual, design/physical, social and community values. The *heritage attributes* of the District include its built

form, *streetscape*, function, *public realm*, and *archaeological resources*.

Specific objectives of this Plan are set out below. Although the following objectives are numbered, the numeric sequence does not establish a priority among the objectives.

OBJECTIVES

1. *Conserve, maintain, and enhance the cultural heritage value* of the District as expressed through its *heritage attributes, contributing properties, character sub-areas, public realm, and archaeological resources*.
2. Ensure that *new development* and *additions* *conserve, maintain and enhance the cultural heritage value* of the District and do not detract from it.
3. *Conserve, maintain and enhance the heritage attributes* of those resources that contribute to the *cultural heritage value* of the District.
4. Prevent the *removal* and *demolition* of the District's *heritage attributes* and *contributing properties*.
5. Ensure that any *alterations*, including adaptive reuse, are *compatible* with the District's *cultural heritage value*.
6. Encourage improvements to the *public realm* that support the District's ongoing use by pedestrians as a transportation corridor so that its historic role as a commercial main street and place of congregation is reinforced.
7. *Conserve* the network of public laneways in the District.
8. *Conserve* the historic main street character of the District, including its consistent *streetwall* and scale of *contributing properties*, and support the mixed commercial, retail, or residential uses that main street character implies.
9. *Conserve* the *three-dimensional integrity* and form of the District's built *heritage resources*.
10. *Maintain* the distinctive relationship between the residential character of St. Nicholas Village *character sub-area* and the commercial main street character of Historic Yonge Street *character sub-area* and *conserve* their unique and distinct characters.
11. *Conserve, maintain and enhance the values* of the District in its role as a destination for civic assembly and use, such as for parades, demonstrations, and celebrations.
12. *Conserve contributing properties*, and Part IV designated properties.
13. *Conserve* and protect the *archaeological resources* within the District.
14. *Conserve* views from the *public realm* identified in this Plan.

4.0 District Boundary and Resources

- 4.1 District Boundary
- 4.2 Contributing and Non-Contributing Properties
- 4.3 Archaeological Resources
- 4.4 Character Sub-Areas

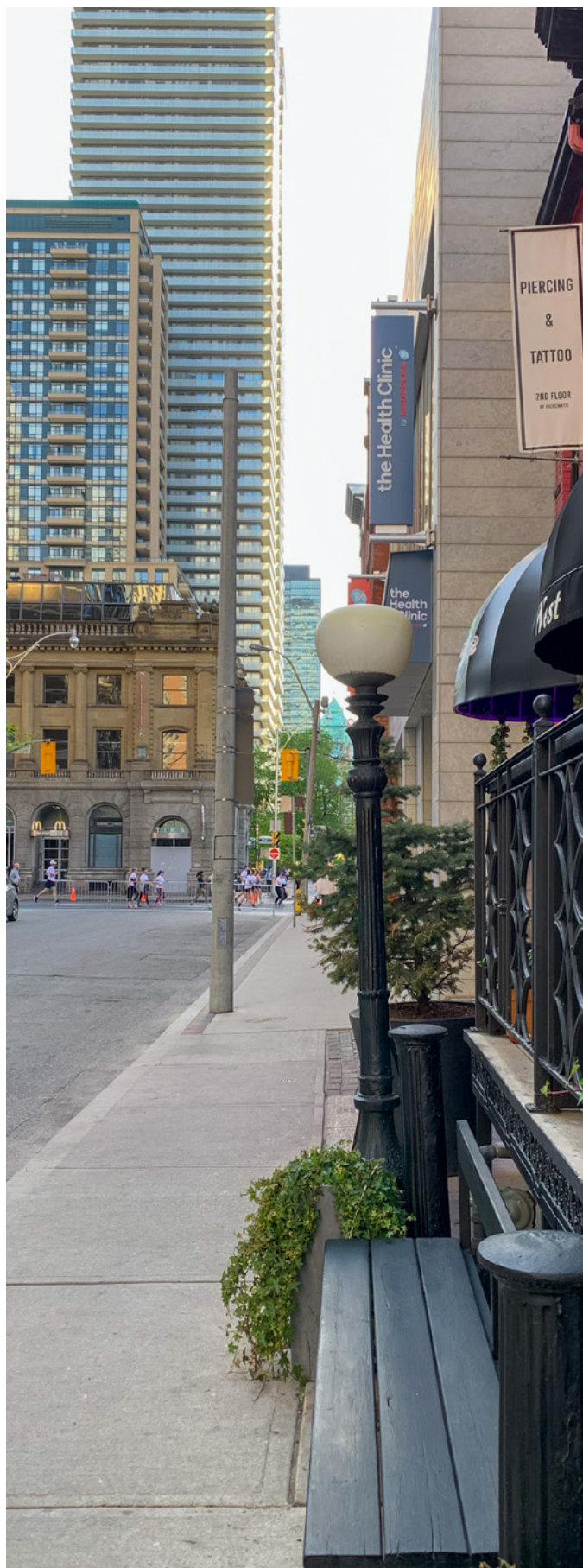


Figure 17: View east along the south side of Charles Street East, towards former Postal Station F.

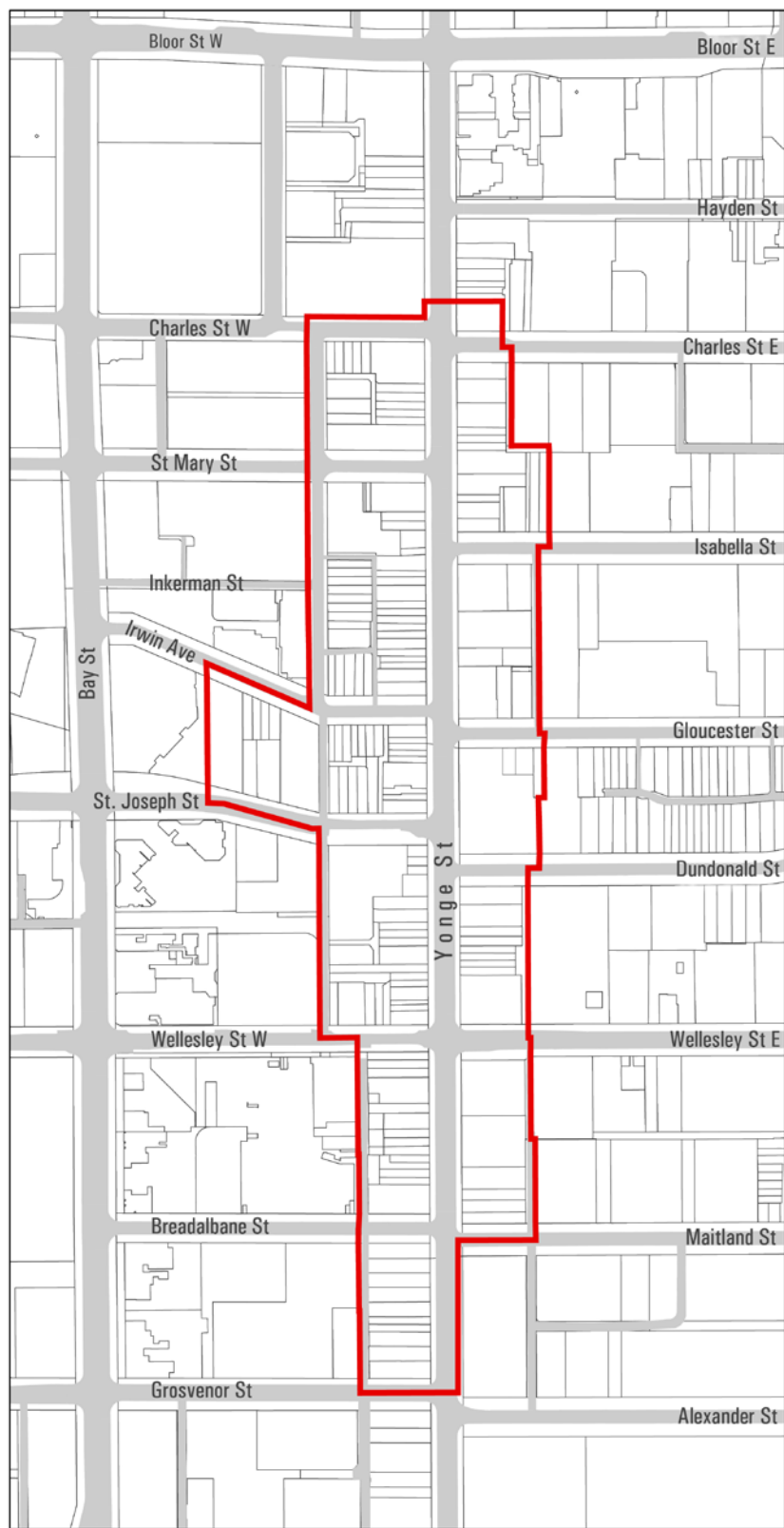
4.1 District Boundary

The delineation of the District's boundary was an iterative process that evolved based on the analysis of the Study Area and its *heritage resources*. The boundary contains resources that express the District's *cultural heritage value* and *heritage attributes*.

The District boundary includes:

- Mixed-use, commercial, and residential buildings fronting along Yonge Street that support and define its main street character and sense of place
- Residential buildings fronting onto side streets that intersect with Yonge Street, and now contain retail uses that help to support the main street character of Yonge Street and illustrate the District's historic development
- St. Nicholas Village because of its historical, and ongoing functional relationship to Yonge Street, and because it is a well *preserved* example of this relationship to Yonge Street
- Properties on both sides of Yonge Street that define the *public realm* and pedestrian experience of the street

The boundary limits run along property lines and include the full right-of-way of Yonge Street in front of any property within the boundary. The District's northern boundary is the full right-of-way of Charles Street West on the west side of Yonge Street and the north lot line of the former Postal Station F at Charles Street East on the east side of Yonge Street. The centre line of Grosvenor Street on the west side of Yonge Street and Maitland Street on the east side of Yonge Street mark the southern boundary. Its western and eastern boundaries generally run parallel to Yonge Street along a historic network of service laneways, except along its western edge where it includes St. Nicholas Street and parts of St. Joseph Street and Irwin Avenue — an area referred to as St. Nicholas Village. The full right-of-way of public laneways have been included within the boundary, as has the full right-of-way of St. Nicholas Street.



Historic Yonge Street HCD
Boundary Area

 HCD Boundary



Not to Scale

04/25/2024

4.2 Contributing & Non-Contributing Properties

One of the key objectives of studying the resources within the District is to understand which resources contribute to its *cultural heritage value*, and which do not. The methodology described below was used to determine *contributing* and *non-contributing properties*. The research gathered during the HCD Study phase, including the inventory of individual properties, was also referenced.

All properties within the District are designated under Part V of the *Ontario Heritage Act*, and managing growth and change on both *contributing* and *non-contributing properties* is critical to *conserving* the District's *cultural heritage value* and *heritage attributes*.

Methodology

Properties were determined to be *contributing* if they met at least two of the following criteria:

1. The property is listed² on the City's Heritage Register.
2. The property was primarily developed within the period of significance (1860-1954), or was built shortly after the period of significance and with a building height that is taller than other *contributing properties*, but that exhibits a mid-century modern architectural style.
3. The property demonstrates *integrity of building features* that are consistent with its date and style of construction, exhibits the District's *heritage attributes*, or is consistent with its *cultural heritage value*.



Figure 18: 646-658 Yonge Street, north of Irwin Avenue, are *contributing properties* within HYHCD.

² The methodology implies that these were properties listed on the Heritage Register prior to the HCD being adopted by City Council.

Non-contributing

Properties were determined to be *non-contributing* if they met the following criteria:

- The property was developed outside the period of significance, or has lost the *integrity* of *building features* and architectural style.

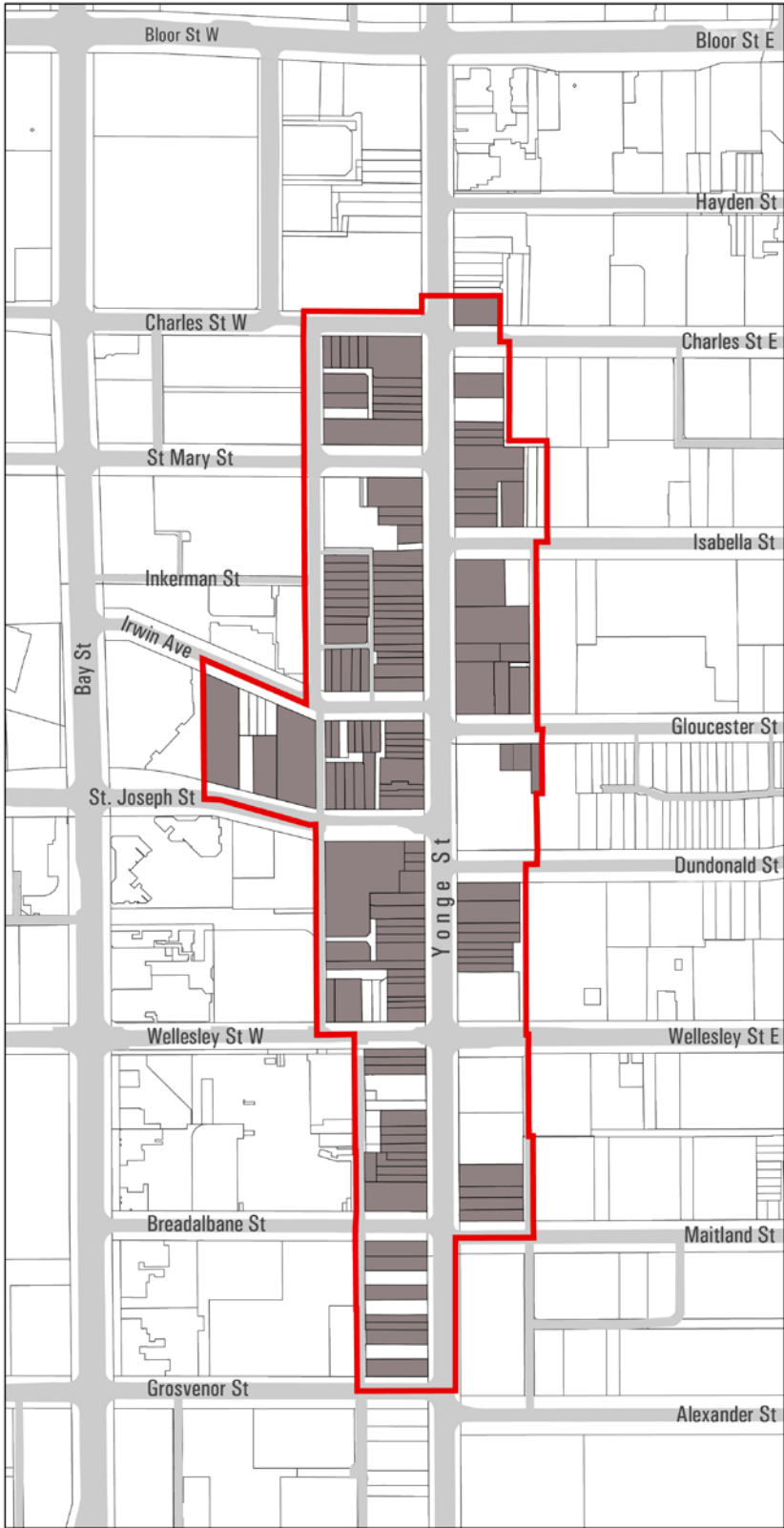
A Precautionary Approach

The exterior walls of several *contributing properties* within the District have been over-clad with signage or an additional cladding material. Many of these properties otherwise satisfy the criteria described above, and have contextual value, but due to the nature of their cladding, it is difficult to determine the *integrity* of underlying architectural features. It is anticipated that physical investigation of the building fabric would occur when work requiring a building or heritage permit is proposed for these properties. This Plan contains *policies* and *guidelines* specific to *contributing properties* with this over-clad condition.



Figure 19: Bottom image: the row of buildings at 620-632 Yonge Street was constructed in 1878 and is designed in the Second Empire style. They are *contributing properties* within HHCD.

Figure 20: Top image: The property at 718 Yonge Street is an example of a building with an over-clad condition.



Historic Yonge Street HCD
Contributing Properties

-  HCD Boundary
-  Contributing Properties



4.3 Archaeological Resources

The evolution of the Historic Yonge Street HCD, including repeated episodes of construction and *demolitions*, the infilling of historic rear yards and open areas with new buildings, and the conversion of built up areas to open space, has left a fragmented but potentially well-preserved archaeological record. The starting point for mapping archaeological potential within the District was the *City of Toronto's Archaeological Management Plan*, which includes potential modelling for both pre- and post-contact *archaeological resources*. The Yonge Street corridor from Queen Street to Bloor Street was subject to review through examination of selected historical maps, aerial photography, and pedestrian review as part of the management plan research. For the purposes of the Heritage Conservation District Study and Plan, the area was re-examined on a property-by-property basis using a larger range of nineteenth- and twentieth-century maps to track development trends on each property and evaluate any impacts on subsurface *integrity* and archaeological potential.

This process led to the identification of 18 properties³ in the District as *areas of archaeological potential*. The archaeological remains that may be present on these properties range from the buried vestiges of built features that have survived one or more redevelopment events by virtue of the massive scale at which they were constructed (in terms of the areas they covered, or the depths to which they extended) to comparatively small scale domestic deposits that have been sealed by later alterations. Examples of the latter include the filling that often takes place in areas given over to parking lots or other open spaces, or capping by new structures that lack *substantial* sub-grade structural elements.

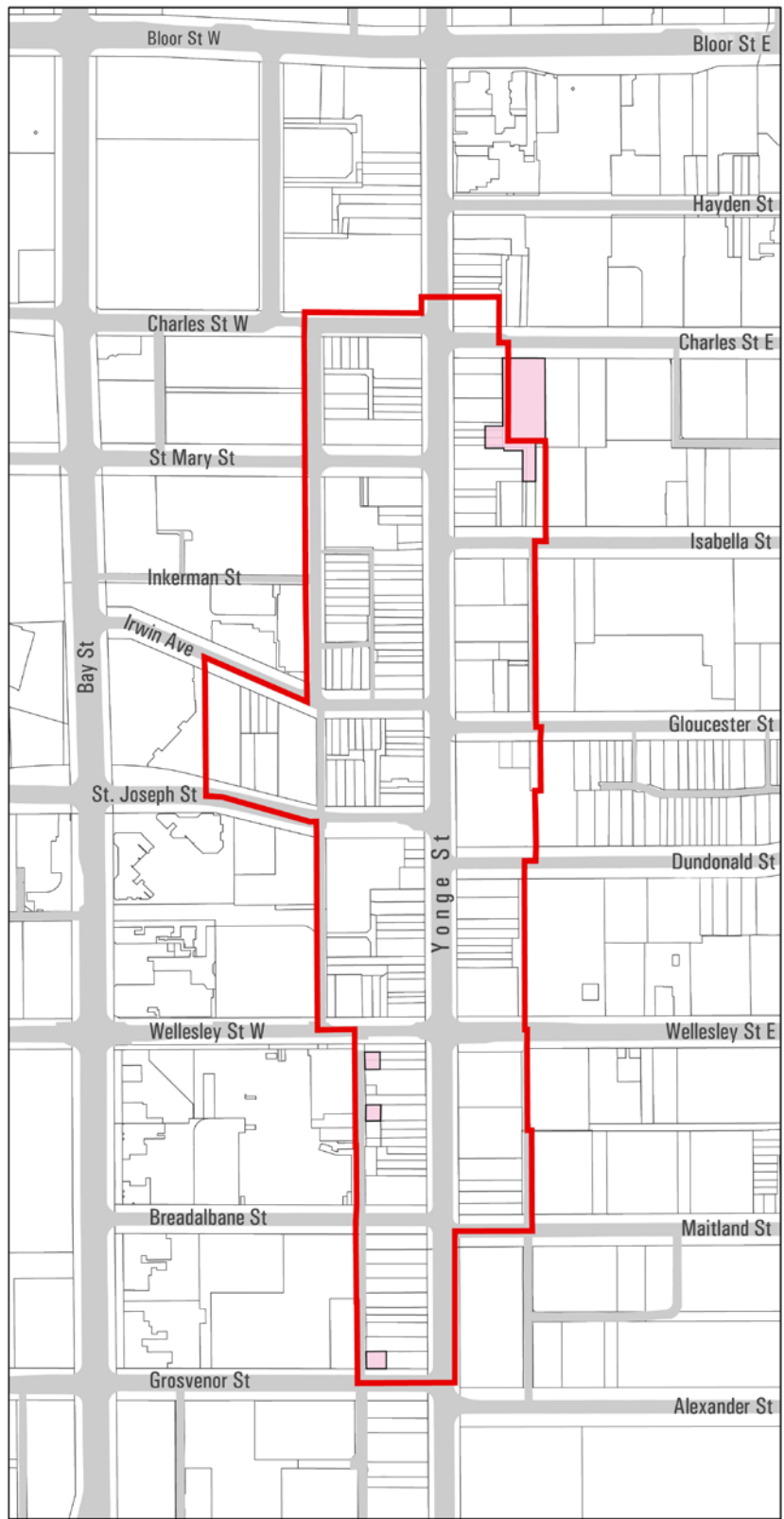
This Plan contains *policies* that pertain to *areas of archaeological potential*.

The *City of Toronto's Archaeological Management Plan* is subject to regular updates and should be consulted for the most current definition of lands with archaeological potential.





Figure 21: The Scottish Ontario and Manitoba Land Company Stores at 664-680 Yonge Street, designed by E.J. Lennox. Date of photo between 1900-1905 (City of Toronto Archives).

3 Statistics are based on mapping conducted at the time of the creation of the HCD Plan (January 2016)



Historic Yonge Street HCD
Archaeological Potential

-  HCD Boundary
-  Areas of Archaeological Potential


Not to Scale



Figure 22: North side of St. Joseph Street, within the St Nicholas Village *Character Sub-Area* looking east towards 620 Yonge Street, which is within the Historic Yonge Street *Character Sub-Area*.

4.4 Character Sub-Areas

There are distinct clusters of architectural styles, building forms, and streetscapes within the District. These have been categorized as *character sub-areas*. They help illustrate the historic evolution and development of the District. Three have been identified within HYHCD:

- Historic Yonge Street
- St. Nicholas Village
- Residential Pockets

Each of these *character sub-areas* has certain characteristics in common with each other, including: a high proportion of buildings built before 1954; a high proportion of buildings that exhibit high-quality design and construction; the use of brick and stone masonry, carved wood, and some metal and glass in their construction; and, a physical and historical relationship to Yonge Street.

Where these *character sub-areas* differ is in certain aspects of their streetscape and built form, particularly between the residential areas (St. Nicholas Village, Residential Pockets) and the mixed-use main street area (Historic Yonge Street).



Figure 23: The row of Second Empire style buildings at 538-544 Yonge Street, and the Romanesque style commercial block at 546-550 Yonge Street are located within the Historic Yonge Street Character Sub-Area.

4.4.1 Historic Yonge Street Character Sub-Area

There are multiple architectural styles present in this sub-area. The majority of historic buildings range in height from 2-4 storeys with a few taller buildings. 72% of the buildings in this area are representative of Edwardian, Gothic, Georgian, Italianate, Renaissance Revival, Romanesque, or Second Empire architectural styles. 91% of the buildings in this *character sub-area* were built before 1954 and 92% of the buildings in this area are 4 storeys or less in height.

Almost all of the buildings in this *character sub-area* are mixed-use with retail at grade and residential or commercial uses above.

The streetscape in this *character sub-area* is defined by a consistent rhythm of narrow retail frontages. These frontages primarily consist of glazed frame display windows, punctuated by recessed entrances and framed divisions and surmounted by retail entablatures dividing the retail base from the building above and including deep fascias (sign bands) for the purpose of signage. Largely glazed traditional storefronts add to the animation of street life as pedestrians can view what is happening inside a shop, and customers

inside a shop can see what is happening on the street. Buildings in this *character sub-area* are typically built to the lot line with no *setbacks*, which results in a consistent *streetwall* animated by recessed entrances and projecting cornices and contributes to a distinctive main street character on Yonge Street.

Signage also adds to the character of Yonge Street, often referred to as Toronto's Main Street. Whereas "flat" signage is provided for in the deep fascias of the retail entablatures there were often projecting signs and other forms of signage that animated the street. Most recently, the scale and locations of signage have grown to diminish the historic character to the point where some original facades are entirely over clad.

Although sidewalk widths vary throughout the District they are widest within the Historic Yonge Street *character sub-area*, which displays a main street character. This facilitates a high degree of pedestrian traffic throughout the area.

It is expected that Historic Yonge Street *character sub-area* will continue to evolve and grow, while *conserving* the *cultural heritage value* and *heritage attributes* of the District.



Figure 24: East side of St. Nicholas Street, between Irwin Avenue and St. Mary Street within the St. Nicholas Village *Character Sub-Area*.

4.4.2 St. Nicholas Village Character Sub-Area

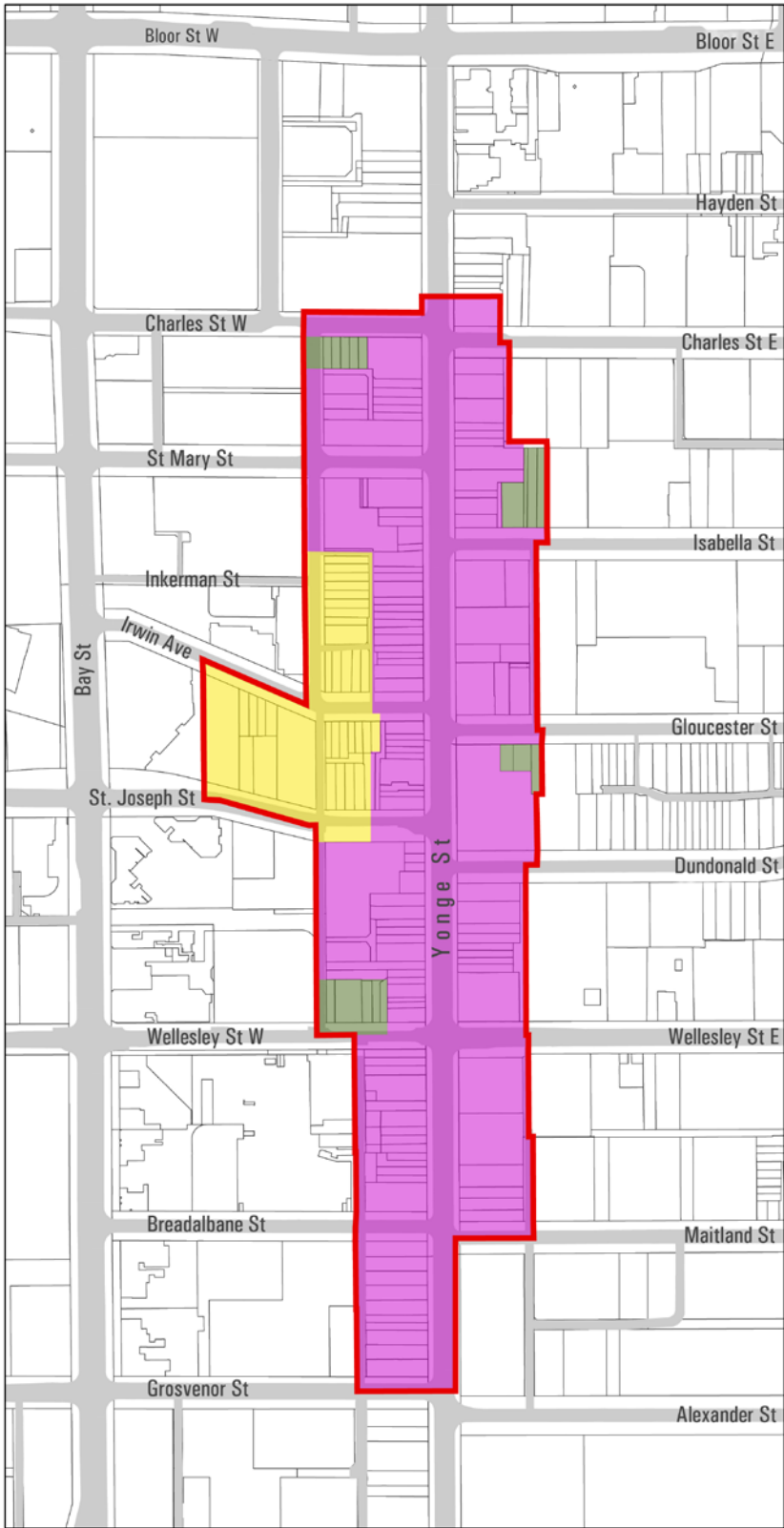
This *character sub-area* is defined by its distinct stock of residential buildings including single and semi-detached houses and apartment buildings. These buildings are distinct from the mixed-use and commercial buildings in the other *character sub-areas*. They do not, for example, have a higher proportion of glazing at ground floors than upper floors. The residential character of this *character sub-area* is reinforced by the small front-yard *setbacks* of buildings, whereas buildings in the District generally have no *setbacks* from the front or side property line.

A majority of the buildings in this *character sub-area* are representative of Georgian, Gothic Revival, Queen Anne Revival, Romanesque, or Second Empire architectural styles. Most of the buildings in this *character sub-area* are 4 storeys or less in height and were built before 1954.

4.4.3 Residential Pockets Character Sub-Area

In several locations the commercial retail activity along Yonge Street has spilled over onto the side streets that intersect with it. Retail stores have in some cases come to occupy a building that was originally designed for residential uses. These pockets of residential buildings read similar to the buildings within St. Nicholas Village *character sub-area* and provide a historical context to the mixed-use and commercial development along Yonge Street. Within the District these resources are important to help to illustrate its historic development at a time when the residents of the adjacent historic residential neighbourhoods supported and were supported by the small independent business on Yonge Street.

Approximately 70% of the buildings in this *character sub-area* are representative of Gothic Revival, Second Empire, or Romanesque architectural styles. All of the buildings in this *character sub-area* were originally built before 1954, with a built form of less than 4 storeys in height.



Historic Yonge Street HCD
Character Sub-Areas

- | | |
|---|---|
|  HCD Boundary |  St. Nicholas Village Character Sub-Area |
|  Historic Yonge Character Sub-Area |  Residential Pockets Character Sub-Area |



5.0 Policies and Guidelines for Contributing Properties

- 5.1 Understanding
- 5.2 Existing Part IV Designations
- 5.3 Demolition & Removal
- 5.4 Maintenance
- 5.5 Restoration
- 5.6 Alteration & Repair
- 5.7 Additions
- 5.8 Massing
- 5.9 Storefronts
- 5.10 Façade Patterns and Features
- 5.11 Windows & Fenestration
- 5.12 Awnings
- 5.13 Roofs
- 5.14 Materiality & Wall Design
- 5.15 Signage
- 5.16 Views & Key View Sites
- 5.17 Code Compliance and Accessibility
- 5.18 Sustainability
- 5.19 Over-Clad Buildings

Introduction

This section contains *policies* and *guidelines* intended to manage change within the District in order to meet the objectives of this Plan and to *conserve* the District's *cultural heritage value*.

The *policies* (in **bold** font) set the direction for the management of the District in a clear and direct manner. The directions provided by the *policies* generally use either 'shall' or 'should' language and are to be interpreted accordingly.

The *guidelines* (in regular font) provide suggested ways in which the HCD Plan *policies* might be achieved, however there may be other methods for satisfying related *policies*. *Guidelines* are useful directions on how to meet the *policies* of the HCD Plan.

In order to account for specific built form conditions within the District, this section references *character sub-areas* (described in section 4.4) identified within the District:

- Historic Yonge Street
- St. Nicholas Village
- Residential Pockets

In several instances, these *policies* refer to the concept of designing *new development* to be *compatible* with the *primary structure*. *Compatibility* in this context includes both the physical and visual *compatibility* of the design. Physical *compatibility* refers to the use of materials and construction methods that do not have a negative impact on a *contributing property*, or that detracts from or damages its *heritage attributes*. Visual *compatibility* refers to designing new work in such a way that it is distinguishable from the historic building while *complementing* its design, massing, and proportions. *Compatibility* is not intended to imply historical pastiche.

Definitions have been provided for key words and included in Appendix A.

5.1 Understanding

The *Standards and Guidelines* provides the basis for the *policies* and *guidelines* for *contributing properties*. The *Standards and Guidelines* has been adopted by the Toronto City Council. It recommends an approach to heritage *conservation* that begins with understanding the *heritage resource* by studying its *heritage attributes* and the *cultural heritage value* they express. That understanding is the basis for the following two steps: 'planning' for the *conservation* of the *heritage resource*, and 'intervening' through projects and *maintenance*.

5.1.1 Additions and alterations to a contributing property may be permitted only once the cultural heritage value and heritage attributes of the District, as expressed through the property, have been documented and described, and the impact of any proposed alterations and/or additions on those values and attributes have been determined and mitigated.

- Documentary evidence of the original design and significant historical *alterations* or *additions* should include historic photos, drawings, and plans where they are available.

5.1.2. A Heritage Impact Assessment shall be submitted to the City and shall evaluate the impact of any proposed alteration or addition on the contributing property to the satisfaction of the Chief Planner and Executive Director of City Planning.

5.1.3 Additions and alterations to a contributing property shall be based on a firm understanding of how it contributes to the cultural heritage value and heritage attributes of the District.

- To determine appropriate interventions, be consistent with historic architectural periods, the intentions and design principles of the original architect or builder, the history of a building and the changes that have been made to it over time, and the building's current conditions and contextual setting.
- Do not create a false sense of the historic evolution and development of the property by adding *building features* from another historic period, place, or property.

5.1.4 Maintenance, and repair work to a contributing property shall be undertaken based on an understanding of the cultural heritage value and heritage attributes of the District, as expressed through the property.

- (a) *Maintenance* and *repair* work should be based on an understanding of the property and its historical evolution, and be consistent with the *Standards and Guidelines*.

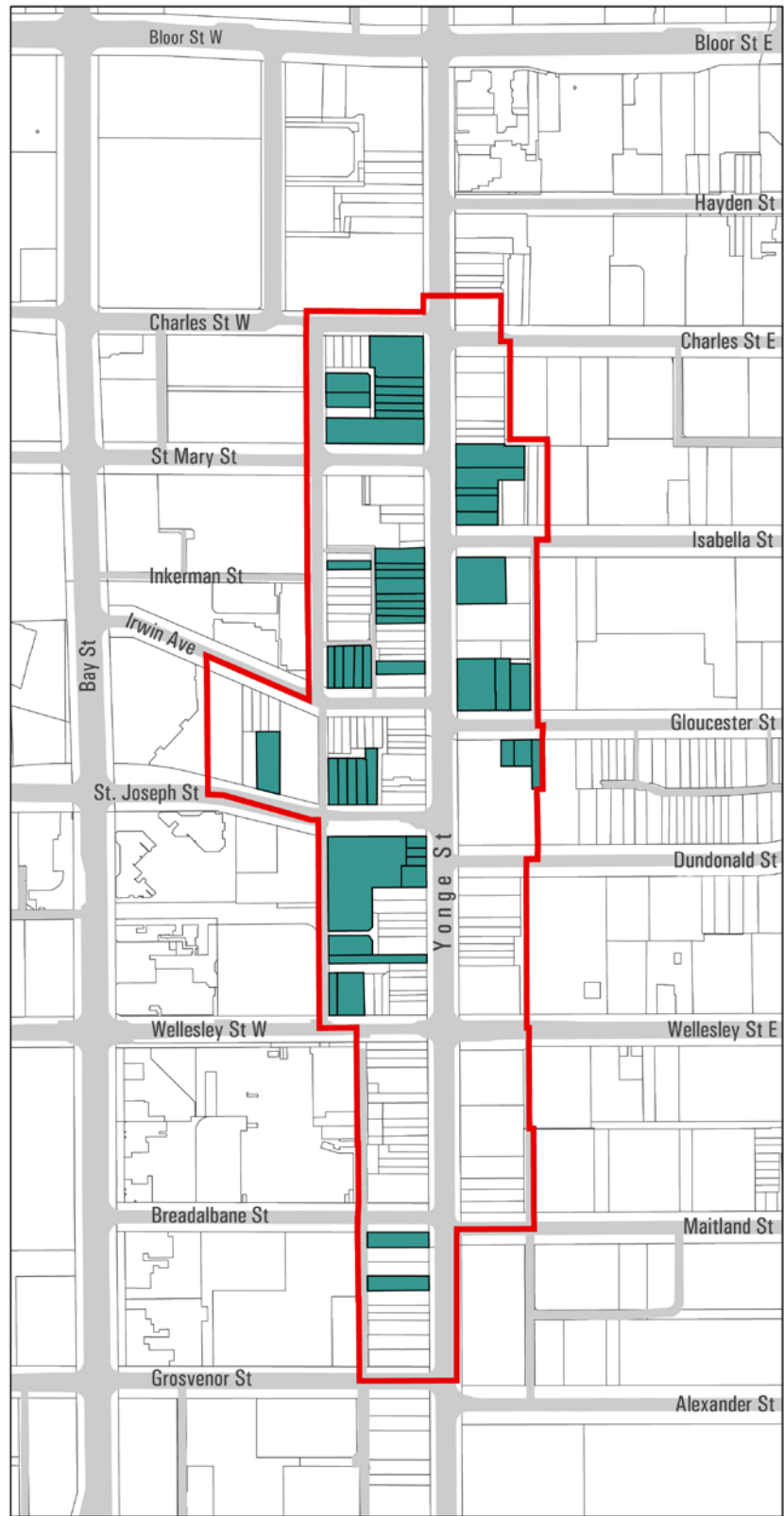
5.1.5 The design of additions, alterations, maintenance, and repair work on a contributing property and the historical research that informs them should be prepared by, or under the supervision of, qualified heritage professionals, such as professional members of the Canadian Association of Heritage Professionals (CAHP), depending upon the work proposed.

5.2 Existing Part IV Designations

All properties within the District are designated under Part V of the *Ontario Heritage Act*. Some properties located within the District are also designated under Part IV of the OHA, which protects the *cultural heritage value* of individual properties and their identified *heritage attributes*. These properties are designated by municipal by-law which typically contain a statement of significance that defines its *cultural heritage value* and *attributes* as an individual property. Interventions on properties designated under Part IV shall also *conserve* the individual property's *cultural heritage value* and *heritage attributes*. Part IV designation serves a similar objective to a Part V designation, in *conserving* a property's *cultural heritage value* and *heritage attributes*. However, Part IV designation contains a more detailed description of an individual property's *heritage attributes* and *cultural heritage value*, whereas Part V designations focus on district-wide aspects.

5.2.1 In situations where the requirements of any heritage easement agreement conflicts with the requirements of this Plan, conservation of the cultural heritage values and heritage attributes specified for the property contained in the heritage easement agreement will take precedence over the conservation of Districtwide cultural heritage values and heritage attributes

5.2.2 In situations where the cultural heritage value and heritage attributes of a designation by-law enacted pursuant to subsection 29(1) of the Ontario Heritage Act differs from this Plan, conservation of the cultural heritage values and heritage attributes specified in the individual property's designating by-law will prevail, unless doing so would expressly conflict with this Plan.



Historic Yonge Street HCD Part IV Designated Properties

- ▬ HCD Boundary
- Part IV Designated Properties



Not to Scale

5.3 Demolition & Removal

The City of Toronto's Official Plan requires a Heritage Impact Assessment for the proposed *demolition* of a property on the City of Toronto's Heritage Register. The Heritage Register includes all properties designated under Part V of the OHA. Article IV of Chapter 103 of the Municipal Code requires that heritage permit applications be submitted for the proposed *demolition* of any property located in an HCD. The Property Standards By-Law protects heritage properties in HCDs from *demolition* by neglect. The Municipal Code and the Property Standards By-Law require that the *demolition* of properties in HCDs may only take place in accordance with the OHA, and the Official Plan requires that the *demolition* of properties in HCDs be in accordance with respective HCD plans.

5.3.1 Buildings or structures that are on *contributing properties* shall be *conserved*; however applications for the *demolition* of buildings or structures may be considered when:

- the building or structure on a *contributing property* has been determined by the Chief Building Official and Executive Director, Toronto Building to be in a condition that is unsafe and the remedial step(s) necessary to render the building or structure safe in an Order issued under the Building Code Act from the Chief Building Official and Executive Director, Toronto Building require the building to be *demolished*; or
- the heritage *integrity* and the *cultural heritage value* of a *contributing property* to the District for which the *demolition* application has been submitted has been lost, as informed by a Heritage Impact Assessment; and
- the loss of heritage *integrity* and *cultural heritage value* of the *contributing property* is not the result of *demolition* by neglect, deferred *maintenance* or purposeful damage to the property.

- (a) If a *demolition* permit is granted, the classification of the property (i.e. as a *contributing property*) may be reevaluated, as informed by a Heritage Impact Assessment. If the property is determined to be *non-contributing*, future redevelopment of the property will be required to follow all *policies* and *guidelines* in this Plan for *non-contributing properties*.

5.3.2 Subject to Policy 5.3.1, the *demolition* and reconstruction of a building on a *contributing property* shall not be permitted.

5.3.3 As per the *City of Toronto's Property Standards By-law*, ensure that *contributing properties* are protected against *demolition* by neglect.

5.3.4 The *removal* of buildings or structures from a *contributing property* shall not be permitted, unless the building or structure is unrelated to the *contributing property's* Statement of Contribution.

5.3.5 The *relocation* of a building or structure within a *contributing property*, intact and excepting its sub-surface foundations, may be permitted if the *relocation* *conserves* the historic relationship of the building or structure's built form to the *public realm*.

5.4 Maintenance

Any *maintenance* work on *contributing properties* should be informed by an assessment and understanding of their current and historical conditions. Property owners should take a proactive approach to *maintenance*, which may be aided by *conservation* incentive programs administered by Heritage Planning (see section 9.2). Standard 3, 7, 8, and 9 of the *Standards and Guidelines*, recommends an approach of minimal intervention, which is defined as addressing defects and deteriorations to ensure the long-term survival of the heritage property and the protection of its *heritage attributes*.

Article V (Heritage Property Standards) of the *City of Toronto Property Standards By-Law* (Chapter 629 of the Municipal Code) specifies minimum standards for *maintenance* and occupancy of Part IV and Part V designated heritage properties, as well as minimum standards for *repairing* or replacing *heritage attributes* in order to ensure that the heritage character and the visual and structural heritage *integrity* of the building or structure is *conserved*.

5.4.1 *Contributing properties shall be conserved and maintained to ensure the long-term protection, conservation and integrity of the District's cultural heritage value and heritage attributes.*

- (a) Maintain properties on an ongoing basis using recognized conservation methods in accordance with section 2 of the *Standards and Guidelines*.
- (b) Monitor exterior walls and *building features* for moisture penetration and insect infestation in order to take corrective action as soon as possible.
- (c) *Maintain* water shedding and diversion elements.
- (d) *Preserve* and do not *remove* the unique patina of materials, where it exists.
- (e) Install window cleaning systems and bird protection systems that are discrete and not visible from the *public realm*.
- (f) When undertaking *maintenance* work, use materials and methods that will not negatively impact the existing building fabric and features.

5.5 Restoration

The *restoration* of a building on a *contributing property* may be appropriate in certain instances where its *heritage attributes* and *building features* have deteriorated beyond *repair*, or are missing, as established by documentary evidence. *Restoration* is appropriate when the historic significance of a property is clearly identifiable with a single period of that property's history, such that the *removal* of *building features* from another period and the *restoration* of lost *heritage attributes* would not negatively impact the *cultural heritage value* of the property. Distinguishing the historic significance of a property, its *building features*, and *heritage attributes* is important because the *contributing property* may have accumulated features over time that are associated with other historic periods. In some cases, the building may have undergone material changes that are associated with a *significant* event and have come to be associated with the history and *cultural heritage value* of a property or District.

See section 4.3.1 and 4.3.4 of the *Standards and Guidelines* for more information.

5.5.1 *Restoration of a contributing property may be appropriate when the cultural heritage value of the property is linked to a clearly discernible period in its history. Restoration projects should be based on thorough supporting historic documentation of the earlier forms and materials being restored.*

5.5.2 *When undertaking a restoration project on a contributing property, building features from the period to which a building is being restored that have been removed or damaged should be replaced in-kind.*

- (a) *Repair* rather than replace features from the period to which a building has been *restored*.
- (b) Do not create a false sense of historic development by adding features from other places, properties, historic periods, or events and do not combine features that never coexisted on the property.

5.6 Alterations & Repair

Alteration refers to any intervention on a property, including *repair* work, that involves the material change of a *building feature* or element. When undertaking interventions on *contributing properties*, *preserve historic building features* rather than replacing them. Interventions on *contributing properties* shall not detract from the *heritage attributes* of the property that contribute to the *cultural heritage value* of the District as a whole.

The approach to *alterations* is informed by the *conservation treatment* (*preservation, rehabilitation and restoration*) from the *Standards and Guidelines* (p. 16, 33-35), and the following *policy* together with *policies* under section 5.7 are based on the standards 10 for the *rehabilitation* of historic places. *Rehabilitation* involves the sensitive adaptation of a *contributing property* for a *compatible* new or continuing use, while protecting the *cultural heritage value* of the property. These *policies* therefore aim to balance new interventions on a property with *maintaining* and respecting its *cultural heritage value*. This is done by designing any proposed new work to be physically and visually *compatible* with a *contributing property*.

5.6.1 The *heritage attributes* of a *contributing property* shall be *conserved* rather than replaced when designing and implementing *alterations* to a *contributing property*.

- (a) Replace *in-kind* the *heritage attributes* or *building features* where the original cannot be *repaired*. The replaced *building features* should match the form, material, and detailing of the original based on existing examples or historic research.
- (b) Where the original *heritage attributes* of a *contributing property* cannot be *repaired*, and where there is insufficient evidence to determine their original condition, new *building features* should be designed to be *compatible* with the *heritage attributes* of the property in form, material, detailing, and style.

5.7 Additions

Additions refer to any new construction on a property that increases the volume of the pre-existing building on that property. This may result in an increase to the building's gross floor area, or height, but not necessarily so.

The approach to *additions* as with *alterations* (section 5.6), is informed by standards 11 and 12 of the *Standards and Guidelines* (p. 16, 33-35). *Rehabilitation* involves the sensitive adaptation of a *contributing property* for a *compatible* new or continuing use, while protecting the *cultural heritage value* of the property. *Additions* shall therefore be physically and visually *compatible* with the *contributing property* so as to not detract from the District's *heritage attributes* and *cultural heritage value*. Likewise, *additions* shall also *conserve* the historic fabric and *integrity* of the *contributing property*.

5.7.1 *Additions* to a *contributing property* shall *conserve* the *heritage attributes* and *cultural heritage value* of the property through their location, massing, height, proportions, architectural detailing, and materiality in order to be physically and visually *compatible* with and distinguishable from the *contributing property*.

5.7.2 The loss or *removal* of original building material from a *contributing property* shall be minimized when designing an *addition*.

- (a) *Removal* of original building material is strongly discouraged. Where original material is proposed for *removal*, ensure the *building features* and *heritage attributes* are not negatively impacted.
- (b) *Additions* should be designed so that they may be *removed* or *altered* without negatively affecting the *integrity* of a *contributing property*.

5.7.3 *Additions* and *alterations* shall be designed so that whole or *substantial* portions of a *contributing property* are retained and the *three-dimensional integrity* of the property is *conserved*.

- (a) Do not incorporate only façades or isolated *building features* into *additions*.
- (b) *Conserve* all elements of a building that convey its height and form, including roofs and other *building features*.

5.8 Massing

Massing refers to the location, scale, and articulation of a building's form. This includes a building's *setback*, the width of its façade, its height and articulation, and any *stepback* of upper portions of a building.

One of the District's *heritage attributes* is a '*streetwall*', which is created by contiguous buildings built to the lot line and at a relatively consistent building height. The *streetwall* frames the *public realm* and provides a distinct sense of enclosure. Vertical *additions* to *contributing properties* within the Historic Yonge Street *character sub-area* are subject to *stepbacks* in order to *conserve* the main street character of Yonge Street and the legibility of the *three-dimensional integrity* of buildings in the District. *Stepbacks* help to ensure the wholeness and *integrity* of the District's *contributing properties* and are an appropriate mechanism to achieve greater density while establishing a *compatible* relationship of the new work to a historic place, one of the principal standards for rehabilitation projects in the *Standards and Guidelines*. The intention of the following *policies* and *guidelines* is to *conserve* the historic main street character of the District and *three-dimensional integrity* of *contributing properties*.

The massing of buildings in the St. Nicholas Village *character sub-area* and the Residential Pockets *character sub-area* do not have a *streetwall* condition, however there remains a strong sense of enclosure to the *public realm*. Buildings in this *character sub-area* are *set back* from their front lot line, which creates a more open feel to the streetscape.

5.8.1 Vertical *additions* or *alterations* to *contributing properties* shall *conserve* the legibility and prominence of the low-scale *streetwall* by *stepping back* from the elevation of a building that is fronting the street.

- (a) Historic Yonge Street *character sub-area*: A *stepback* from an elevation of a building on a *contributing property* fronting onto Yonge Street should be generally 10m, as informed by a Heritage Impact Assessment.
- (b) Historic Yonge Street *character sub-area*: A *stepback* from an elevation of a building on a *contributing property* fronting onto any street intersecting with Yonge Street should be generally 5m or generally 1m behind the ridge-line of a sloped roof, whichever is greater, informed by a Heritage Impact Assessment. Mansard roofs are not considered sloped roofs for the purposes of this *guideline*.
- (c) Historic Yonge Street *character sub-area*: A *stepback* from an elevation of a building on a *contributing property* on any street or laneway parallel to Yonge Street should be provided, as informed by a Heritage Impact Assessment.
- (d) Historic Yonge Street *character sub-area*: A gradual projection into the *stepback* from an elevation of a building on a *contributing property* fronting onto Yonge Street, commencing at an appropriately high level above the *streetwall*, may be considered where the cantilevered portion of *additions* is physically and visually *compatible* with the *contributing property*, the low-scale *streetwall*, and the heritage character of the District, as demonstrated through a Heritage Impact Assessment.
- (e) St. Nicholas Village and Residential Pockets *character sub-areas*: The *stepback* distances will be determined based upon the design, scale and massing of the proposed *additions* or *alterations*, the *contributing properties*, and their location.
- (f) The extent of the *stepbacks* required for any *additions* or *alterations*, informed by a Heritage Impact Assessment, should demonstrate that the *additions* and *alterations* are visually *compatible* with, and distinguishable from, the *contributing property* when viewed from the *public realm*, and that any visual or physical impact has been appropriately mitigated.

5.8.2 Vertical additions and alterations to buildings on contributing properties in the Historic Yonge Street character sub-area with roofs sloped towards Yonge Street shall conserve the legibility and prominence of the low-scale streetwall by stepping back from the elevation of a building that is fronting the street.

- (a) For *contributing properties* with roofs sloped towards Yonge Street, vertical *additions* and *alterations* should *step back* generally 10m from the property line or generally 1m behind the roof ridge-line, whichever is greater, as informed by a Heritage Impact Assessment. Mansard roofs are not considered sloped roofs for the purposes of this *policy*.
- (b) For *contributing corner properties* with roofs sloped towards Yonge Street, vertical *additions* and *alterations* should *step back* generally 5m from the exposed side wall of the *primary structure* that fronts onto the street intersecting with Yonge Street, informed by a Heritage Impact Assessment. Mansard roofs are not considered sloped roofs for the purposes of this *policy*.

5.8.3 Buildings on contributing properties that conform to a streetwall condition should not be relocated or stepped back.

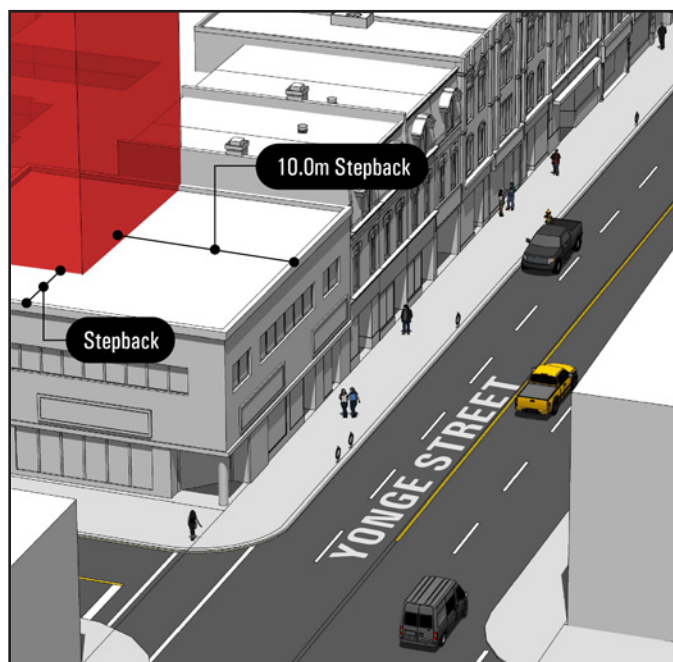


Figure 26: Stepbacks

Diagram illustrating a 10m *stepback* from Yonge Street and a *stepback* from a side street.



Figure 27: Streetwall

The *streetwall* characteristic of HYHCD is created by *adjacent properties* of approximately the same height and *setback*.

5.8.4 Additions and alterations to a contributing property in the St. Nicholas Village *character sub-area* and Residential Pockets *character sub-area* that has a *setback* condition, shall be designed to respect the massing and *setback* of the *primary structure*.

- (a) Where the *primary structure* of a *contributing property* is *set back* from the property line, *additions* and *alterations* to *contributing properties* should be located behind the *primary structure*. Design the *addition* and *alteration* so that it is physically and visually *compatible* with, *subordinate* to, and distinguishable from, the *contributing property*.
- (b) *Additions* or *alterations* to *contributing properties* should not be located in front of the *primary structure* of *contributing properties*, or in the front-yard *setback* of *contributing properties*.

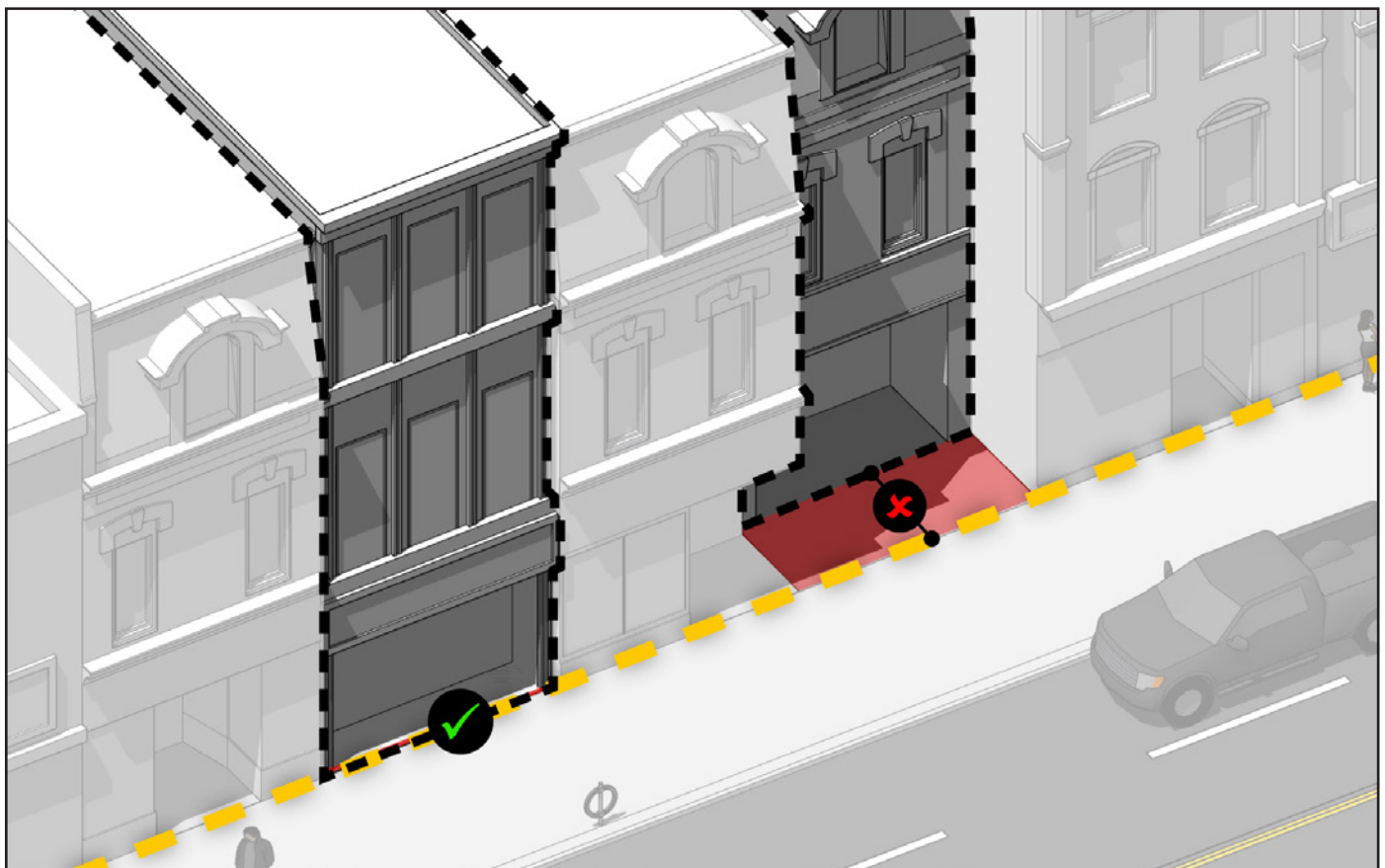


Figure 28: Building Setbacks

Buildings on *contributing properties* within HYHCD shall not be relocated to create new *setbacks*, and *new development* shall respect the *setbacks* of *adjacent contributing properties*.

5.9 Storefronts

Retail and commercial activity have been important characteristics of the District throughout its period of significance. Commercial buildings with a mix of uses and distinct storefronts have evolved over time in response to changing commercial requirements and trends.

Within the District, storefronts often demarcate the division of building bays and provide a rhythm of frontages to the street.

5.9.1 Historic storefront components in the design of *additions* and *alterations* to *contributing properties* shall be *conserved*.

- (a) Do not *alter* the width of storefronts as viewed from the street, including by *removing building features* such as pilasters, columns, or structural walls.
- (b) Do not *alter* the width of the *primary structure*.
- (c) *Conserve* recessed shop entrances and flanking showcase windows, including any decorative material used as framing, such as carved wood or pressed metal.

- (d) As the opportunity arises, *restore* decorative materials used on storefronts and storefront windows where the original material has been lost and where sufficient documentary evidence exists to support *restoration*.
- (e) Commercial storefronts should not be taller than one storey at grade (approximately 4.5 metres).
- (f) Operable doors should be retained where they exist as a fundamental component of a storefront.

5.9.2 At-grade retail spaces should be *conserved* where they have historically existed in the design of *additions* and *alterations* to *contributing properties*.

- (a) Historic Yonge Street *character sub-area*:
Commercial retail activity that is at-grade and accessible from the *public realm* is an important aspect of the District's *cultural heritage value* and *heritage attributes* and should continue to be accommodated while also accommodating residential lobbies and other spaces necessary for the functional operation of buildings.

5.9.3 At-grade access to retail spaces and upper floors is an important aspect of the functional design of commercial *contributing properties* in the Historic Yonge Street *character sub-area*. Retention of this at-grade access from Yonge Street is strongly encouraged.



Figure 29: Storefront Features

Storefronts are a varied and dynamic aspect of the District's character. This diagram shows some of their more common features (Base image: DIALOG, 2015).

5.10 Façade patterns and Features

Elevations of *contributing properties* in the District have well defined articulations of horizontal and vertical rhythm. These articulations often align with neighbouring structures.

The façade features that characterize the historic building stock in in the District include, but are not limited to: brick cladding, decorative brickwork, decorated panels, columns, pilasters, corbelling, entablatures, and stone masonry. Fenestration patterns, such as the ratio of solid to voids; the grouping of windows, the use of continuous sills, and decorated voussoirs, all contribute to the horizontal and vertical rhythm of a façade.

When determining features to be *conserved* and *-restored*, it is important to note that a property may have had features added to it at multiple intervals over its existence. Some of these features may be a better fit with a building's style than others. A Heritage Impact Assessment will be used to assess the suitability of features from differing periods for *conservation* and *restoration*.

5.10.1 The building features of contributing properties located on elevations facing a street shall be *conserved*. These features include, but are not limited to: pilasters, decorated panels, columns, entablatures, corbelling, and decorative brickwork.

- (a) For the purpose of *policy* 5.10.1, if a *contributing property* faces onto only a laneway, the elevation facing onto the laneway will be subject to this *policy*.
- (b) Prioritize the *preservation* of original façade features that articulate a three-dimensional character.
- (c) Façade features added to buildings on a *contributing property* after their date of construction should be also *conserved* where they contribute to the building's *heritage attributes* and the District's *cultural heritage value* and *heritage attributes*.

5.10.2 New development and additions to contributing properties shall not include blank walls facing the *public realm*.

- (a) Walls that face the *public realm* at grade should include windows and doors, as appropriate.



Figure 30: Horizontal and Vertical Articulation

Horizontal (yellow) and vertical (blue) articulation patterns convey a rhythm of building façades that will inform infill and *new development*.

5.11 Windows & Fenestration

Windows, window openings, and their features are prominent elements of a building's character and help to illustrate the horizontal and vertical rhythm of building façades. *Contributing properties* within the District are characterized by vertically-oriented window openings. Some historic windows have been replaced with single sash glazing, but some historic windows remain.

Features of windows and window openings include, but are not limited to: lintels, voussoirs, keystones, pediments, decorative stiles, sills, transoms, window sashes, mullions, muntins, and the materials used to construct these features.

See section 4.3.5 and 4.5.6 of the *Standards and Guidelines* for more detail.

5.11.1 Solid to void ratios in the design of *additions to contributing properties* that are at or below the height of the *streetwall* should be *conserved*.

- (a) *Additions to contributing properties* that are not *stepped back* from a building face or lot line should *maintain* the solid-to-void ratios of the *contributing property*.

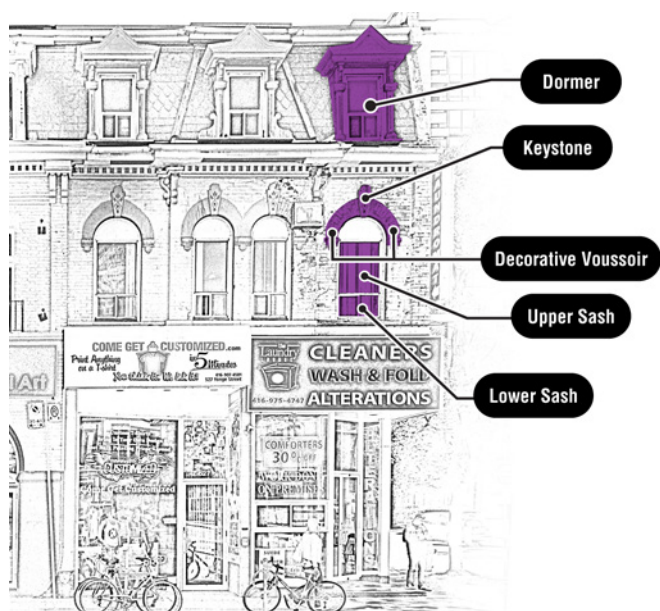


Figure 31: Window Features

This diagram shows common features of windows and window openings (Base image: DIALOG, 2015).

5.11.2 *Alterations to contributing properties* shall *conserve* historic windows and window openings.

- (a) Do not *remove* or block historic window openings.

5.11.3 Features of historic windows in the design of *additions and alterations to contributing properties* shall be *conserved*.

- (a) *Repair* rather than replace damaged or deteriorated features of historic windows and window openings.
- (b) *Conserve* original muntin and sash profile and dimensions.
- (c) *Conserve* historically operable windows where they exist.

5.11.4 As the opportunity arises, historic window openings of *contributing properties* should be *restored* where they have been lost. *Restoration* should be based on historic research and documentation.

5.11.5 When the replacement of historic windows on a *contributing property* is necessary, replacements shall be *in-kind*, *maintaining* the form, appearance, materials, functionality, glazing patterns, and details of the original windows.

- (a) Only replace window features that are irreparably damaged, rather than replacing an entire window unit.
- (b) When retro-fitting for double glazed windows, new windows should be designed to closely match original window assemblies, including muntin and glazing configuration.

5.11.6 When the replacement of non-historic windows on a *contributing property* is necessary, replacements shall be designed to be physically and visually *compatible* with the *contributing property* and the District's *heritage attributes*.

- (a) When assessing the *compatibility* of replacement windows, consider the form, appearance, materials, functionality, glazing patterns, and detailing of the new window.
- (b) Non-historic windows should be replaced with historically appropriate windows where there is sufficient documentary evidence to support this work. Any remaining historic windows should strongly inform the design and configuration of replacement windows.

5.12 Awnings

Awnings have been used in the District, and have continued to be used for shading at windows and storefronts.

5.12.1 Awnings may be installed on a building on a contributing property only where they were originally part of the building's design, and where they can be designed in keeping with the original awning style. Awnings should be designed physically and visually *compatible* with the contributing property, as exemplified by its architectural style, materials, and rhythm of bays.

- (a) Window awnings should span the full width of the window opening.
- (b) Where appropriate, install storefront awnings within the *primary structure* of the storefront, respecting the rhythm of retail bays.



Figure 32: Storefront and Window Awnings

This photograph of a Labour Day parade on Yonge Street, north of Shuter Street from c.1905 shows how awnings have historically been incorporated into a building's design. Storefront awnings span the width of the store, and window awnings span the window opening (City of Toronto Archives, Fonds 1568, Item 314).

5.13 Roofs

The roofs of *contributing properties* are important components of their character and are occasionally detailed with distinctive *building features* that contribute to District's *cultural heritage value* and *heritage attributes*. In the context of this document, 'roof' refers to the entire three-dimensional structure and design of a building's roof. Roofing materials are an element of roof design, and may be an important feature of a *contributing property* when visible from the *public realm*.

Roof features include, but are not limited to: their three-dimensional massing and profile, as well as entablatures, cornices, brackets, fascia, soffits, mansard roofs, dormers, parapets, tower features, and roofing materials.

See section 4.3.3 of the *Standards and Guidelines* for more detail.

5.13.1 The profile and design of historic roofs shall be conserved when designing additions and alterations to contributing properties.

- (a) The massing and location of vertical *additions* should *conserve* the historic roof profile and design, as viewed from the *public realm*.
- (b) New rooftop elements including but not limited to mechanical penthouses, vents, drainage components, solar panels, satellite dishes, skylights, and new chimneys should be located out of view of the *public realm*, where technically possible.
- (c) Use screening or other methods to reduce impact of rooftop elements on the District's *cultural heritage value* and *heritage attributes*.
- (d) Decks on roofs and their guardrails should not be visible from the *public realm*.

5.13.2 Historic roof features shall be conserved in the design of additions and alterations to contributing properties.

- (a) Historic roof features should not be *removed*.
- (b) *Repair* rather than replace historic roof features.

- (c) *Restore* only historic roof features that have deteriorated beyond repair, rather than replacing an entire roof.
- (d) Design eaves-troughs and downspouts so that their form, material, and colour do not detract from the District's *cultural heritage value* and *heritage attributes*.

5.13.3 Historic roof features of contributing properties should be restored where they have been lost, as the opportunity arises.

- (a) Historic roof features should be *restored* based on documentary evidence of the roof's historic design.
- (b) Roofing materials should be *restored* based on documentary evidence.

5.13.4 When the replacement of a historic roof or roof feature on a contributing property is necessary, replacements shall conserve the historic form, appearance, materials, and features of the roof.

- (a) Where replacement *in-kind* of original or *restored* roof features of a *contributing property* is not technically possible, replacements should be physically and visually *compatible* with the *contributing property* and the District's *heritage attributes*, and should *maintain* the form, profile, appearance, material and features of the roof.
- (b) Many roofs within the District have been replaced with modern materials. Existing replacement materials, including asphalt, may be replaced *in-kind*.

5.13.5 When the replacement of a non-historic roof, or roof feature, on a contributing property is necessary, restoration of the original roof or roof feature based on documentary evidence is strongly encouraged.

- (a) A replacement roof should be physically and visually *compatible* with the building, in terms of its form, design, appearance, materials, and features.
- (b) In assessing the *compatibility* of a replacement roof or roof feature, the form, materials, profile, features, and design of the replacement should be considered.

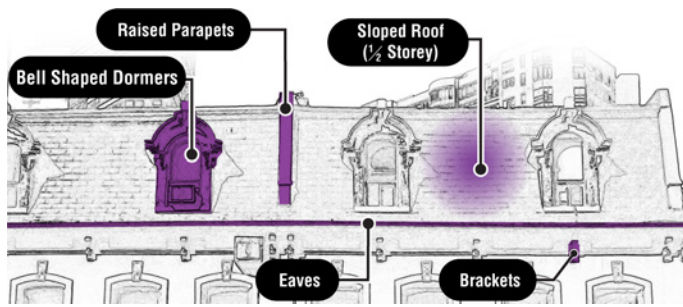


Figure 33: Mansard Roof (Base image: DIALOG, 2015).

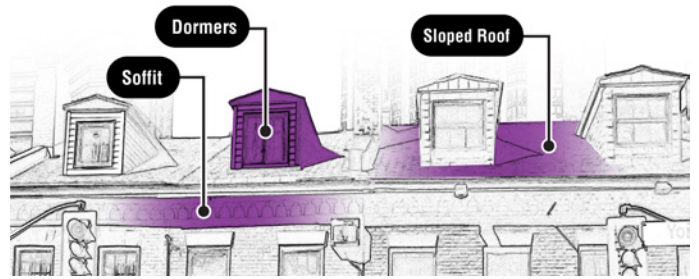


Figure 34: Gable Roof (Base image: DIALOG, 2015).

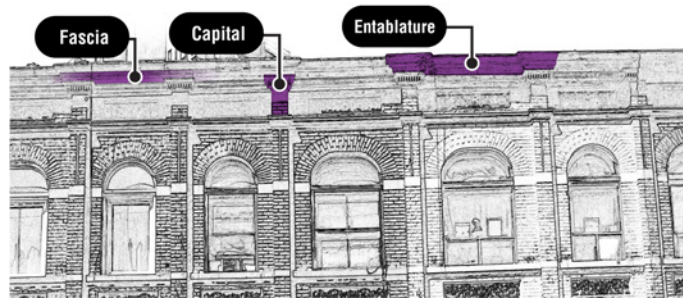


Figure 35: Flat Roof with Cornice (Base image: DIALOG, 2015).

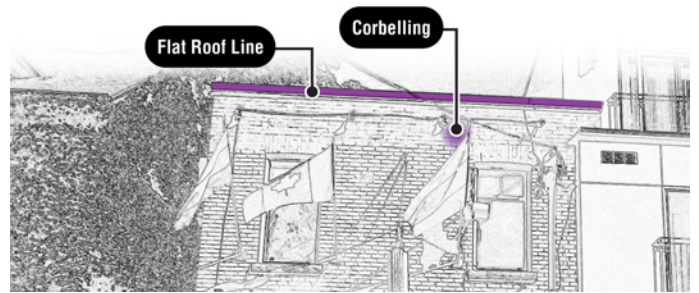


Figure 36: Flat Roof (Base image: DIALOG, 2015).



Figure 37: Wall Features

This diagram shows common features of walls (Base image: DIALOG, 2015).

5.14 Materiality & Wall Design

The exterior walls of *contributing properties* that are visible from the *public realm* are important features that contribute to the District's *cultural heritage value* and *heritage attributes*. Interventions on the exterior walls of *contributing properties* shall be considered as part of a comprehensive maintenance strategy to *conserve* the *contributing property's heritage attributes* and *cultural heritage value*.

It is important to understand the historic assembly of exterior walls and its components prior to planning any interventions. Exterior walls of *contributing properties* may lack insulation, air or vapour barriers and can be vulnerable to deterioration that affects the interior climate of the building.

Section 4.3.4 and chapter 4.5 of the *Standards and Guidelines* provides additional guidance and best practices on *conserving* specific cladding materials.

5.14.1 Additions and alterations shall conserve the historic features and heritage attributes of exterior walls of contributing properties that face the public realm.

- (a) Do not *remove* or conceal features or *heritage attributes* of exterior walls that contribute to the District's *cultural heritage value*.
- (b) *Repair* rather than replace historic materials of exterior walls.
- (c) Replace only the features and materials that are irreparably damaged, rather than re-cladding the entire elevation or building.
- (d) Surfaces that were not painted historically should not be painted. When the opportunity arises, paint from surfaces on wall features not historically painted should be *removed* in a manner that does not damage the wall features or materials.
- (e) Repoint brick masonry using an appropriate and *compatible* mortar mixture and traditional pointing methods.
- (f) The patina of age or irregularities found in older work and materials should not be *removed* or concealed.

5.14.2 When the replacement of historic features of exterior walls of *contributing properties* is necessary, replacements shall *maintain* the original composition, materials, size, finishes, patterns, detailing, tooling, colours, and features and components of the original.

5.14.3 When the replacement of non-historic features of exterior walls of *contributing properties* is necessary, features shall be *restored* to their original condition based on documentary evidence. Where sufficient documentary evidence is not available, replacements shall be physically and visually *compatible* with the *contributing property* and the District's *heritage attributes*, in terms of their composition, materials, size, finishes, patterns, detailing, tooling, colours, and features and components of the wall.

5.14.4 Additions to *contributing properties* shall be designed with materials that are physically and visually *compatible* with and distinguishable from the District's *heritage attributes*, and that do not negatively impact the *integrity* of the *contributing property*.

5.14.5 Exterior historic cladding or features, including wood finishes, stone and brick masonry, and decorative metalwork of *contributing properties* shall be *conserved*.

- (a) *Preserve* and *maintain* features of exterior walls including their varying material finishes using recognized and appropriate *conservation* methods.
- (b) Clean materials only when necessary, to *remove* heavy soiling or graffiti, and choose a gentle cleaning method that does not damage building material.
- (c) Test proposed interventions to establish whether the *conservation treatment* will damage the materials or features of the exterior walls.
- (d) Protect *adjacent* materials from accidental damage during *maintenance* work.

5.15 Signage

This section provides direction on incorporating commercial signage to *conserve* and not detract from the District's *cultural heritage value* and *heritage attributes*. Applications for new commercial signage will be reviewed in accordance with the City of Toronto's Sign By-law.

Commercial activity has been an element of daily life in HYHCD throughout its history. Signage advertising the services and commodities of businesses supports the primary historic and present-day function of Yonge Street as a commercial main street and contributes a dynamic and varied quality to the District's appearance. Historically and today, innovative signage on Yonge Street has both shaped and reflected the character of the HYHCD.

New signage in the HYHCD should be evaluated in the context of the general contribution that signage made to the character of the District. The character of the signage within the HYHCD is varied. Signs of a variety of sizes, shapes and configurations are present, advertising for both commercial tenants and third party businesses. Signage that obscures *heritage attributes* of *contributing properties*, or completely over-clads buildings, is likely to have a negative impact on the District's *cultural heritage value*.

The signage *guidelines* should not be interpreted as a prohibition on signage of every type or style for which there is historic precedent. The intent of the signage *guidelines* is to ensure that signage does not damage or detract from the *heritage attributes* of *contributing properties* that collectively contribute to the District's heritage character. When preparing a design for new signage within the District, property owners should first consider opportunities to reintroduce a historic signage configuration to a *contributing property* (for example, painted sidewall signs or signage bands). This work should be informed by documentary evidence of a building's historic condition.

- (a) Signage for *contributing properties* should be designed and placed in a manner that is physically and visually *compatible* with the District's *cultural heritage value* and *heritage attributes* including the scale and rhythm of building frontages.
 1. Locate and design signage so that it does not detract from or obscure the *heritage attributes* of a *contributing property*, including features of exterior walls, roofs, windows, and storefronts.
 2. Signage should not block, obscure or otherwise negatively impact the windows, doors, roofline, or architectural features of the *contributing property*.
 3. Signage should be limited to the first floor façade and should not extend to upper floors, except when reintroducing a historic signage configuration from the period of significance which existed on an upper floor.
 4. Consider using historical precedents to inform the design of new signage on *contributing properties*.
- (b) Signage should be designed and mounted so that its *removal* does not negatively impact the *integrity* of exterior walls, including material cladding of *contributing properties*.
 1. If signage is being mounted directly on a building, attachments should be made through mortar joints and not masonry units, using non-corrosive fasteners. Use existing holes in the fascia board, where they exist.
 2. Breathable paint products should be specified for painted signs.
- (c) The following signage types may be permitted on *contributing properties*:
 1. Fascia signs: attached to or supported by a fascia board which projects no more than 0.5m from the wall.
 - i. Locate fascia signs on storefront fascias only.
 - ii. Back-lit signs of single letters may be permitted.
 - iii. Neon signs may be permitted.

2. Projecting signs: signage attached to or supported by the wall of a building which projects more than 0.5m from the wall.
 - i. Locate projecting signs in proximity to entrances.
 - ii. Design projecting signs to be higher than entrances to a property.
 - iii. Design projecting signs so that they do not project more than 1.25m from the exterior wall of a building.
 - iv. Mount projecting signs so they cover a minimal amount of the exterior wall. A sign's base should not be wider than the sign itself.
 - v. Back-lit signs of single letters may be permitted.
 - vi. Neon signs may be permitted.
 3. Externally illuminated signs: projecting signage or fascia signage that is lit by an artificial light source located external to the sign.
 - i. Painted glass signs, and signs adhered to the interior of a window and that do not cover more than 15% of the window.
 - ii. Painted sidewall signs in historic sidewall signage locations that date from the period of significance.
- (d) The following signage types may detract from the heritage character of the District and will generally be discouraged:
1. Banners and suspended fabric signs that over-clad *heritage attributes on contributing properties*
 2. Box-style back-lit illuminated signs
 3. Digital display screens
 4. Moving signs with mechanical, automated elements
 5. Signage installed on or projecting from the roof
- (e) Painted signage, including ghost signs, on the sidewalls of *contributing properties* that date from the period of significance should be *conserved*.
- (f) Where a historic signage from the period of significance included painted signage, new painted signage of a similar character may be permitted.



Figure 38: Permitted Signage Types

Sign mounted to fascia board, with no internal illumination (DIALOG, 2015).



Figure 39: Discouraged Signage Types

Signage covering too much building façade, inappropriate size (DIALOG, 2015).



5.16 Views & Key View Sites

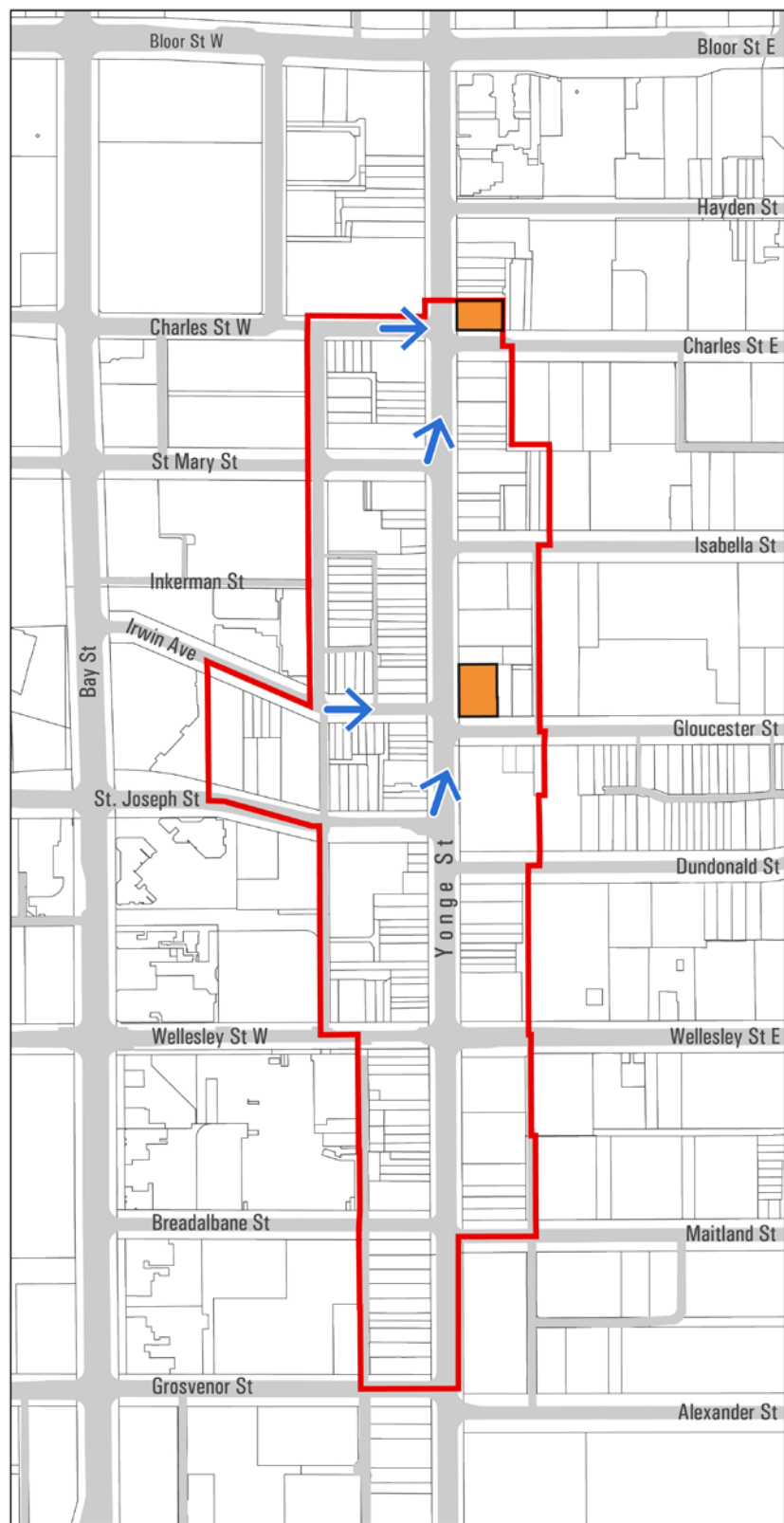
Within HYHCD there are *contributing properties* on which are located prominent buildings or structures that stand out for their architectural detail and location and serve as landmarks within the District. The prominent buildings and views towards them are important *heritage attributes* of the District and their long-term *conservation* is a priority of this Plan.

5.16.1 Interventions to buildings on *contributing properties* identified as key view sites should be held to the highest standard of *conservation*.

5.16.2 Views identified in this Plan from the *public realm* towards key view sites, as identified below, shall be *maintained* and *conserved*. *New development on non-contributing properties* and *additions to contributing properties* should not obstruct these views.

- i) Views towards the Masonic Hall (601-613 Yonge Street, 2 Gloucester Street) as identified in the OP:
 - (a) The Masonic Hall at the north-east corner of Yonge Street and Gloucester Street can be viewed in its entirety looking north from the north-west corner of Yonge Street and St. Joseph Street. The prominent tower and west facing face can be viewed from Irwin Avenue and St. Nicholas Lane as well as Cottage Lane. Its southern façade and corner tower can also be seen from the south side of Gloucester Street when viewed from the northern entry to James Canning Park.
- ii) Views towards Postal Station F (6 Charles Street East) as identified in the OP:
 - (a) Postal Station F can be viewed from several points along Yonge Street and streets intersecting with it. Its south and west façades can be viewed looking north from Yonge Street and St. Mary Street. The west façade and building face can be viewed looking east from Charles Street West. Its south façade can be viewed looking northwest from Charles Street East.

Figure 40: View northeast towards the Masonic Hall from St. Joseph Street.



Historic Yonge Street HCD Key Views and View Sites within HHCD

- HCD Boundary
- Key View Sites

→ Views towards Key View Sites


Not to Scale

5.17 Code Compliance and Accessibility

This Plan supports the inclusive design of private and public spaces such that they are physically accessible to all people in accordance with the *Accessibility for Ontarians with Disabilities Act*. The principles of minimal intervention and reversibility, as described in Standard 3 of the *Standards and Guidelines*, should be considered when undertaking work related to code compliance. An understanding of the intent of the codes is essential for developing approaches that meet that intent without negatively impacting the *cultural heritage value* and *heritage attributes* of the District. Reviewing alternative compliance strategies and new technological solutions is encouraged. Interventions such as *restorations* and *repairs* to *contributing properties* will have regard for *conservation* while being in compliance with the applicable codes and standards such as the Ontario Building Code.

5.17.1 Additions and alterations that are intended to provide access to a contributing property, such as ramps and mobility assistance devices, shall be designed in a manner that do not negatively impact the *cultural heritage value* and *heritage attributes* of the District and the *integrity* of the contributing property.

- (a) *Additions* and *alterations* proposed to provide physical access should be carefully planned and designed to minimize physical and visual impact.
- (b) *Additions* and *alterations* should be located in such a way that they do not obscure, *remove*, or conceal *heritage attributes*, or important features of the *contributing property*.
- (c) Where possible locate *accessibility* features within new *additions*.

5.17.2 Upgrades to contributing properties that are required to comply with current codes pertaining to health, safety, security, *accessibility* and sustainability shall *conserve* the District's *cultural heritage value* and *heritage attributes*, as well as the *integrity* of the contributing property.

5.18 Sustainability

Conservation work should be planned so that sustainability objectives are also achieved. Consideration will be given to initiatives that improve the sustainability and environmental performance of a building and do not detract from the *cultural heritage value* and *heritage attributes* of the District

Historic buildings also have sustainable qualities, including, but not limited to: materials with a long life cycle; materials that can be *repaired* rather than replaced; operable windows, which allow for air flow and temperature control; and, windows and skylights which contribute to daylighting. Additional guidance for achieving *conservation* and sustainability objectives is provided in sections 4.3.1, 4.3.3, 4.3.4, and 4.3.5 of the *Standards and Guidelines*.

5.18.1 Alterations and additions to contributing properties to achieve sustainability objectives are encouraged and shall *conserve* the District's *cultural heritage value* and *heritage attributes* and the *integrity* of the contributing property.

- (a) Do not detract from the *cultural heritage value* or conceal the *heritage attributes* of the *contributing property* when undertaking interventions to improve a building's sustainability performance, including upgrades to the building envelope to improve energy *conservation*.
- (b) Do not over-clad building envelopes with insulation panels or other finishes that conceal historic features or *heritage attributes* of the *contributing properties*.

5.18.2 New features that are intended to meet sustainability objectives should be designed in a manner that respects the contributing property's exterior form, and does not detract from the District's *cultural heritage value* and *heritage attributes* and the *integrity* of the contributing property.

- (a) Where possible, locate and design green roofs, reflective roofs and solar panels so that their elements are not visible from the *public realm*.

5.19 Over-clad Buildings

Several *contributing properties* within the District have been over-clad in such a way that portions of the building have been obscured or concealed. Although these properties contribute to the District's *cultural heritage value* and *heritage attributes*, the *removal* of over-cladding may reveal architectural features that strengthen their contribution.

For the purposes of this Plan, these properties have been identified as *contributing* for their contextual value, and the *policies for contributing properties* apply. If a *Heritage Investigation* demonstrates, to the satisfaction of the City, that a property's historic *building features* remain, then uncovered architectural features will inform the design of any proposed work. Over time, lost features may be reinstated based on documentary evidence.

A '*Heritage Investigation*' in the context of this document refers to a physical investigation that can determine the *integrity* of *building features* that have been over-clad. It may also include documentary research and evidence such as historic photographs, plans, and drawings. The scope of this investigatory work should be determined in consultation with Heritage Planning Staff in advance of the submission of a Heritage Impact Assessment.

At the time of writing, over-clad properties in the District include:

- 10 Wellesley Street West
- 16 Wellesley Street West
- 516 Yonge Street
- 651 Yonge Street
- 662 Yonge Street
- 692 Yonge Street
- 718 Yonge Street

5.19.1 The condition of historic *building features* on over-clad *contributing properties* shall be determined with a *Heritage Investigation* which shall be prepared to the satisfaction of the City. Physical investigation shall be supplemented with historic research and documentation of the building's original condition and shall be used the investigations findings to inform the design of any *additions* or *alterations*.

- (a) Historic research and documentation should be prepared to the satisfaction of the City and submitted in support of any approval under Section 42 of the *Ontario Heritage Act* or for the *alteration* of a *contributing property* that has been over-clad, as required.
- (b) Research should consider the *contributing property's* period of construction, its builder and architect, if known, and the history of *alteration* work undertaken on the property.
- (c) Depending on the nature of work proposed, a Heritage Impact Assessment may be required, which is to be prepared to the satisfaction of the Chief Planner and Executive Director of City Planning or his or her delegate.

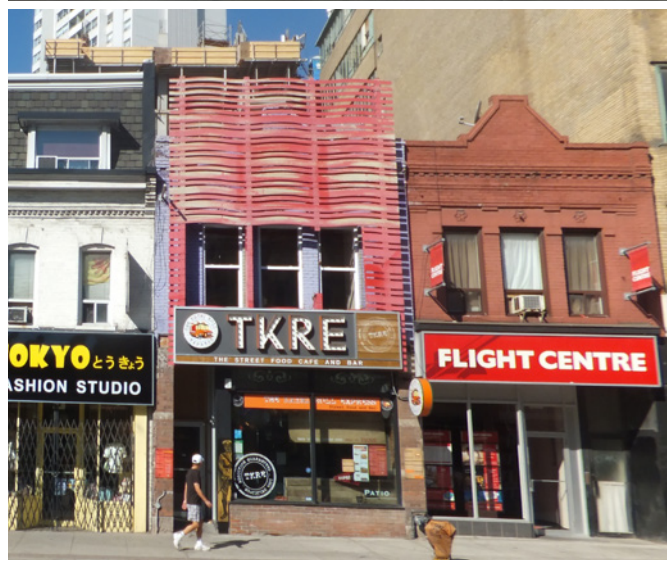
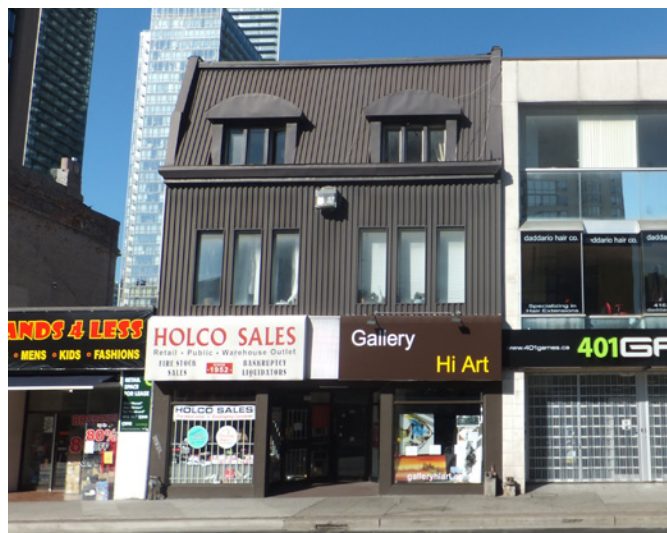
5.19.2 The historic *building features* of an over-clad *contributing property* that may have survived beneath the existing over-cladding shall be *conserved*.

- (a) *Restore* rather than replace historic *building features* of an over-clad *contributing property*. Where they are deteriorated beyond *repair*, historic *building features* should be *restored in-kind*, as informed by physical evidence that has survived, appropriate research and documentary evidence.

5.19.3 Restoration of the historic building features of an over-clad contributing property that have been lost is strongly encouraged, where a sufficient amount of historic building fabric and documentary evidence exists to support restoration.

- (a) Historic *building features* of over-clad *contributing properties* should be *preserved* rather than replaced.
- (b) *Restore* only those historic *building features* that have deteriorated beyond *repair*. Historic *building features* should be *restored in-kind*, as informed by appropriate research and documentation.

5.19.4 When removing over-clad finishes, appropriate methods shall be employed with the necessary care to not damage the historic building features beneath.



Figures 41, 42: Over-clad Buildings

These buildings have been over-clad with an additional exterior cladding. One has metal paneling, the other a metal lattice where the original façade is visible from some angles (DIALOG, 2013).



6.0 Policies and Guidelines for Non-Contributing Properties

- 6.1 Understanding
- 6.2 Demolition
- 6.3 Additions and Alterations
- 6.4 Massing
- 6.5 Facade Patterns and Features
- 6.6 Windows and Fenestration
- 6.7 Roofs
- 6.8 Materiality and Wall Design
- 6.9 Signage

Introduction

This section contains *policies* and *guidelines* intended to manage change within the District in order to meet the objectives of this Plan and to *conserve* the District's *cultural heritage value*.

The *policies* (in **bold** font) set the direction for the management of the District in a clear and direct manner. The directions provided by the *policies* generally use either 'shall' or 'should' language and are to be interpreted accordingly.

The *guidelines* (in regular font) provide suggested ways in which the HCD Plan policies might be achieved, however there may be other methods for satisfying related *policies*. *Guidelines* are useful directions on how to meet the *policies* of the HCD Plan.

In order to account for specific built form and landscape conditions within the District, this section references three *character sub-areas* (described in section 4.4) identified within the District:

- Historic Yonge Street
- St. Nicholas Village
- Residential Pockets

Definitions have been provided for key words, and included in Appendix A.

6.1 Understanding

New development will be designed to *conserve* and enhance the *cultural heritage value* and *heritage attributes* of the District. This does not mean that *new development* should mimic the architectural style or craftsmanship of the past, nor should it replicate historic architectural styles. *New development* should express the design values of its time, while respecting the District's *cultural heritage value* and *heritage attributes* by understanding its overall character and sense of place as the first step in designing *new development*. Each project shall therefore start with an understanding of the District's *cultural heritage value* and *heritage attributes*.

6.1.1 *New development on non-contributing properties shall be compatible with the heritage attributes and cultural heritage value of the District, while reflecting the design values of its own time.*

- New development* should not reproduce the design values and style of earlier architectural eras. *New development* should find contemporary design solutions and expression that are in keeping with the requirements of this Plan.

6.2 Demolition

Managing change on *non-contributing properties*, although they do not significantly contribute to the *cultural heritage value* of the District, is critical to *conserving* its overall character, *heritage attributes* and sense of place as it evolves. As these properties are redeveloped, it is important that they do not remain vacant for extended periods of time. Managing the timing of construction and *demolition* is important in this regard.

6.2.1 The *demolition* of buildings or structures on a *non-contributing property* may be permitted.

6.2.2 If permission to *demolish* a building or structure on a *non-contributing property* is granted, *demolition* activity shall not begin until plans for the replacement building(s) have been submitted and approved by Toronto City Council, in accordance with Section 42 of the *Ontario Heritage Act*.

- (a) *New development* should meet the applicable *policies* and *guidelines* contained in Sections 5, 6 and 7 of this Plan, as well as all applicable City of Toronto by-laws and processes.
- (b) *Substantial* progress should be made in the construction of the replacement building(s) within two years of the *demolition* of the previous building.
- (c) If construction of the replacement building(s) is delayed due to unforeseen circumstances, the City may require interim landscape treatment of the site.

6.3 Additions and Alterations

Additions and *alterations* to *non-contributing properties* include any work that will increase the volume of the existing building, or will *alter* its external appearance. These proposals shall be evaluated for their impact on the *heritage attributes* and *cultural heritage value* of the District as a whole, as well as their *character sub-area* and *adjacent contributing properties*. The *policies* and *guidelines* in this section provide guidance for the design of these interventions.

6.3.1 *Additions* or *alterations* to a *non-contributing property* shall be designed to be physically and visually *compatible* with the *character sub-area* in which such property is located, and to not negatively impact the *heritage attributes* and *cultural heritage value* of the District.

- (a) Historic Yonge Street *character sub-area*:
 - 1. *Additions* less than 12m tall should reinforce the *streetwall* character of the District by being built the full width of the property and to the face of the extant building.
 - 2. *Additions* taller than 12m will also adhere to *policies* and *guidelines* for building massing.
- (b) Residential Pockets & St. Nicholas Village *character sub-areas*:
 - 1. *Additions* should not be located in the front-yard *setback* of existing buildings.

6.4 Massing

New development and additions to non-contributing properties will be designed to *conserve* the *cultural heritage value* and *heritage attributes* of the District through the use of *stepbacks*, *setbacks*, and careful building massing. *Contributing properties* within the District are typically within 2-4 storeys, which imparts a distinct three-dimensional character to the District and allows for a high-degree of sun penetration to side streets. This open character is particularly distinctive from surrounding areas that are more intensely developed.

6.4.1 *New development and additions to a non-contributing property shall conserve the cultural heritage value and heritage attributes of the District.*

- (a) Historic Yonge Street *character sub-area*: *New development* should be a minimum of 3 storeys. Existing *contributing properties* are generally 2-4 storeys.
- (b) St. Nicholas Village and Residential Pockets *character sub-areas*: *New development* should be a minimum of 2 storeys. Existing *contributing properties* are generally 2-3 storeys.

6.4.2 *New development and additions to a non-contributing property shall conserve the setback condition of character sub-area where the property is located.*

- (a) Historic Yonge Street *character sub-area*: The *base building*, or first three storeys of *new development and additions*, should be built to the full extent of the front lot line *adjacent* to a street. *Base buildings* should generally be built the full extent of side lot lines, except for where the side lot line is *adjacent* to a street that intersects with Yonge Street and a new public open space is being created.
- (b) St. Nicholas Village *character sub-area*: *New developments and additions* should be *set back* from the front lot line the average *setback* distance of *contributing properties adjacent* to it.

- (c) Residential Pockets *character sub-area*: *New developments and additions* should be *set back* from the front lot line the average *setback* distance of house form buildings on *contributing properties adjacent* to it.

6.4.3 *New development and additions to a non-contributing property shall be designed to be compatible with the design, form, and massing of adjacent contributing properties, maintain the legibility and prominence of the low-scale streetwall, and conserve the three-dimensional integrity of adjacent contributing properties.*

- (a) Historic Yonge Street *character sub-area*: Any portion of *new development and/or additions* taller than the *adjacent heritage streetwall* should *step back* generally 10m from any property line fronting Yonge Street, informed by a Heritage Impact Assessment.
- (b) Historic Yonge Street *character sub-area*: Any portion of *new development and/or additions* taller than the *adjacent heritage streetwall* on a *non-contributing property* fronting on any street intersecting with Yonge Street should provide a *stepback* from the property line of *adjacent contributing properties*, as informed by a Heritage Impact Assessment.
- (c) Historic Yonge Street *character sub-area*: Any portion of *new development and/or additions* taller than the *adjacent heritage streetwall* or on a *non-contributing property* fronting onto any street or laneway parallel to Yonge Street should provide a *stepback* from the property line of *adjacent contributing properties*, as informed by a Heritage Impact Assessment.
- (d) Historic Yonge Street *character sub-area*: A gradual projection into the *stepback* from an elevation of a building on a *non-contributing property* fronting onto Yonge Street, commencing at an appropriately high level above the *streetwall*, may be considered where the cantilevered portion of *additions* is physically and visually *compatible* with *adjacent contributing properties*, the low-scale *streetwall*, and the heritage character of the District, as demonstrated through a Heritage Impact Assessment.

- (e) St. Nicholas Village *character sub-area* and Residential Pockets *character sub-area*: Any portion of *new development* and/or *additions* taller than the *adjacent heritage streetwall* should *step back* from the property line of *adjacent contributing properties*, as informed by a Heritage Impact Assessment.
- (f) Additional *stepback* distances beyond that identified in *guideline (a)* of this *policy* may be determined where the minimum *stepback* does not *conserve* the *cultural heritage values* and *attributes* of *adjacent contributing properties*, as informed by a Heritage Impact Assessment.

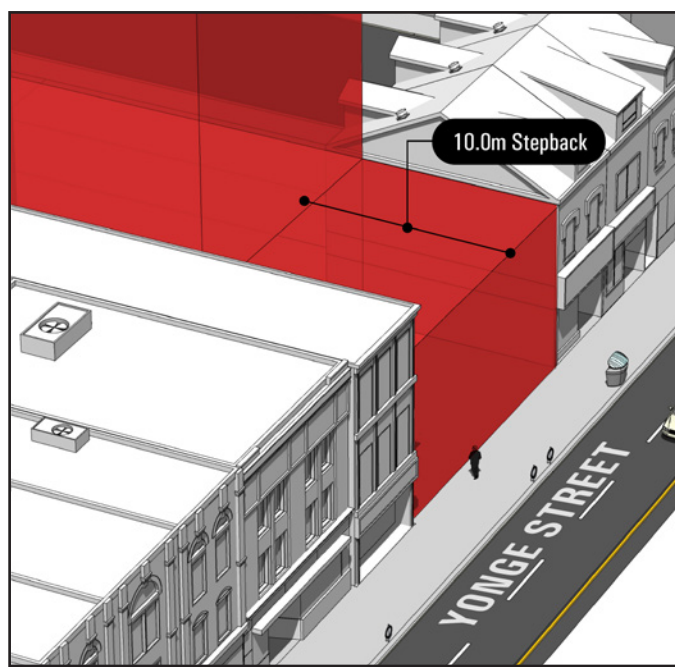


Figure 44: Stepbacks on New Development

Diagram illustrating a 10m *stepback* from Yonge Street above the *base building* of a *new development*.

6.5 Façade Patterns and Features

Contributing properties within the District display a strong rhythm of horizontal and vertical articulations in their façade. This rhythm is reinforced by the fine-grained vertical divisions of storefronts and building bays, as viewed in elevation, of between 3 and 7 metres wide, which also carries over to the lot width of residential areas.

Historic buildings within the District have particular glazing ratios that varies with their original use. These buildings are generally less transparent than contemporary buildings.

New development will respect and respond to the horizontal and vertical rhythm of the façades of *contributing properties* within the same block (primarily) or within their *character sub-area* (secondarily).

6.5.1 *New development and additions on non-contributing properties shall reference the horizontal rhythm articulated in the façades of adjacent contributing properties.*

- (a) Articulate the transition between floors in the façade design of buildings that form part of the *streetwall*.
- (b) Align storefront heights with the storefront heights of *adjacent contributing properties*.
- (c) Align horizontal façade articulation with the articulation of *adjacent contributing properties*.
- (d) Where there are no *adjacent contributing properties* follow the horizontal rhythm of properties on the same block that are part of the *streetwall*.

6.5.2 New development and additions on non-contributing properties within the Historic Yonge Street *character sub-area* shall provide separated retail bays, expressed on the elevation of the *new development* and/or *additions*, that *complement the existing fine-grained store frontage widths, contribute to the animated streetscape, and reinforce the pedestrian-oriented public realm.*

- (a) *New development* fronting onto Yonge Street should provide retail bays at grade for the full extent of the frontage of the *new development* and may also provide retail entrances from Privately Owned Privately-Accessible Spaces (POPS) on *new developments* on corner properties.
- (b) The retail bays should not be higher than 1 storey (approximately 4.5 metres). Double height retail bays are not permitted.

6.5.3 New development and additions on non-contributing properties shall reference the vertical rhythm articulated in the façades of *adjacent contributing properties.*

- (a) Building façades should be divided in a way that reflects the predominant building widths of *adjacent contributing properties.*
- (b) The division of upper storey façades should align with the division of at-grade retail bays, where they exist.
- (c) Where there are no *adjacent contributing properties* follow the vertical rhythm of properties on the same block that are part of the *streetwall.*

6.5.4 New development and additions on non-contributing properties shall be designed with windows and opportunities for access and egress, and not blank walls, towards streets or open spaces within the District.

6.5.5 The façade of any new development and additions on a non-contributing property that is visible from the *public realm* and is at or below the height of the *streetwall* shall be designed with only punched windows.

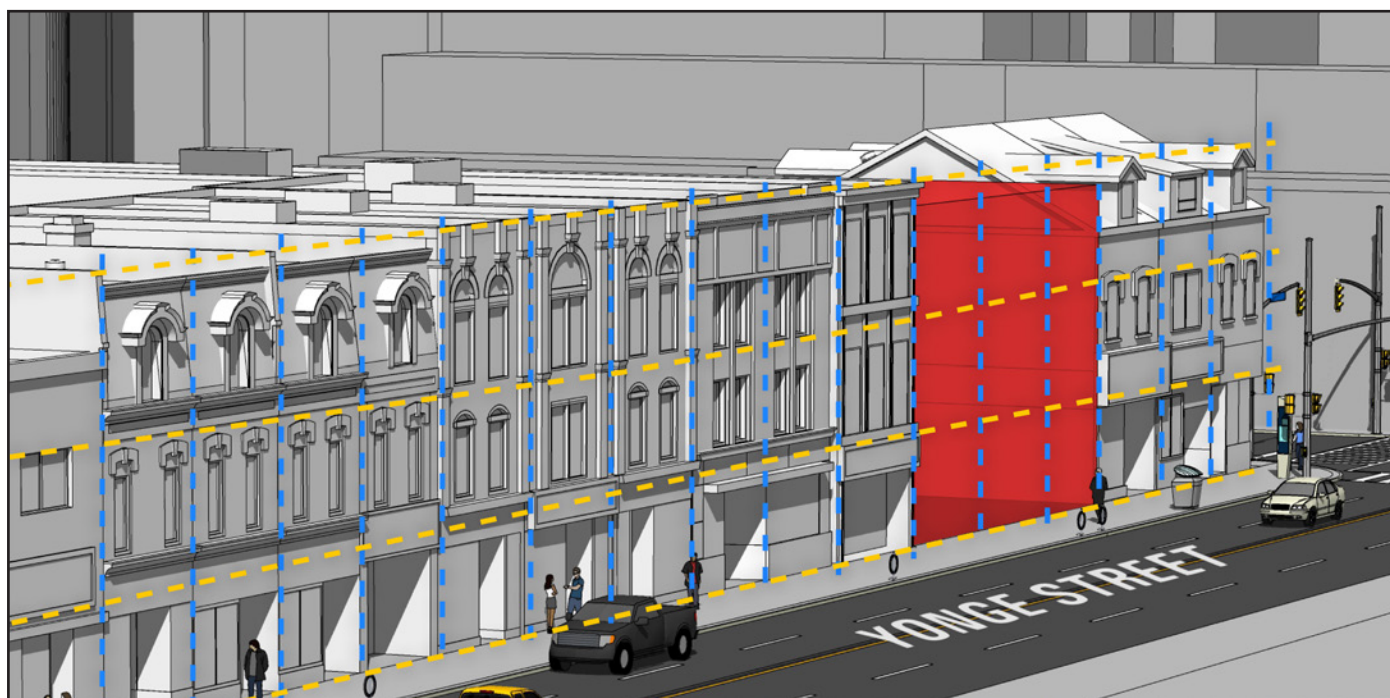


Figure 45: Façade Articulation

This illustration shows how the articulation of a façade on a *non-contributing property* shall be informed by the horizontal (yellow) and vertical (blue) articulation of *adjacent contributing properties.*

6.6 Windows & Fenestration

Windows and the detailing that surrounds them are key architectural elements on buildings, and a strong contributor to the building's character. Within the District there is a distinct pattern of glazing ratios in *character sub-areas* that is driven largely by the building's original use.

It is important for *new development* and *additions* on *non-contributing properties* within the District to respond to these glazing ratios in their design.

6.6.1 New development and additions on non-contributing properties shall be designed to respect the pattern of glazing on adjacent contributing properties in their character sub-area at grade.

- (a) Historic Yonge Street *character sub-area: New development* and *additions* should include approximately 80% glazing within the first storey above grade (no more than 90% and no less than 70%) for the full extent of the property fronting onto Yonge Street. Upper storeys of a building not *stepped back* from a building face or lot line should provide between 40% and 50% glazing on each storey.
- (b) St. Nicholas Village and Residential Pockets *character sub-areas: New development* and *additions* should provide a consistent proportion of glazing between 40% and 50% on ground and upper storeys for the portion of the building facade not *stepped back* from a building face or lot line.

6.6.2 Punched windows shall be included in the design of buildings on a non-contributing property for the portion of the building facade that is at or below the height of the streetwall.

- (a) Portions of a building facade that are *stepped back* from a building face or lot line should be designed with a greater proportion of glazing to create a lighter visual appearance which is distinguishable from the historic character of buildings above.



Figure 46: Residential Building Glazing

Glazing ratios of ground and upper storeys on residential buildings (Base image: DIALOG, 2015).

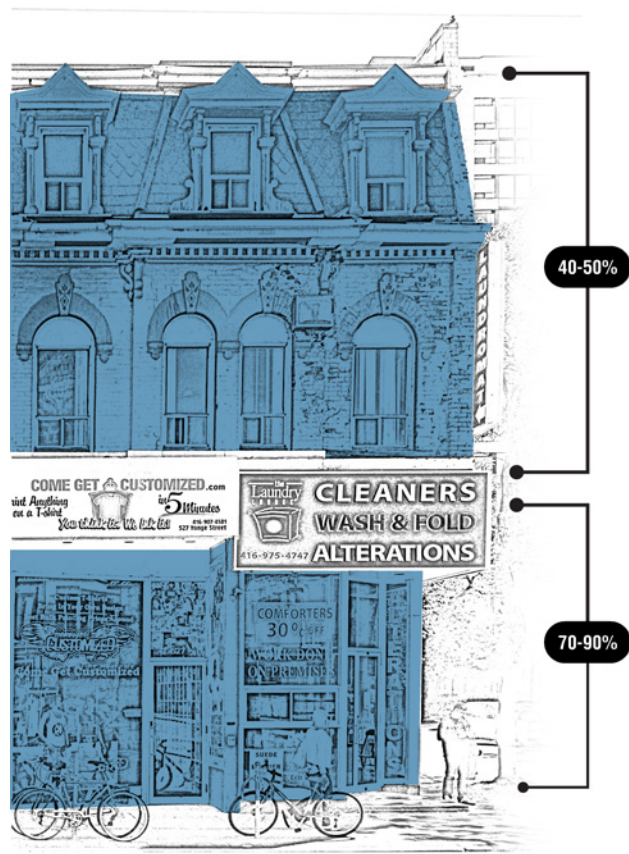


Figure 47: Mixed-use Building Glazing

Glazing ratios of ground and upper storeys on mixed-use buildings (Base image: DIALOG, 2015).

6.7 Roofs

A building's roof helps to delineate its height, massing, and relationship to the *public realm*. *New development and additions to non-contributing properties* will be designed with consideration for the roof of surrounding *contributing properties* including any new roof top elements. In this section an apartment building refers to residential buildings of two or more storeys with multiple dwelling units and a single primary entrance.

6.7.1 *New development and additions on non-contributing properties shall be designed to respect the roof character and design of contributing properties in their character sub-area.*

- (a) Historic Yonge Street *character sub-area*: *New development and additions* may include flat roofs, or roofs sloped towards Yonge Street, as applicable. Roofs should not slope at right angles to Yonge Street, except features such as dormers or bays.
- (b) St. Nicholas Village & Residential Pockets *character sub-areas*: *New development and additions* should include sloped roofs in house-form buildings. Apartment buildings may be designed with flat roofs.

6.7.2 *New rooftop elements on non-contributing properties, such as mechanical penthouses, vents, drainage components, sustainable technologies, including solar panels or wind generators, satellite dishes, skylights, metal chimneys, flutes, and decks should not have a negative impact on the District's cultural heritage value.*

- (a) If it is not technically possible to locate the rooftop elements out of view from the *public realm*, ensure that they are appropriately screened. Use screening material and design the screen so as to be *compatible* with the District's *heritage attributes*.



Figure 48: *Contributing properties in the St. Nicholas Village Character Sub-Area often feature sloped roofs.*

6.8 Materiality & Wall Design

New development and additions on non-contributing properties will be designed with a selection of materials and finishes that respects and responds to the *heritage attributes* and *cultural heritage value* of the District. The materials of *new development* and *additions to non-contributing properties* that occupy a built context similar to *adjacent contributing properties* shall be given higher priority than any *stepped back* portions of the *new development* or *addition*. Contemporary materials may be used to be distinguishable from *new development* and *additions* and historic buildings. For tall buildings these materials add a lightness to a building and mitigate some of its visual impact.

6.8.1 Cladding materials used on exterior walls of *new development* and *additions on non-contributing properties*, that are visible from the *public realm*, shall be physically and visually compatible with the *heritage attributes* and *cultural heritage value* of the District and the *character sub-area* of the property.

(a) Historic Yonge Street *character sub-area*:

1. Use brick masonry and/or stone in the articulation of architectural details, such as columns or pilasters used to demarcate retail bays and breaks in the building's façade along the *streetwall*.
2. Contemporary materials, such as glass or metal, may be permitted in the storefront of a retail bay, providing they do not negatively impact the *heritage attributes* and *cultural heritage value* of the District.
3. Contemporary materials, such as glass or metal, may be permitted for portions of *new development* which are *stepped back* from a building face or lot line, providing they do not negatively impact the *heritage attributes* and *cultural heritage value* of the District.

(b) St. Nicholas Village & Residential Pockets *character sub-areas*:

1. Use brick masonry and/or stone in the articulation of architectural details that make up the portion of a building that is not *stepped back* from a building face on the same property.
2. Contemporary materials, such as glass or metal, may be permitted for portions of *new development* which are *stepped back* from a building face on the same property, providing they do not negatively impact the *heritage attributes* and *cultural heritage value* of the District.



Figure 49: 556 Yonge Street (a *non-contributing property*) uses brick cladding to be physically and visually compatible with the buildings in the Historic Yonge Street Character Sub-Area.

6.9 Signage

As a District with a distinct commercial character and history of commercial activity, signage in HYHCD is an important component of the overall look and feel of the District.

Although *contributing properties* may reference historical sign design and configurations, *non-contributing properties* should pursue a contemporary design, subject to the *guidelines* in this section.

As with signage on *contributing properties*, when evaluating whether or not signage should be permitted on *non-contributing properties*, the potential impact should be considered in the context of the contribution signage makes to the heritage character of the District overall. Signs on *non-contributing properties* reside in the same HCD as *contributing properties* as contextual elements. Sign types, scale and deployment should be similar to *contributing properties*.

These *guidelines* provide direction on incorporating commercial signage to *conserve* and not detract from the *heritage attributes* and *cultural heritage value* of the District. Applications for new commercial signage will also be reviewed in accordance with the City of Toronto's Sign by-law and the definitions and regulations specified therein.

- (a) Signage on *non-contributing properties* should be physically and visually *compatible* with the District's *cultural heritage value* and *heritage attributes* including the scale and rhythm of frontages of *adjacent contributing properties*.

1. The signage should be located and designed so that it does not detract from or obscure the *building features* of *adjacent contributing properties*, including features of exterior walls, roofs, windows and storefronts.
2. Signage should not cover windows.
3. Signage should be limited to the ground floor façade and should not extend to upper floors.

- (b) The following signage types may be permitted on the first floor of *non-contributing properties*:

1. Wall or fascia signs: attached to or supported by a fascia board which projects no more than 0.5m from the wall.
 - i. Back-lit signs of single letters may be permitted.
 - ii. Neon signs may be permitted.
 2. Projecting signs: signage attached to or supported by the wall of a building which projects more than 0.5m from the wall.
 - i. Locate projecting signs in proximity to entrances.
 - ii. Design projecting signs to be higher than entrances to a property.
 - iii. Design projecting signs so that they do not project more than 1.25m from the exterior wall of a building.
 - iv. Mount projecting signs so they cover a minimal amount of the exterior wall. The area of the sign closest to the wall should not be wider than the sign itself.
 - v. Back-lit signs of single letters may be permitted.
 - vi. Neon signs may be permitted.
 3. Externally illuminated signs: projecting signage or fascia signage that is lit by an artificial light source located external to the sign.
 4. Painted glass signs, and signs adhered to the interior of a window and that do not cover more than 15% of the window.
- (c) The following signage types may detract from the heritage character of the District and will generally be discouraged:
1. Banners and suspended fabric signs.
 2. Box-style back-lit illuminated signs.
 3. Digital display screens.
 4. Moving signs with mechanical, automated elements.
 5. Signage installed on or projecting from the roof.



7.0 Policies and Guidelines for Public Realm

- 7.1 Laneways
- 7.2 Parking
- 7.3 Privately Owned Publicly-Accessible Space (POPS)
- 7.4 Utilities and Public Works
- 7.5 Lighting & Street Furnishings
- 7.6 Circulation

Introduction

This section contains *policies* and *guidelines* intended to manage change within the District in order to meet the objectives of this Plan and to *conserve* the District's *cultural heritage value*.

The *policies* (in **bold** font) set the direction for the management of the District in a clear and direct manner. The directions provided by the *policies* generally use either 'shall' or 'should' language and are to be interpreted accordingly.

The *guidelines* (in regular font) provide suggested ways in which the HCD Plan *policies* might be achieved, however there may be other methods for satisfying related *policies*. *Guidelines* are useful directions on how to meet the *policies* of the HCD Plan.

In order to account for specific landscape conditions within the District, this section references three *character sub-areas* (described in section 4.4) identified within the District:

- Historic Yonge Street
- St. Nicholas Village
- Residential Pockets

Definitions have been provided for all key words, and included in Appendix A.

7.1 Laneways

Laneways have been identified as a *heritage attribute* of the District. They are an important component of the District's character and indicative of its historic development and boundaries. Furthermore these routes serve several important functions. As service delivery routes they keep service traffic off of Yonge Street and support its ongoing function and character as an overland transportation route. They also serve as auxiliary pedestrian circulation routes, helping to absorb some of the pedestrian traffic in the area.

Within HYHCD there are both "blind" laneways that are dead-end and cannot be used for circulation and "through" laneways that are used for circulation.

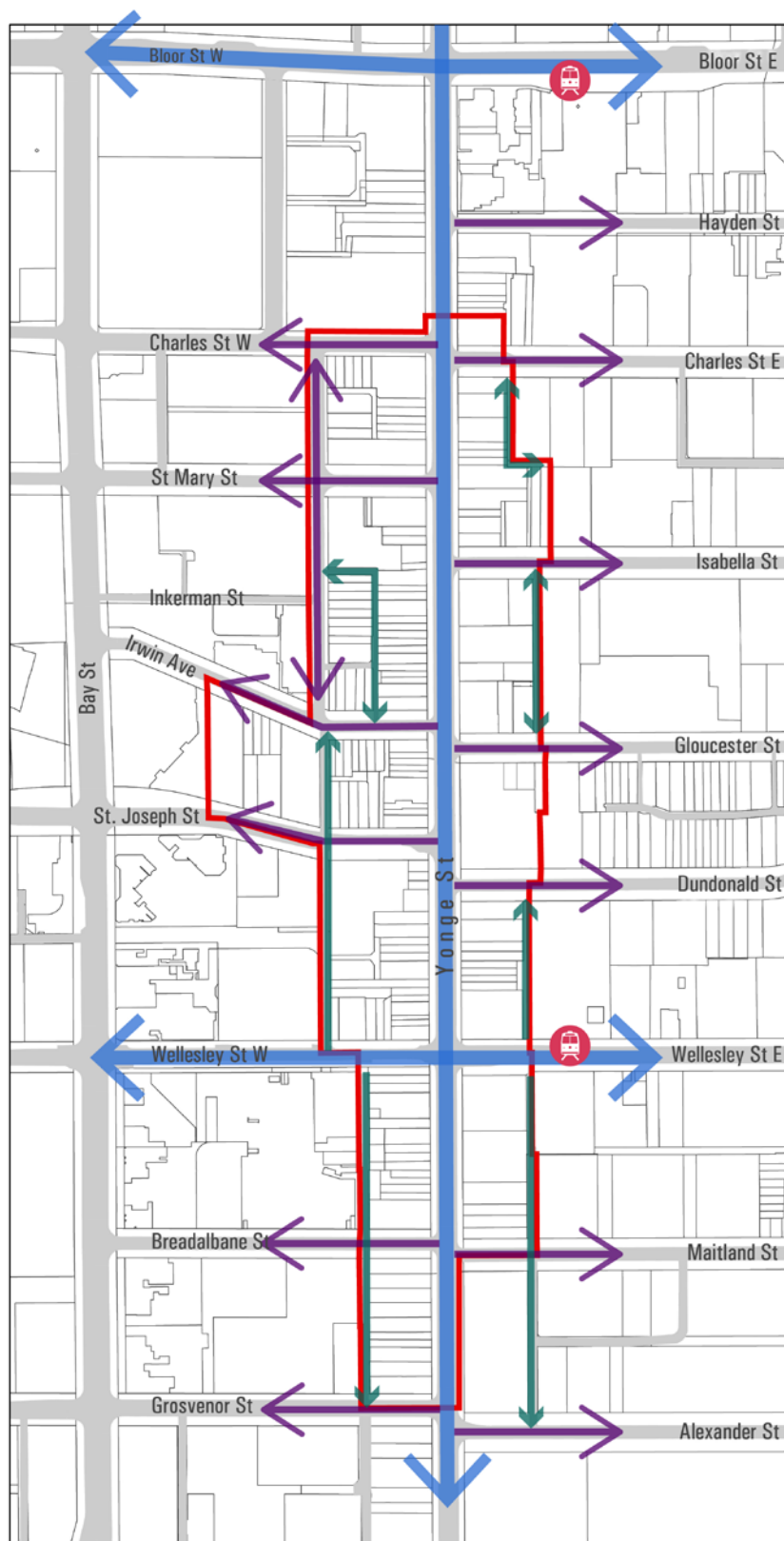
7.1.1 Public laneways within the District should be conserved as publicly accessible circulation routes.

- (a) Laneways should continue to serve as service connections for businesses with a frontage on Yonge Street, and as part of the broader pedestrian circulation network.
- (b) Any road or utility work planned for laneways should recognize the ongoing use of these routes by pedestrians, and plan for their continued use by pedestrians in the future.
- (c) Laneways should be accessible at all hours of the day and times of year.
- (d) Business servicing and delivery hours should be coordinated so as to *maintain* the use of a laneway as a circulation route.

7.1.2 As the opportunity arises, public laneways should be enhanced with landscaping and lighting treatments to create a pedestrian-friendly environment.

7.1.3 If blind laneways are conferred to a private entity for the purpose of land consolidation and redevelopment then an equivalent amount of publicly accessible space should be provided on the site.

Figure 50: Previous page: Lilacs blooming in Cottage Lane, looking north.



Historic Yonge Street HCD Laneways & Circulation Route Hierarchy

-  Primary Circulation Route
-  Secondary Circulation Route
-  Laneways
-  Subway Stations


Not to Scale

7.2 Parking

As a densely developed urban environment parking within HYHCD is generally limited to structured below-ground parking, with some additional parking on side streets. There are no surface parking lots in the District, and no further surface parking lots shall be created. As HYHCD continues to develop, any additional parking will be accommodated underground with appropriate access and screening to make a minimal impact (physical and visual) on the *public realm*.

7.2.1 New surface parking lots shall not be created facing Yonge Street.

- (a) Expansion of existing surface parking lots is prohibited.
- (b) *Removal* of existing surface parking lots is encouraged.

7.2.2 Parking areas for *new development* shall be located underground.

7.3 Privately Owned Publicly-Accessible Space (POPS)

Although there are no POPS within the District, there may be some opportunities to create them in the future. The key consideration in doing so will be *maintaining* the historic *setbacks* of the District's *character sub-areas*.

7.3.1 Opportunities for new POPS should be investigated as *new development* is proposed within the District.

7.3.2 New POPS that will disrupt the historic *setbacks* of *character sub-areas* within the District, including the *streetwall*, should not be created.

- (a) POPS should be designed as open to the *public realm* and free of any barriers, including but not limited to: fences, planter boxes, and planter beds integrated with the sidewalk.
- (b) Historic Yonge Street *character sub-area*:
 1. Do not incrementally disrupt the *integrity* of the *streetwall* on a block.
 2. POPS may be incorporated along streets intersecting with Yonge Street, and should have a frontage to both Yonge Street and the street it intersects with.
- (c) St. Nicholas Village & Residential Pockets *character sub-areas*:
 1. POPS may be provided in the required *setback* area along a building frontage.



Figure 51: A recent development project at 599 Yonge Street includes a POPS at Yonge and Gloucester streets.

7.4 Utilities and Public Works

In planning and undertaking *maintenance* and upgrading work for public infrastructure, a key design principle and objective should be de-cluttering the *public realm* of unnecessary objects, particularly objects that would detract from views towards *contributing properties*, or from the use of the sidewalk including during civic gatherings and celebrations.

7.4.1 Utility companies and City departments undertaking ongoing *maintenance* and improvements to utility infrastructure shall advise Heritage Planning Staff prior to undertaking any work in the District.

- (a) Use the HCD Plan objectives to guide the planning and execution of public works projects within HYHCD.
- (b) Design and locate permanent infrastructure so that it does not obstruct views of prominent buildings, or *contributing properties*.

7.4.2 New public utilities and upgrades of existing utilities should be hidden from view of streets and open spaces.

- (a) Electrical boxes, cables, and wiring should be buried wherever possible, or contained within buildings.
- (b) If an access or service box for utility infrastructure cannot be buried, then it should be located on side streets, wherever possible.

7.4.3 Widening of sidewalks is desirable, but should only be undertaken where it can be achieved while retaining the historic *streetwall* condition.

- (a) It is preferable to widen sidewalks by *altering* the configuration, width, and/or number of traffic lanes.

7.5 Lighting & Street Furnishings

Lighting, and particularly pedestrian scale lighting, helps to contribute to the pedestrian friendly character of the District while creating an overall sense of safety and security. In keeping with the approach to utilities and public works, any new lighting or street furnishings should aim to de-clutter the street in order to support a comfortable experience for pedestrians, and to not obstruct views of *contributing properties*.

As part of a *public realm* improvement plan, new lighting should be considered for the District that would reinforce its character and sense of place. Any new design should reference and be symbolic of its character while achieving the objectives noted above. Lighting design should consider historical precedents, but need not necessarily replicate a historical lighting design.

7.5.1 New lighting within the District should be designed to be pedestrian scaled and cohesive. Any new street lighting should be implementable District-wide.

- (a) New lighting may be affixed to the exterior wall of properties so long as it does not damage the building and is physically and visually *compatible* with, and does not detract from, the *heritage attributes* and *cultural heritage value* of the District.

7.5.2 High pressure sodium wall lights should be *removed* from the façade of *contributing* and *non-contributing properties* as the opportunity arises.

- (a) Within HYHCD there are multiple instances where high pressure sodium lights have been affixed to the exterior wall of a building facing Yonge Street. These should be *removed* throughout the District, as the opportunity arises, and replaced with appropriate pedestrian scaled lighting.

7.5.3 Electrical outlets should be incorporated into new lighting poles within the District.

- (a) Including electrical outlets and/or connections into light standards should support the ongoing use of the District as a civic gathering space.
- (b) Consider probable and preferred locations for hosting events and/or seasonal decorations that may require electricity when planning for additional electrical connections. It may not be necessary to provide connections at every light pole.

7.5.4 Planter boxes and additional street furnishings such as benches should be avoided on the sidewalk along Yonge Street.

- (a) If there is interest in adding decorative plantings to Yonge Street they should be designed as fixtures to light standards above pedestrian height.
- (b) If there is interest in adding temporary banners to advertise festivals, or a Business Improvement Area they should be incorporated as fixtures to light standards above pedestrian height.
- (c) Yonge Street's narrow sidewalks and high volume of pedestrian traffic are not conducive to street furnishings such as benches. Additional seating may be incorporated on side streets intersecting with Yonge Street or in new POPS that are properly located on side streets as per section 7.3 of this Plan. Alternatively, if the sidewalk is widened by reducing the space for travel lanes, then additional furnishings such as benches may be considered.

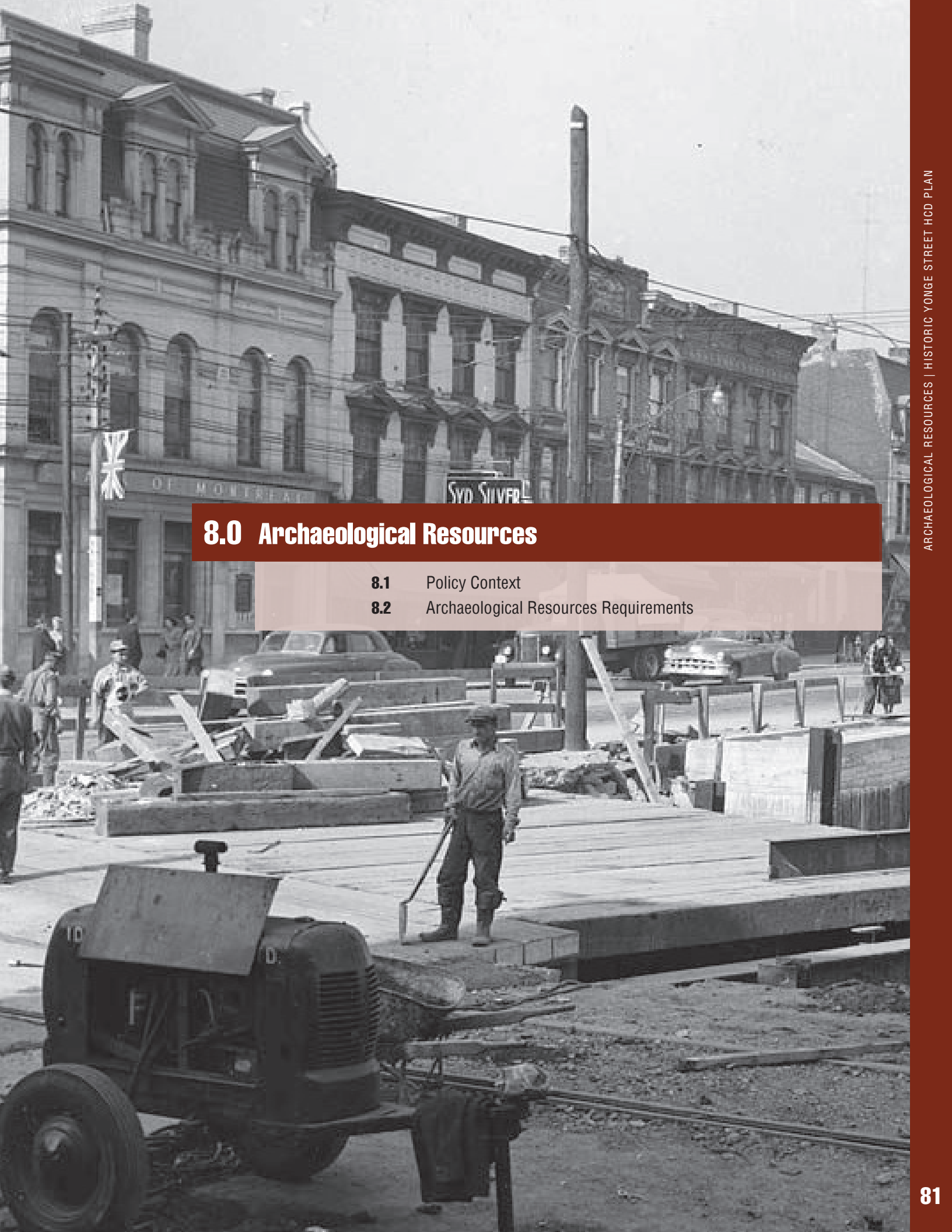
7.6 Circulation

HYHCD is, and has historically been, a major transportation route. While this Plan is supportive of this ongoing role and function, it recognizes the ongoing need to balance the needs of multiple users within the public right-of-way.

7.6.1 Permanent or temporary road traffic closures along Yonge Street to create additional pedestrian space and/or dedicated lanes for cyclists should be permitted.

- (a) Although lane closures are permitted, Yonge Street should continue to be used as a general vehicular circulation route.

7.6.2 The use of removable bollards and roll curbs may be permitted in areas that have been identified as suitable for permanent or temporary lane traffic closures by the City.



8.0 Archaeological Resources

8.1 Policy Context

8.2 Archaeological Resources Requirements

8.1 Policy Context

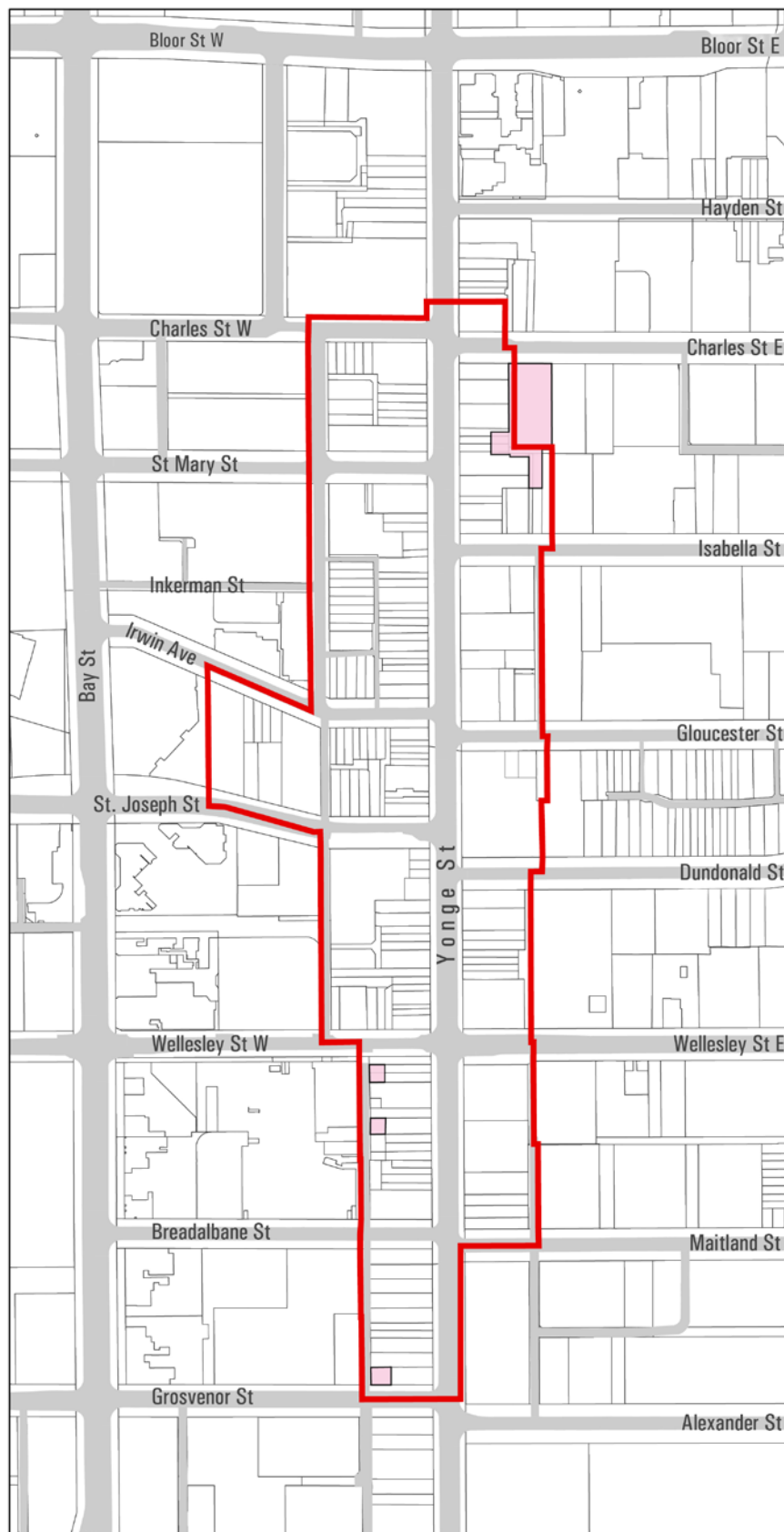
The *City of Toronto's Archaeological Management Plan* provides a more refined approach to identifying general *areas of archaeological potential* than is possible through the application of general Provincial criteria. The intent of the Archaeological Management Plan (AMP) is to ensure that *archaeological sites* and *resources* are adequately considered and studied prior to any form of development or land use change that may affect them. The AMP also identifies specific areas of heightened archaeological sensitivity, such as known *archaeological sites*, referred to as “Archaeologically Sensitive Areas” (ASAs). These represent concentrations of interrelated features of considerable scale and complexity, some of which are related to single particularly *significant* occupations or a long-term continuity of use, while others are the product of a variety of changes in use or association through time and therefore constitute an array of overlapping but potentially discrete deposits. The AMP has not defined any ASAs within the District at this time.

When redevelopment is proposed for any lands that incorporate *areas of archaeological potential*, it triggers an assessment and evaluation process (Stage 1 Background Study and Property Inspection) that begins with a detailed reconstruction of the history of occupation and use of the property in order to identify specific features of potential archaeological interest or value and to predict the degree to which they are likely to have survived later development events.

In cases where the Stage 1 study confirms that there is a probability that *significant archaeological resources* may be present on an urban property, such as those in the HCD, some form of test excavations by a qualified expert are required (Stage 2 Property Assessment). If the results of the excavations identify *archaeological resources* and confirm their significance, more extensive investigations may be required (e.g., Stage 3 Site-Specific Assessment), but often it is possible at the conclusion of the Stage 2 work to evaluate the *cultural heritage value* of the archaeological

remains and to develop any required Stage 4 Mitigation of Development Impacts to minimize or offset the negative effects of the proposed redevelopment. Such strategies may consist of planning and design measures to avoid the archaeological remains, archaeological monitoring during construction, or extensive archaeological excavation and recording of the finds prior to any construction, or some combination of these approaches. Archaeological monitoring and excavation work on site is followed by comparative analyses of the archaeological data that have been recovered (“salvaged”) and the interpretation of those data.

The identification of the most appropriate form of Stage 4 mitigation requires close consultation between the consulting archaeologist, the development proponent and their agents and contractors, and the planning approvals and regulatory authorities and shall be carried out in accordance with the *City of Toronto's Archaeological Management Plan*, the OP and applicable Provincial regulations. This overall assessment process generally takes place in the context of development applications requiring Zoning By-law Amendments, Official Plan Amendments, Plans of Subdivision, or Condominium and Site Plan Control, as well as certain Minor Variance applications such as when associated with a designated property or ASA. The City of Toronto's Archaeological Management Plan is subject to regular updates and should be consulted for the most current definition of lands with archaeological potential.



Historic Yonge Street HCD Archaeological Potential

- HCD Boundary
- Areas of Archaeological Potential



8.2 Archaeological Resources Requirements

8.2.1 Areas of Archaeological Potential

Within HYHCD, nine properties represent, in whole or in part, areas of *archaeological potential* which are *contributing properties*.

In general, the *City of Toronto's Archaeological Management Plan* assigns archaeological potential on a simple “yes” or “no” basis. Either a property exhibits archaeological potential or it does not. Research undertaken for the Historic Yonge Street HCD Study and Plan has refined this approach for each of the nine properties that exhibit archaeological potential by categorizing each property according to the types of activities

that would likely require an archaeological assessment, or review of the need for an archaeological assessment, prior to activities that will result in some form of ground disturbance that might not otherwise be subject to archaeological planning control outside of a designated Heritage Conservation District (Table 1). These properties, and the potential *alterations* of concern, are identified in Table 2.



Figure 53: Yonge and Grosvenor streets in 1914, looking northwest (City of Toronto Archives, Fonds 200, Series 372, Subseries 70, Item 12).

8.2.2 Permit Requirements

For properties within *areas of archaeological potential*, soil disturbance activities associated with large scale development, such as applications under the *Planning Act*, will be subject to archaeological review by City staff and an archaeological assessment will be required prior to any soil disturbance activity.

Proposed small-scale *alterations* to *contributing properties* will be subject to archaeological review by City staff and an archaeological assessment may be required prior to any on-site work that involves:

- *Additions* to existing structures requiring subsurface disturbances.
- New structures/installations in open space areas within other part(s) of the property requiring subsurface disturbances.
- Foundation *repair/alteration* to existing buildings.
- New service hook ups or *repairs* to a building frontage with a minimal *setback* and originating from the *adjacent* right-of-way.
- New service hook ups or *repairs* to a building *set back* from the right-of-way of origin.
- Landscape *alterations* requiring subsurface excavation/grade changes.
- Site *alterations* also includes any construction activities requiring permits or approvals under Provincial legislation, such as the *Planning Act*, or the *Building Code Act*.

Not all *contributing properties* necessarily require review and/or assessment for all types of identified alterations (see Table 2).

Non-contributing properties within *areas of archaeological potential* where soil disturbances associated with large-scale redevelopment, such as applications under the *Planning Act*, including Committee of Adjustment applications, will be subject to archaeological review by City staff and an archaeological assessment will be required prior to any on-site work. Small-scale *alterations* not subject to *Planning Act* control will not, in most cases, require archaeological review/assessment.

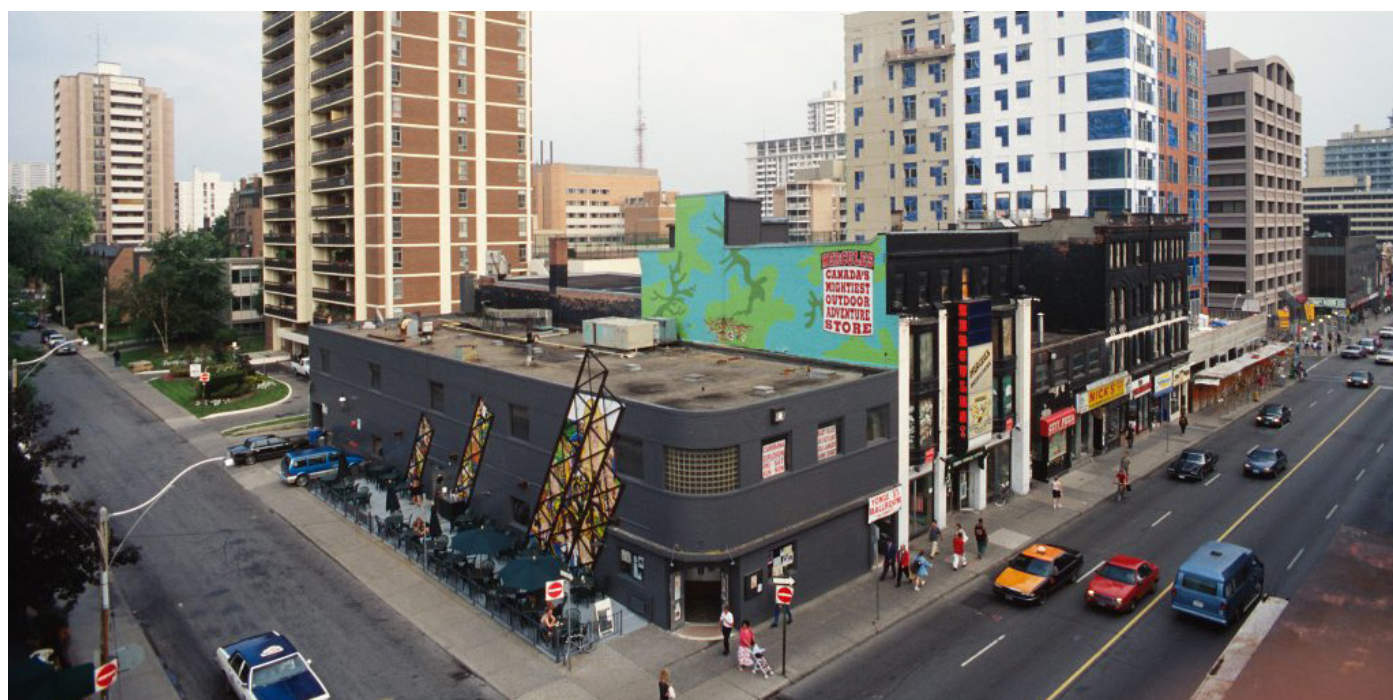
In addition to obtaining a permit under Part V of the *Ontario Heritage Act* for any *archaeological sites* or *resources* identified as *heritage attributes* of the District, the procedures for archaeology identified within the *City of Toronto's Archaeological Management Plan* shall also be complied with where they apply.

Table 1: Development/Alteration Types for Properties with Archaeological Potential Located in the Historic Yonge Street HCD

Category	Development/Alteration Type
1	<i>Additions</i> to existing structures requiring subsurface disturbances
2	New structures/installations in open space areas within other part(s) of the property requiring subsurface disturbances
3	Foundation <i>repair/alteration</i> to existing buildings
4	New service hook ups or <i>repairs</i> to a building frontage with a minimal <i>setback</i> and originating from the <i>adjacent</i> right-of-way
5	New service hook ups or <i>repairs</i> to a building <i>set back</i> from the right-of-way of origin
6	Landscape <i>alterations</i> requiring subsurface excavation/grade changes

Table 2: Properties with Generalized Archaeological Potential and Impact Categories of Concern

Address	Contributing or Non-Contributing	Alterations Requiring Assessment/Review
496 Yonge Street (including entrance addresses 2 Grosvenor Street & 498 Yonge Street)	Contributing	1, 2, 5 (from west), 6
552-554 Yonge Street	Contributing	1, 2, 5 (from west), 6
564 Yonge Street	Contributing	1, 2, 6
566 Yonge Street	Contributing	1, 2, 6
649 Yonge Street (including entrance addresses at 12A Isabella Street & 647 Yonge Street)	Contributing	1, 2, 6
655 Yonge Street	Contributing	1, 2, 6
657 Yonge Street (including entrance address at 657A Yonge Street)	Contributing	1, 2, 6
659 Yonge Street	Contributing	1, 2, 6


Figure 54: Intersection of Yonge and Dundonald streets, looking southeast, 1980s or 1990s (City of Toronto Archives, Fonds 200, Series 1465, File 44, Item 16).

9.0 Implementation & Administration of the HCD Plan

- 9.1 Heritage Permits Deemed to be Issued
- 9.2 HCD Administration, Incentives & Procedures
- 9.3 Additional Recommendations

YONGE & ISABELLA 3. P.M.

9.1 Heritage Permits Deemed to Be Issued

Owners of property within HYHCD are required to apply for a heritage permit for any proposal that involves the erection, *demolition, alteration, or removal* of any portion of a building or a structure within the District that is visible from the *public realm*. In accordance with Part V of the OHA and with Chapter 103 of the City of Toronto Municipal Code, certain classes of *alterations* are considered minor in nature and may be carried out without applying for a heritage permit.

A heritage permit is deemed to be issued for the following *alterations* to the external portions of a building or structure located in a Heritage Conservation District:

1. Painting of wood, stucco, or metal finishes.
2. *Repair* of existing features, including roofs, wall cladding, dormers, cresting, cupolas, cornices, brackets, columns, balustrades, porches and steps, entrances, windows, foundations, and decorative wood, metal, stone or terra cotta, provided that they are *repaired in-kind*
3. Installation of eaves-troughs
4. Weatherproofing, including installation of removable storm windows and doors, caulking, and weather-stripping
5. Installation of exterior lights
6. An *alteration* that is not visible from a street
7. Temporary commercial signage (i.e., 'sale' sign in a window display)
8. Maintenance of existing features
9. Landscaping (hard and soft) that does not require subsurface excavation/grade changes
10. *Repair* of existing utilities or public works
11. Temporary or seasonal installations

Although a heritage permit is deemed to be issued for the above classes of alterations, property owners and tenants are encouraged to conform to the spirit and intent of this Plan, its policies and guidelines and to reference the Standards and Guidelines for all undertaken on their properties.

9.2 HCD Administration, Incentives & Procedures

9.2.1 Heritage Permit Process

Owners of property within the District are required to submit a heritage permit application for any *alteration* that is visible from the *public realm* and not listed in section 9.1. Proposed work will be reviewed by the City for consistency with this Plan, its *policies* and *guidelines*, as well as any other applicable heritage designation by-laws, easement agreements, or other heritage protections registered to the individual property.

While other heritage protections may apply to specific interior or exterior portions of the property that are not visible from the *public realm*, this Plan, its *policies* and *guidelines*, do not apply to the *alteration* of building interiors, or building exteriors that are not visible from the *public realm*.

9.2.2 Incentives for Conservation

Incentive programs are critical *conservation* tools. They can provide funding support for property owners who are *conserving* their properties, often at considerable expense.

The City of Toronto offers two heritage incentive programs to assist owners of eligible heritage properties with the cost of *conservation*: the Toronto Heritage Grant Program, and the Toronto Heritage Property Tax Rebate Program. These two programs are updated from time to time, and up to date information is available through Heritage Planning's website. Beyond providing funding support, these programs assist successful applicants in reaching the highest *conservation* standards possible for their projects.

The Toronto Heritage Grant Program provides matching grant funds for eligible heritage *conservation* work to owners of properties that are designated under Part IV or Part V of the OHA. The program receives stable annual funding; at the time of writing, funding is at just over \$300,000 annually. Revisions to the program in 2015 have updated eligibility to include residential and tax-exempt properties exclusively.

Heritage Permit Process

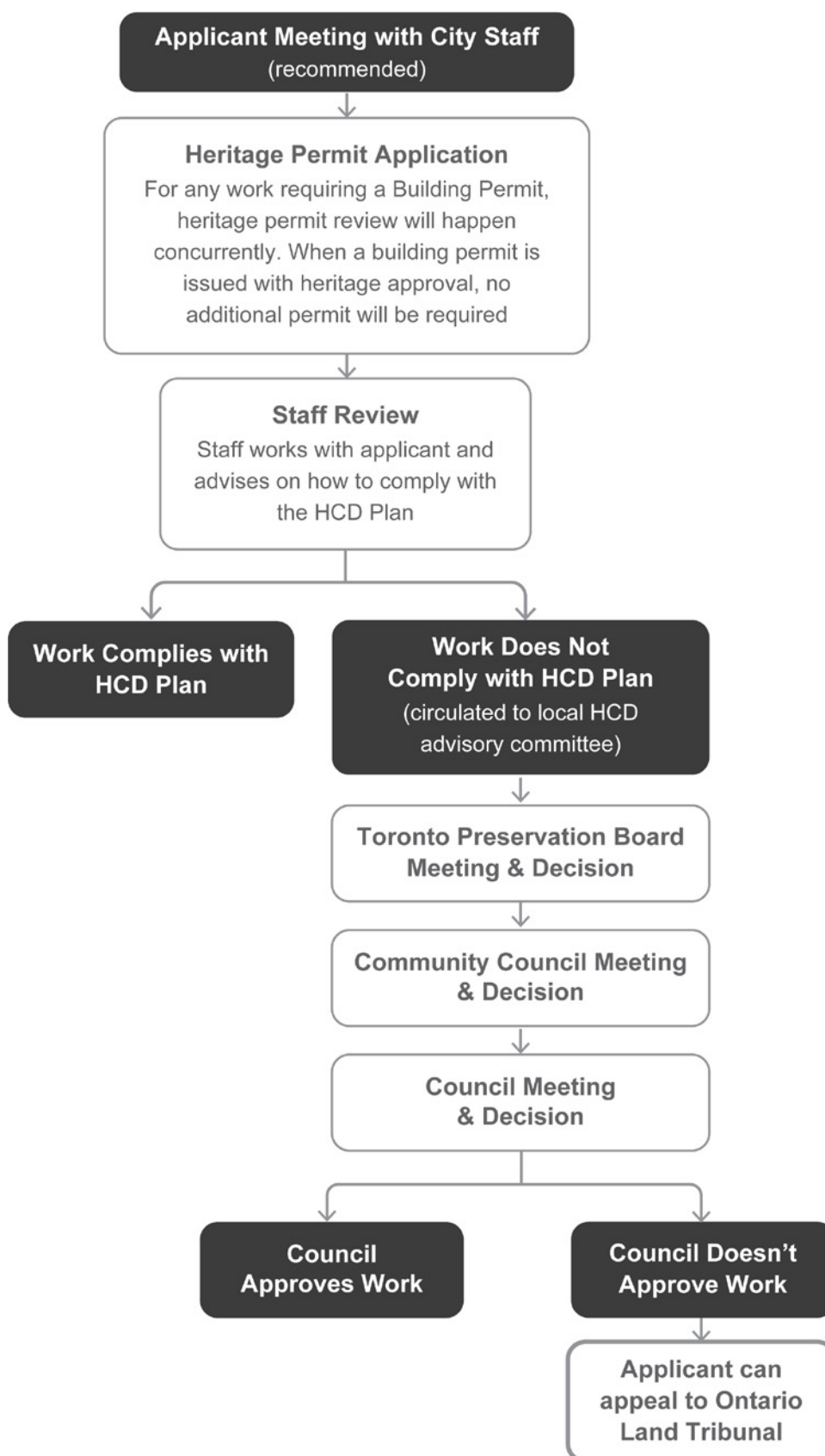


Figure 56: For alterations that are visible from the public realm, property owners will need to apply for a heritage permit.

The Heritage Property Tax Rebate Program provides a rebate of 50% of the cost of eligible work up to 40% of annual taxes paid on the portions of eligible properties that have been identified as *heritage attributes* in a Heritage Easement Agreement. Revisions to the program in 2015 updated eligibility to include commercial or industrial properties exclusively, including properties within Heritage Conservation Districts. This update included revisions that recalculate rebates to provide matching funds for eligible *conservation* work. The provincial government shares the cost of rebates with the City according to the education portion of the property taxes.

9.2.3 Heritage Impact Assessment

Heritage Impact Assessments (HIA) may be requested by municipal staff for development proposals on or *adjacent* to properties that are on the City's Heritage Register; this includes any property within the District. This work should be completed in accordance with the City's Terms of Reference for Heritage Impact Assessments. The HIA must be prepared by a qualified heritage professional.

An HIA is required for the following application types if the property is on the City's Heritage Register:

- Official Plan Amendment
- Zoning By-law Amendment
- Plans of Subdivision
- Site Plan Control

An HIA may be required for the following application types:

- Consent and/or Minor Variance and Building Permit applications for any property included on the City's Heritage Register.
- Where properties *adjacent* to a cultural *heritage resource* are subject to Official Plan Amendment, Zoning By-law Amendment, Plans of Subdivision, Site Plan Control and/or Consent and/or Minor Variance applications.
- Heritage Permit applications for any property designated under Part IV (individual) or Part V (Heritage Conservation District) of the *Ontario Heritage Act*.

The purpose of a Heritage Impact Assessment is to describe and assess the existing physical condition of a *heritage resource*, the potential for the *restoration* and reuse of the *heritage resource*, and how the proposed *alteration* or development *conserves* the *heritage resource*.

For *additions* to *contributing* and *non-contributing* properties:

"The City of Toronto may require heritage impact assessments for *additions* to *contributing* (also for *non-contributing*) *properties* to determine the impact of the *addition* on the *cultural heritage value* and [*heritage*] *attributes* of the district."

For *demolitions*:

"A heritage impact assessment will be required to determine the impact of replacement buildings on the *cultural heritage value* and [*heritage*] *attributes* of the district."

For *new development*:

"A heritage impact assessment may be required to determine the impact of new buildings and structures on the *cultural heritage value* and [*heritage*] *attributes* of the district."

9.2.4 Heritage Investigations

Over-clad buildings within the District will require a *Heritage Investigation*. This work will assess the physical condition of the heritage building façade beneath the over-cladding adhered to a *contributing property's* façade. A *Heritage Investigation* may be required for the same application types as a Heritage Impact Assessment.

The scope of *Heritage Investigations* will be determined in coordination with municipal staff, but will at a minimum, require the following:

- Material Investigation:
 - A portion of the over-cladding material should be *removed* to reveal the building façade underneath. This work should be undertaken in the location of *heritage attributes* such as window openings, dormers, pilasters, and roof lines.
 - The method, material, or compound used to fasten the over-cladding to the building should be documented and investigated. This is critical to determining the preferred method for *removing* the over-cladding while minimizing damage to the historic fabric of the building.
 - The condition of the building's exterior walls, *heritage attributes*, and features should be investigated and documented.
- Historical Documentation:
 - Historical evidence of the building's condition at various points in its history may be collected at this time.
 - Documentation illustrating the original building design should also be gathered. This will inform the assessment of the building's current condition.

9.2.5 Plan Review and Updates

It is recommended that the City undertake a review of the Historic Yonge Street HCD Plan and its objectives no more than ten years after it has come into force. The failure to review the contents of the Plan within the recommended review period will in no way invalidate the Plan or its ability to be enforced. A preliminary review may be initiated by the City, who will initiate the review in coordination with the local HCD advisory committee. The preliminary review will consider all aspects of the Plan, including, but not limited to: its objectives, *policies* and *guidelines*, and schedule of *contributing* and *non-contributing properties*. If the preliminary review determines that changes to the Plan are required then an in-depth review will be completed to determine the specific nature and content of changes to the Plan. An outside consultant may be retained for the purposes of completing the intensive review.

Changes to this Plan must be carefully considered, and only undertaken in the spirit of *conservation* which informed its preparation. Where Council accepts recommended changes to the Plan it will do so through an amendment to this Plan and its by-law.

9.3 Additional Recommendations

9.3.1 Zoning By-Law and Policy Changes

Properties within the District are regulated under former City of Toronto zoning *By-law 438-86*, and harmonized zoning *By-law 569-2013*, which was passed by Council in May 2013 and the majority of which, as of the date of writing, has been brought into force and effect through decisions of the OLT. As well, there are a number of properties within the District that are subject to site specific zoning provisions. No contradictions have been identified between the objectives, *policies*, and *guidelines* of this Plan and the existing zoning by-laws.

Site and Area Specific Policy No. 382 (SASP 382), adopted by City Council through Official Plan Amendment No. 183 (OPA 183), as amended, includes a number of *policies* to manage growth and change within the SASP 382 *policy* boundary, which overlaps with HYHCD's boundary. Although OPA 183 has been appealed to the Tribunal, there are differences between SASP 382 and this Plan that will need to be reconciled before, and if, SASP 382 comes into effect. The following policy sections of SASP 382 should be adjusted for consistency with this Plan, without limitation: 5.3.1, 5.3.3, 5.3.4, 5.3.6, 5.3.9, 5.8.3, 5.8.4, 5.8.5, and 5.8.6. The appeals related to the general application of OPA 183 were dealt with through the OLT hearings and resulted in a Tribunal decision and order issued August 25, 2017. At its meeting on June 26, 2018, City Council authorized the City Solicitor and appropriate City staff to attend the OLT (formerly Local Planning Appeal Tribunal) in respect of the appeals of OPA 183 and the Historic Yonge Street HCD Plan, in support of the modifications to the HCD Plan, as set out in the proposed policy harmonization strategy in the staff report. City Council also instructed the City Solicitor to make technical and stylistic changes that may be required to the amendments to the HCD Plan as set out in the report, which are reflected in this Plan.

9.3.2 Additional Studies

In the course of the study different areas of cultural heritage potential were identified. These areas may be warranted for further *conservation* efforts under the *Ontario Heritage Act*.

It is recommended the following areas be investigated for their *cultural heritage value* and further steps be taken to *conserve* those resources if warranted:

- The broader Yorkville area north and northwest of HYHCD.
- The pocket of semi- and single-detached residential homes between Gloucester and Dundonald Street, to the east of the HYHCD.

During the course of the project several stakeholders and participants in the process pointed to the character of fine-grain independent retail as a beloved aspect of the District's character. This Plan guides the *conservation* of the physical fabric that is visible from the *public realm* and that has housed independent retailers. It does not, however, regulate the internal design of a building or retail space. Given the relationship between independent retail and Yonge Street, and the commercial aspect of Yonge Street's character, it is recommended the City investigate additional planning mechanisms to support fine grain independent retail, including, but not limited to, regulating the floor plate of retail spaces.

9.3.3 Heritage Advisory Committee

HCD Advisory Committees are an important part of successful HCDs. They can provide comments and feedback to Heritage Planning staff regarding specific heritage permit applications within the District and may also be called on to provide feedback and comments on the implementation of the HCD Plan.

It is recommended that an Advisory Committee be created for the Historic Yonge Street HCD, and be comprised of local residents and property owners, members of the Bay-Cloverhill Residents Association, the Church Wellesley Neighbourhood Association and the Downtown Yonge BIA. The Advisory Committee will be formed in consultation with Heritage Planning, and governed in accordance with the *HCDs in Toronto*.

Bibliography

City of Toronto

1986, Zoning By-law 438-86

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2013, North Downtown Yonge Urban Design Guidelines 2013, Downtown Tall Buildings, Vision and Supplementary Design Guidelines

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2015, St. Lawrence Neighbourhood HCD Plan

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Appendices

- A. Definitions
- B. Index of Contributing Properties
- C. Statements of Contribution
- D. List of Non-Contributing Properties
- E. Transition

A: Definitions

The following definitions have been prepared based on the definitions included in the *City of Toronto Official Plan* (section 3.1.6), The *Ontario Heritage Act*, and the *Standards and Guidelines*. Additional definitions have been provided where needed, based on the word's usage in this document.

Accessibility: The degree to which a historic place is easy to access by as many people as possible, including people with disabilities.

Additions: New construction that extends the pre-existing building envelope in any direction, and which increases the building's pre-existing volume.

Adjacent: Means those lands adjoining a property on the Heritage Register or lands that are directly across from and near to a property on the Heritage Register and separated by land used as a private or public road, highway, street, lane, trail, right-of-way, walkway, green space, park and/or easement, or an intersection of any of these; whose location has the potential to have an impact on a property on the Heritage Register; or as otherwise defined in a Heritage Conservation District Plan adopted by by-law. (*Official Plan*)

Alteration: Means any change to a property on the Heritage Register in any manner including its *restoration*, renovation, *repair* or disturbance, or a change, *demolition* or *removal* of an *adjacent* property that may result in any change to a property on the Heritage Register. *Alterations* and *alter* have corresponding meanings. (*Official Plan*)

Archaeological resources: Artifacts, *archaeological sites*, and marine *archaeological sites*. The identification and evaluation of such resources are based upon archaeological field work undertaken in accordance with the *Ontario Heritage Act*.

Archaeological site: Any property that contains an artifact or any other physical evidence of past human activity that is of *cultural heritage value* or interest. Artifact means any object, material, or substance that is made, modified, used, deposited, or affected by human action and is of *cultural heritage value*.

Areas of archaeological potential: Areas with the likelihood to contain *archaeological resources*. Criteria to identify archaeological potential are established by the Province. The *Ontario Heritage Act* requires archaeological potential to be confirmed by a licensed archaeologist.

Base building: Refers to the portion of a building that either forms a podium for a tower, or is below the height at which *stepbacks* for tower developments are implemented.

Building features: Architectural details and components that make up a building's design and physical character. Building features include, but are not limited to: façade features, window features, and roof features, which also have their own constituent components that are defined in the relevant section of this Plan.

Character sub-area: A geographic area within the District that is a component part of the District and that contributes to the District's *cultural heritage value* while retaining unique *heritage attributes* that reflects a distinct character.

Compatibility: In the context of this document refers to the physical and visual impacts of *new development* on existing structures and *contributing properties*. Physical *compatibility* refers to the use of materials and construction methods that do not negatively impact the *contributing property*, detract from or damage its *heritage attributes*. Visual *compatibility* refers to designing new work in such a way that it is distinguishable from the historic building, while *complementing* its design, massing, and proportions. Compatible and *compatibility* have corresponding meanings. (*Standards and Guidelines*)

Complement: To physically and visually *conserve* or enhance the *cultural heritage value* and *heritage attributes* of the District in regard to *alterations*, *additions* and *new development*. To be physically *complementary* refers to the use of materials and construction methods that do not detract from or damage *heritage attributes*. To be visually *complementary* refers to the selection of materials and design, massing, proportions and details so as to *conserve* and enhance the District's *cultural heritage value*. *Complementary* and *complement* have corresponding meanings.

Figure 57: Previous page: West side of Yonge Street, between Grosvenor and Breadalbane streets looking northwest.

Conservation: Means the identification, protection, management and use of built *heritage resources*, *cultural heritage landscapes* and *archaeological resources* in a manner that ensures their *cultural heritage value* or interest is retained under the *Ontario Heritage Act*. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment and/or Heritage Impact Assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments. *Conservation* and *conserve* have corresponding meanings. (*Official Plan*)

Conservation treatment: The actions of *preservation*, *rehabilitation*, and *restoration* as defined by the *Standards and Guidelines* to be used individually or in combination when undertaking *conservation* projects.

Contributing property: A property, structure, landscape element or other feature of an HCD that supports the identified *significant cultural heritage value*, *heritage attributes* and *integrity* of the District.

Cultural Heritage Landscape: A defined geographical area that may have been modified by human activity and is identified as having *cultural heritage value* or interest by a community, including an Indigenous community. The area may involve features such as buildings, structures, spaces, views, *archaeological sites* or natural elements that are valued together for their interrelationship, meaning or association. *Cultural heritage landscapes* may be properties that have been determined to have *cultural heritage value* or interest under the *Ontario Heritage Act*, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms. (PPS 2020)

Cultural Heritage Value: The aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present and future generations. The *cultural heritage value* of a historic place is embodied in its *heritage attributes* and its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

Demolition: The complete destruction of a heritage structure and property from its site, including the disassembly of structures and properties on the Heritage Register for the purpose of reassembly at a later date. (*Official Plan*)

Guideline: Recommended methods of achieving an associated *policy*.

Heritage attributes: In relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their *cultural heritage value* or interest. (*Ontario Heritage Act*)

Heritage Impact Assessment: A document that provides relevant information on the nature and significance of a heritage property. It outlines the *policy* framework in which such properties can be *conserved* and identifies practical options to inform decisions and directions for the development of a conservation plan for the *heritage resource*. (Refer to Heritage Impact Statement (Conservation Strategy) Terms of Reference for more details). (*Building Toronto Together Terms of Reference*)

Heritage Investigation: A physical investigation, completed by or under the supervision of a qualified heritage *conservation* professional, as demonstrated through membership in the Canadian Association of Heritage Professional, used to determine the *integrity* of a building's features that have been over-clad.

Heritage Resource: Includes properties, structures, buildings, and landscapes that display one or more of HYHCD's *heritage attributes* and contribute to its *cultural heritage value*.

In-kind: With the same form, material, and detailing as the existing. (*Standards and Guidelines*)

Integrity: As it relates to a heritage property or an *archaeological site/resource*, is a measure of its wholeness and intactness of the *cultural heritage values* and *attributes*. Examining the conditions of *integrity* requires assessing the extent to which the property includes all elements necessary to express its *cultural heritage values*; is of adequate size to ensure the complete representation of the features and processes that convey the property's significance; and the extent to which it suffers from adverse effects of development and/or neglect. *Integrity* should be assessed within a Heritage Impact Assessment.

Maintenance: Refers to *preserving a building feature* or element intact. It does not include restorative or *repair* work which requires a *significant* intervention and material change to the *building feature* or element. *Maintenance* and *maintain* have corresponding meanings.

New Development: Includes new construction on vacant lots, as well as new *additions* to existing buildings.

Non-contributing property: A property, structure, landscape element or feature of a district that does not support the overall *cultural heritage value*, *heritage attributes* and *integrity* of the District.

Policy: In this document, *policies* set the direction for the management of the District and are the primary means by which the Plan area's *cultural heritage values* and *heritage attributes* are *conserved* and change is managed.

Primary structure: The main structure of a building on a *contributing property*, not including rear wings or *additions* that are not visible from the *public realm*.

Public Realm: Any public space, including but not limited to: streets, sidewalks, laneways, parks, and privately owned publicly-accessible open spaces, walkways, or easements.

Preservation: The action or process of protecting, *maintaining*, and/or stabilizing the existing materials, form, and *integrity* of a historic place, or of an individual component, while protecting its heritage value. *Preservation* and *preserve* have corresponding meanings. (*Standards and Guidelines*)

Rehabilitation: The action or process of making possible a continuing or *compatible* contemporary use of a historic place, or an individual component, while protecting its heritage value. (*Standards and Guidelines*)

Removal: Is the complete and permanent dislocation of a *heritage resource* from its site, including relocation of structures to another property. (Official Plan)

Relocation: The dislocation of a building from one portion of a property and placement on to another.

Repair: Refers to *maintenance* type work to a building element or feature that does not require a *significant* material change and that has no negative impact on its *integrity*.

Restoration: The action or process of accurately revealing, recovering, or representing the state of a historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value. *Restoration* and *restore* have corresponding meanings. (*Standards and Guidelines*)

Scoped: In the context of this Plan refers to determining and refining the scope of work and investigation in a report. It is not used to refer to physical investigation of a building.

Setback: A horizontal distance measured at a right angle from any lot line to the nearest part of the main wall of a building or structure.

Step back: The measure by which a portion of a building mass above grade level is recessed from the wall of the building directly below.

Significant: In regard to cultural heritage and archaeology, resources that have been determined to have *cultural heritage value* or interest. Processes and criteria for determining *cultural heritage value* or interest are established by the Province under the authority of the *Ontario Heritage Act*.

Streetwall: The *streetwall* is the portion(s) of the building fronting onto a street, forming a built form edge to the adjacent right-of-way.

Subordinate: In regard to heritage *conservation*, the concept of subordination is best understood to mean that any *new development, alteration or addition* to a *heritage resource* does not detract from the historic place or impair its *cultural heritage value*. Subordination is not simply a question of size, depth, materials or colour, though it may be achieved through a combination of these means.

Substantial: In the context of *conservation policies* and *guidelines*, refers to *conserving* enough of a building that it will read as a three-dimensional free-standing building and not a foreign element attached to a new building or *addition*.

Three-Dimensional Integrity: A building in three dimensions, on all of its sides including its roof planes.

B: Index of Contributing Properties

No.	Primary Address/ Street Name	Structure Address(es)/ Entrance Address(es)
1.	6 Charles Street East	4 Charles St E 675 Yonge St 681 Yonge St
2.	5 Charles Street West	
3.	7 Charles Street West	7A Charles St W
4.	9 Charles Street West	9A Charles St W
5.	11 Charles Street West	
6.	13 Charles Street West	
7.	18 Gloucester Lane	
8.	7 Gloucester Street	
9.	8 Gloucester Street	12 Gloucester St
10.	9 Gloucester Street	9A Gloucester St
11.	11 Gloucester Street	
12.	6 Irwin Avenue	
13.	7 Irwin Avenue	
14.	8 Irwin Avenue	
15.	9 Irwin Avenue	
16.	10 Irwin Avenue	
17.	11 Irwin Avenue	
18.	12 Irwin Avenue	
19.	13 Irwin Avenue	
20.	14 Irwin Avenue	
21.	17 Irwin Avenue	
22.	19 Irwin Avenue	
23.	10 Isabella Street	10-12 Isabella St 12 Isabella St
24.	5 St Joseph Street and 15 St Nicholas Street	1 St Joseph St 9 St Joseph St 15 St Nicholas St 15-17 St Nicholas St 17 St Nicholas St 19 St Nicholas St 25 St Nicholas St
25.	6 St Joseph Street	
26.	8 St Joseph Street	
27.	10 St Joseph Street	

No.	Primary Address/ Street Name	Structure Address(es)/ Entrance Address(es)
28.	12 St Joseph Street	
29.	14 St Joseph Street	
30.	16 St Joseph Street	21 Irwin Ave
31.	18 St Joseph Street	20 St Joseph St
32.	26 St Joseph Street	31 Irwin Ave
33.	145 St Luke Lane	
34.	10 St Mary Street	702 Yonge St
35.	9 St Nicholas Street	
36.	45 St Nicholas Street	47 St Nicholas St 45-47 St Nicholas St
37.	49 St Nicholas Street	
38.	51 St Nicholas Street	
39.	53 St Nicholas Street	
40.	55 St Nicholas Street	
41.	57 St Nicholas Street	
42.	59 St Nicholas Street	
43.	61 St Nicholas Street	
44.	63 St Nicholas Street	
45.	81 St Nicholas Street	
46.	85 St Nicholas Street	87 St Nicholas St
47.	10 Wellesley Street West	12 Wellesley St W 14 Wellesley St W
48.	16 Wellesley Street West	
49.	496 Yonge Street	2 Grosvenor St 498 Yonge St
50.	502A Yonge Street	502 ½ Yonge St 504 Yonge St
51.	506 Yonge Street	
52.	508 Yonge Street	
53.	516 Yonge Street	514 Yonge St
54.	526 Yonge Street	7 Breadalbane St 528 Yonge St
55.	527 Yonge Street	2 Maitland St 4 Maitland St 6 Maitland St 527A Yonge St
56.	529 Yonge Street	

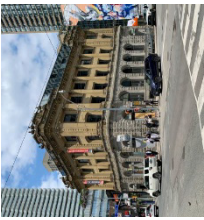
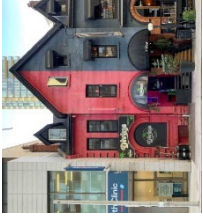


No.	Primary Address/ Street Name	Structure Address(es)/ Entrance Address(es)
57.	530 Yonge Street	6 Breadalbane St 8 Breadalbane St 534 Yonge St 536 Yonge St
58.	531 Yonge Street	531A Yonge St 533 Yonge St
59.	535 Yonge Street	
60.	538 Yonge Street	
61.	540 Yonge Street	
62.	542 Yonge Street	542A Yonge St
63.	544 Yonge Street	544A Yonge St
64.	546 Yonge Street	
65.	548 Yonge Street	548A Yonge St
66.	550 Yonge Street	
67.	552 Yonge Street	
68.	564 Yonge Street	
69.	565 Yonge Street	
70.	566 Yonge Street	
71.	567 Yonge Street	
72.	568 Yonge Street and 1 Wellesley St West	3 Wellesley St W 7 Wellesley St W
73.	569 Yonge Street	569 ½ Yonge St
74.	570 Yonge Street	2 Wellesley St W 2A Wellesley St W 4A Wellesley St W 4B Wellesley St W 572 Yonge St
75.	571 Yonge Street	*This is an entrance address to 573 Yonge with a unique legal description
76.	573 Yonge Street	571 Yonge St (see above)
77.	574 Yonge Street	
78.	575 Yonge Street	
79.	576 Yonge Street	
80.	577 Yonge Street	
81.	578 Yonge Street	580 Yonge St
82.	579 Yonge Street	585 Yonge St
83.	582 Yonge Street	582A Yonge St
84.	584 Yonge Street	

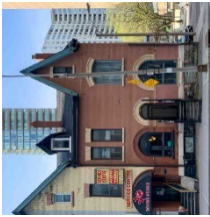
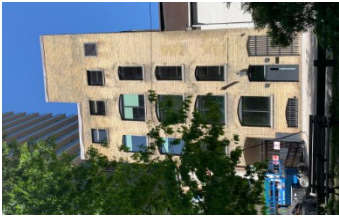
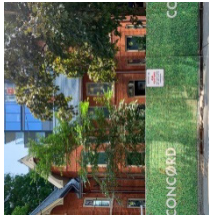

No.	Primary Address/ Street Name	Structure Address(es)/ Entrance Address(es)
85.	586 Yonge Street	7 St Nicholas St 586A Yonge St
86.	588 Yonge Street	590 Yonge St
87.	592 Yonge Street	
88.	594 Yonge Street	
89.	596 Yonge Street	
90.	598-600 Yonge Street	600 Yonge St
91.	601 Yonge Street and 6 Gloucester Street	2 Gloucester St 603 Yonge St 605 Yonge St 607 Yonge St 609 Yonge St 611 B Yonge St 613 Yonge St 611 Yonge St
92.	602 Yonge Street	604 Yonge St
93.	606 and 608 Yonge Street	
94.	615 Yonge Street	617 Yonge St
95.	618 Yonge Street	610 Yonge St 612 Yonge St 614 Yonge St 616 Yonge St
96.	619 Yonge Street	621 Yonge St 623 Yonge St 623A Yonge St 623B Yonge St
97.	620 Yonge Street	4 St Joseph St 622 Yonge St 622A Yonge St
98.	624 Yonge Street	
99.	625 Yonge Street	1 Isabella St 3 Isabella St 5 Isabella St 627 Yonge St 629 Yonge St 631 Yonge St 633 Yonge St 635 Yonge St 637 Yonge St
100.	626 Yonge Street	
101.	632 Yonge Street	628 Yonge St 630 Yonge St
102.	634 Yonge Street	
103.	636 Yonge Street	
104.	638 Yonge Street	

No.	Primary Address/ Street Name	Structure Address(es)/ Entrance Address(es)
105.	639 Yonge Street	2 Isabella St 4 Isabella St
106.	640 Yonge Street	
107.	641 Yonge Street	643 Yonge St
108.	644 Yonge Street	1 Irwin Ave 3 Irwin Ave 5 Irwin Ave
109.	645 Yonge Street	
110.	646 Yonge Street	2 Irwin Ave 2A Irwin Ave 4 Irwin Ave 648 Yonge St 648A Yonge St
111.	649 Yonge Street	12A Isabella St 647 Yonge St
112.	650 Yonge Street	650A Yonge St 652 Yonge St
113.	651 Yonge Street	653 Yonge St
114.	654 Yonge Street	
115.	655 Yonge Street	
116.	656 Yonge Street	
117.	657 Yonge Street	657A Yonge St
118.	658 Yonge Street	
119.	659 Yonge Street	
120.	660 Yonge Street	
121.	662 Yonge Street	
122.	664 Yonge Street	
123.	665 Yonge Street	667 Yonge St 667A Yonge St
124.	666 Yonge Street	
125.	668 Yonge Street	
126.	670 Yonge Street	
127.	672 Yonge Street	674 Yonge St
128.	676 Yonge Street	
129.	678 Yonge Street	
130.	680 Yonge Street	682 Yonge St

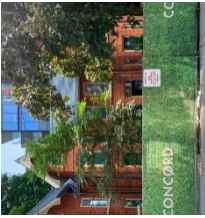
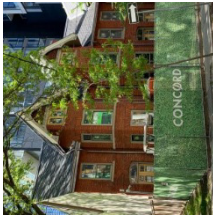
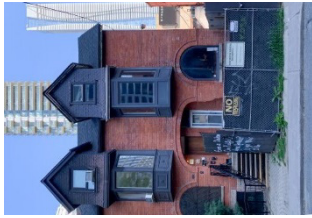

No.	Primary Address/ Street Name	Structure Address(es)/ Entrance Address(es)
131.	686-688 Yonge Street	686 Yonge St 686A Yonge St 688 Yonge St 690 Yonge St
132.	692 Yonge Street	692A Yonge St
133.	694 Yonge Street	694A Yonge St
134.	696 Yonge Street	698 Yonge St 700 Yonge St
135.	710 Yonge Street	
136.	712 Yonge Street	
137.	714 Yonge Street	
138.	716 Yonge Street	
139.	718 Yonge Street	
140.	720 Yonge Street	3 Charles St W 722 Yonge St 724 Yonge St 726 Yonge St 728 Yonge St


C: Statement of Contribution


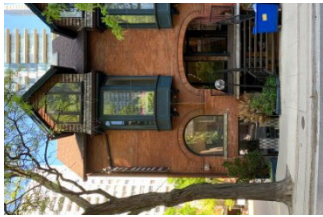

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
1.		6 Charles Street East (4 Charles St E, 675 Yonge St, 681 Yonge St)	Renaissance Revival	1905	Design/Physical Contextual	This is a 3.5-storey building clad in stone and designed in a Renaissance Revival style. It includes a vertical addition that appears just above its roof line.	3.5	Historic Yonge Street
2.		5 Charles Street West	Romanesque	1891	Design/Physical Contextual	This property contains a 2.5-storey building clad in brick that has been painted. It is designed in a Romanesque style. It has a gable roof and dormer. It is within a row of five similar buildings.	2.5	Residential Pockets
3.		7 Charles Street West (7A Charles St W)	Romanesque	1891	Design/Physical Contextual	This property contains a 2.5-storey building clad in brick that has been painted. It is designed in a Romanesque style. It has a gable roof and dormer. It is within a row of five similar buildings.	2.5	Residential Pockets
4.		9 Charles Street West (9A Charles St W)	Romanesque	1891	Design/Physical Contextual	This property contains a 2.5-storey building clad in brick that has been painted. It is designed in a Romanesque style. It has a gable roof and dormer. It is within a row of five similar buildings.	2.5	Residential Pockets
5.		11 Charles Street West	Romanesque	1891	Design/Physical Contextual	This property contains a 2.5-storey building clad in brick that has been painted. It is designed in a Romanesque style. It has a gable roof and dormer. It is within a row of five similar buildings.	2.5	Residential Pockets

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
6.		13 Charles Street West	Romanesque	1891	Design/Physical Contextual	This property contains a 2.5-storey building clad in brick that has been painted. It is designed in a Romanesque style. It has a gable roof and dormer. It is within a row of five similar buildings.	2.5	Residential Pockets
7.		18 Gloucester Lane	Edwardian	1912	Design/Physical Contextual	This is a 5-storey buff brick building, designed in a simple utilitarian industrial style. On the principal (east) facade, there is regular arrangement of the segmental-arched entrances on the first floor, the segmental-arched window openings in the first through the fourth stories, and the flat-headed window openings in the attic level (which was an addition along with the penthouse). Semi-circular window openings have brick voussoirs, and all windows have plain lug sills.	5	Historic Yonge Street
8.		7 Gloucester Street	Gothic Revival	1886	Design/Physical Contextual	This property contains a 2.5-storey building clad in red brick and constructed in a Gothic Revival style. It has carved wood detailing around window openings and under the eaves of its roof lines. It is within a row of three similar buildings.	2.5	Residential Pockets
9.		8 Gloucester Street (12 Gloucester St)	Gothic Revival	1868	Design/Physical Contextual	This is a book-matched pair of semi-detached 2.5-storey Gothic Revival houses, with a sloped roofs and offset gables at the third floor. At the third floor a shingle sloped roof is interrupted by a large gable adorned with substantial decorative barge boards. Each side of the gable the roof is supported on decorative brackets. Window openings have segmental arched heads, corbeled brick drip hood moldings and lug sills. ¹	2.5	Historic Yonge Street

¹ As part of a development application, the building will be reconstructed. The photo was taken in 2012.

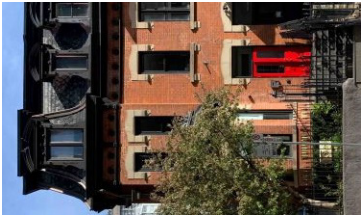
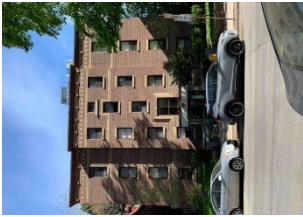
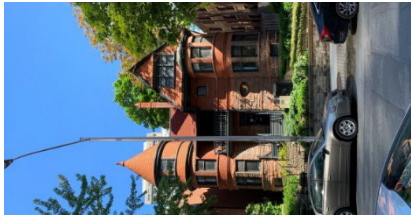
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
10.		9 Gloucester Street (9A Gloucester St)	Gothic Revival	1886	Design/Physical Contextual	This property contains a 2.5-storey building clad in red brick and constructed in a Gothic Revival style. It has carved wood detailing around window openings and under the eaves of its roof lines. It is within a row of three similar buildings.	2.5	Residential Pockets
11.		11 Gloucester Street	Gothic Revival	1886	Design/Physical Contextual	This property contains a 2.5-storey building clad in red brick and constructed in a Gothic Revival style. It has carved wood detailing around window openings and under the eaves of its roof lines. It is within a row of three similar buildings.	2.5	Residential Pockets
12.		6 Irwin Avenue	Queen Anne Revival	1893	Design/Physical Contextual	This 2.5-storey brick building is one unit in a 5-unit row house numbered 6, 8, 10, 12, 14 Irwin Ave designed in a Queen Anne Revival style. It has a sloped roof and central dormer with a tall pyramidal roof, an extension of a second floor bay window. The dormer is clad in scalloped shingles. Window and door arches have tapered brick voussoirs and a drip trim course which extends across the wall to link arches in all units, with rock faced lug sills.	2.5	St. Nicholas Village
13.		7 Irwin Avenue	Georgian	1873	Design/Physical Contextual	This is a 2-storey building clad in brick with a gable roof sloped towards the street. It is a simply designed building that is representative of early housing in the district. It is set back from the lot line adjacent the street.	2	St. Nicholas Village

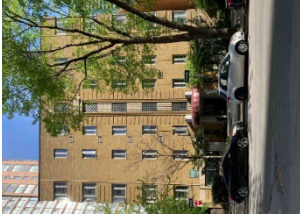

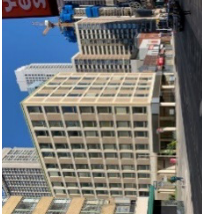
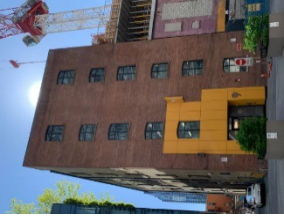
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Stores	Character Sub- Area
14.		8 Irwin Avenue	Queen Anne Revival	1893	Design/Physical Contextual	This 2.5-storey brick building is one unit in a 5-unit row house numbered 6, 8, 10, 12, 14 Irwin Ave designed in a Queen Anne Revival style. It has a sloped roof and central dormer with a tall pyramidal roof, an extension of a second floor bay window. The dormer is clad in scalloped shingles. Window and door arches have tapered brick voussoirs and a drip trim course which extends across the wall to link arches in all units, with rock faced lug sills.	2.5	St. Nicholas Village
15.		9 Irwin Avenue	Georgian	1873	Design/Physical Contextual	This is a 2-storey building clad in brick with a gable roof sloped towards the street. It is a simply designed building that is representative of early housing in the district. It is set back from the lot line adjacent the street.	2	St. Nicholas Village
16.		10 Irwin Avenue	Queen Anne Revival	1893	Design/Physical Contextual	This 2.5-storey brick building is one unit in a 5-unit row house numbered 6, 8, 10, 12, 14 Irwin Ave designed in a Queen Anne Revival style. It has a sloped roof and central dormer with a tall pyramidal roof, an extension of a second floor bay window. The dormer is clad in scalloped shingles. Window and door arches have tapered brick voussoirs and a drip trim course which extends across the wall to link arches in all units, with rock faced lug sills.	2.5	St. Nicholas Village
17.		11 Irwin Avenue	Queen Anne Revival	1905	Design/Physical Contextual	11 and 13 Irwin are two semi-detached houses, that when read together display elements of the Queen Anne Revival style. There is a small jerkin head peak at the top of the central gable.	2.5	St. Nicholas Village





No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
18.		12 Irwin Avenue	Queen Anne Revival	1893	Design/Physical Contextual	This 2.5-storey brick building is one unit in a 5-unit row house numbered 6, 8, 10, 12, 14 Irwin Ave designed in a Queen Anne Revival style. It has a sloped roof and central dormer with a tall pyramidal roof, an extension of a second floor bay window. The dormer is clad in wood shingles, which would originally have been scalloped like the adjacent properties to the east.. Window and door arches have tapered brick voussoirs and a drip trim course which extends across the wall to link arches in all units, with rock faced lug sills.	2.5	St. Nicholas Village
19.		13 Irwin Avenue	Queen Anne Revival	1905	Design/Physical Contextual	11 and 13 Irwin are two semi-detached houses, that when read together display elements of the Queen Anne Revival style. There is a small jerkin head peak at the top of the central gable.	2.5	St. Nicholas Village
20.		14 Irwin Avenue	Queen Anne Revival	1893	Design/Physical Contextual	This 2.5-storey brick building is one unit in a 5-unit row house numbered 6, 8, 10, 12, 14 Irwin Ave designed in a Queen Anne Revival style. It has a sloped roof and central dormer with a tall pyramidal roof, an extension of a second floor bay window. The dormer is clad in wood shingles, which would originally have been scalloped like 6, 8, and 10 Irwin Avenue. Window and door arches have tapered brick voussoirs and a drip trim course which extends across the wall to link arches in all units, with rock faced lug sills.	2.5	St. Nicholas Village
21.		17 Irwin Avenue	Georgian	1876	Design/Physical Contextual	This is a 2-storey building designed in a simple Georgian style with a gable roof. It is clad in yellow brick that is overgrown with vines. It is set back from the lot line.	2	St. Nicholas Village



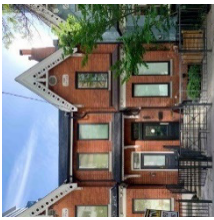
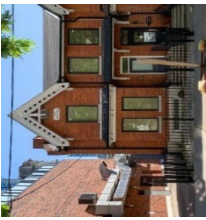
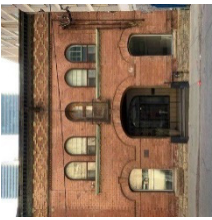
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Stores	Character Sub- Area
22.		19 Irwin Avenue	Georgian	1876	Design/Physical Contextual	This is a 2-storey building designed in a simple Georgian style with a gable roof. It is over-clad with horizontal siding and is set back from the lot line.	2	St. Nicholas Village
23.		10 Isabella Street (10-12 Isabella St, 12 Isabella St)	Second Empire	1910	Design/Physical Contextual	This property contains a 2.5-storey building designed in a Second Empire style and clad with polychromatic brick. It has decorative brickwork below its upper eaves and separating the first and second storey. It is designed as a residential building.	2.5	Residential Pockets
24.		5 St Joseph Street and 15 St Nicholas Street (1, 9 St Joseph St, 15, 15-17, 17, 19, 25 St Nicholas St)	Renaissance Revival (Facade)	1905	Design/Physical Contextual	This is a Renaissance Revival warehouse. It is a 4-storey building that has a flat roof with moulded stone fascia. The facade is divided into 3 receding vertical sections and the 4th floor is also divided horizontally by a brick/stone belt. Each section of the 4th floor has 3 rectangular windows with pointed tops, 5 rows of arched brick above, and a continuous stone sill. On the 3rd floor each section has 3 rectangular windows slightly arched, 5 rows of fanned vertical brick above, and a continuous stone sill. The same windows are found on the east and west sections of the 2nd floor, but with individual stone sills. In the middle section there is a large, pointed window which forms part of the ground floor main entrance.	4	Historic Yonge Street
25.		6 St Joseph Street	Second Empire	1879	Design/Physical Contextual	This property is an excellent example of the Second Empire style, constructed at the peak of this style's popularity in Toronto. It is 2.5-storeys in height, clad in red brick with dichromatic stone masonry of tapered lintels above window and door openings. The mansard roof has an ornate eaves, below which is a decorated frieze of moulded brick with regularly spaced medallions and carved brackets. It is part of a row of five buildings.	2.5	St. Nicholas Village


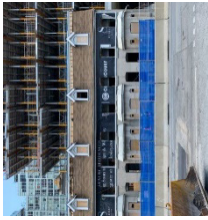
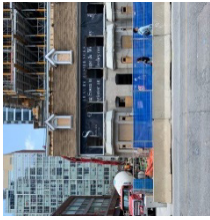
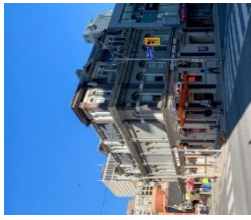
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
26.		8 St Joseph Street	Second Empire	1879	Design/Physical Contextual	This property is an excellent example of the Second Empire style, constructed at the peak of this style's popularity in Toronto. It is 2.5-storeys in height, clad in red brick with dichromatic stone masonry of tapered lintels above window and door openings. The mansard roof has an ornate eaves, below which is a decorated frieze of moulded brick with regularly spaced medallions and carved brackets. It is part of a row of five buildings.	2.5	St. Nicholas Village
27.		10 St Joseph Street	Second Empire	1879	Design/Physical Contextual	This property is an excellent example of the Second Empire style, constructed at the peak of this style's popularity in Toronto. It is 2.5-storeys in height, clad in red brick with dichromatic stone masonry of tapered lintels above window and door openings. The mansard roof has an ornate eaves, below which is a decorated frieze of moulded brick with regularly spaced medallions and carved brackets. It is part of a row of five buildings.	2.5	St. Nicholas Village
28.		12 St Joseph Street	Second Empire	1879	Design/Physical Contextual	This property is an excellent example of the Second Empire style, constructed at the peak of this style's popularity in Toronto. It is 2.5-storeys in height, clad in red brick with dichromatic stone masonry of tapered lintels above window and door openings. The mansard roof has an ornate eaves, below which is a decorated frieze of moulded brick with regularly spaced medallions and carved brackets. It is part of a row of five buildings.	2.5	St. Nicholas Village

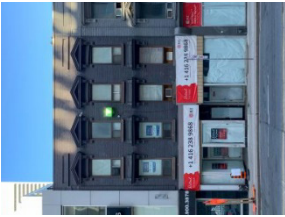
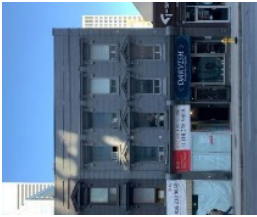
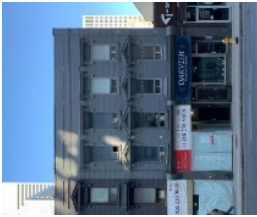
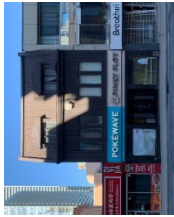
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Stores	Character Sub- Area
29.		14 St Joseph Street	Second Empire	1879	Design/Physical Contextual	This property is an excellent example of the Second Empire style, constructed at the peak of this style's popularity in Toronto. It is 2.5-stories in height, clad in red brick with dichromatic stone masonry of tapered lintels above window and door openings. The mansard roof has an ornate eaves, below which is a decorated frieze of moulded brick with regularly spaced medallions and carved brackets. It is part of a row of five buildings.	2.5	St. Nicholas Village
30.		16 St Joseph Street (21 Irwin Ave)	Edwardian Classicism	1926	Design/Physical Contextual	This is a 4-storey brick building with stone accents in an Edwardian Classicism style. There is a simplified entablature at the roof with a projecting cornice, brackets and plain frieze, and a flat architrave in patterned brick and stone. There is a banding course at the 2nd and 4th floor levels. The facade is symmetrically organized into three bays with the central bay projecting. On the central axis, windows are raised to half landing and half down is the main entrance door.	4	St. Nicholas Village
31.		18 St Joseph Street (20 St Joseph St)	Queen Anne Revival	1892	Design/Physical Contextual	This is a 2.5-storey brick and stone in a high Queen Anne Revival style. It has a complex gable ended and cross sloped roof and a corner tower with a conical roof. The gable end is clad in red tiles and includes a large, grouped window opening with bracketed eyebrow roofette. The tower below the conical roof has a round tile clad wall with three separate windows and below that a sloping skirt forming a shallow eave condition. The tower has three windows with rock faced stone lintels and continuous stone sills forming a band course.	2.5	St. Nicholas Village


No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
32.		26 St Joseph Street (31 Irwin Ave)	Art Deco	1940	Design/Physical Contextual	This is a 6-storey building designed in an Art Deco style with buff brick. Its main entrance is framed by sidelights and flat headed windows on concrete sills. The ground storey is separated from the upper storeys by a continuous concrete stringcourse. The upper storeys are highlighted by a continuous concrete vertical frontispiece which rises to the sixth storey. It is detailed with glass block decorative brick bands and a concrete cornice, reflective of the Art Deco style.	6	St. Nicholas Village
33.		145 St Luke Lane	Edwardian	c.1915	Design/Physical Contextual	This is a 2-storey building designed in a simple Edwardian style. It has a sloping roof with projecting firewall parapets at each end. At the second storey there are five window openings with shallow arched heads and brick voussoirs. There are four window openings on the north facade. The ground level has been altered.	2	Historic Yonge Street
34.		10 St Mary Street (702 Yonge St)	Mid-Century Modern	1957	Design/Physical Contextual	This is an 8-storey building designed in a Mid-Century Modern architectural style. Its facade follows a grid like organization created by brick and painted concrete.	8	Historic Yonge Street
35.		9 St Nicholas Street	Edwardian	1913	Design/Physical Contextual	This is a 6-storey brick warehouse. It has a flat roof, with a stepped parapet at the rear and chimney on the south wall. It is a rectangular building with a narrow end wall forming the west facade on St. Nicholas. The west facade is red brick while the other walls are brown/yellow brick. The west facade has 2 semi-elliptical windows per floor. Each window has 3 rows of brick voussoirs and a plain stone sill. The south wall, 6th floor has been painted with a large rectangular "M. Rawlinson Limited" sign and a large square "Moving/Packing/Storage" sign.	6	Historic Yonge Street


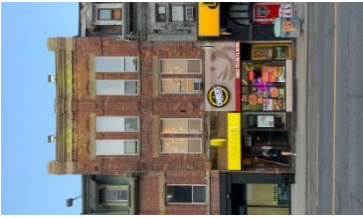
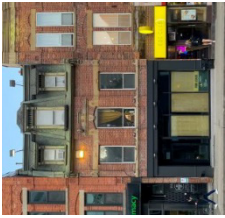
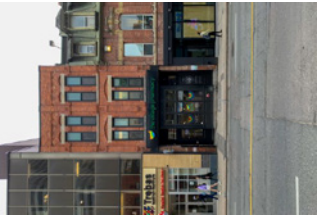
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
36.		45 St Nicholas Street (47, 45-47 St Nicholas St)	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village
37.		49 St Nicholas Street	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village
38.		51 St Nicholas Street	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village
39.		53 St Nicholas Street	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village
40.		55 St Nicholas Street	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
41.		57 St Nicholas Street	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village
42.		59 St Nicholas Street	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village
43.		61 St Nicholas Street	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village
44.		63 St Nicholas Street	Gothic Revival	1884	Design/Physical Contextual	This is a 2-storey building designed in a Gothic Revival style and clad in brick. It has a gable roof and a decorative wood verge board. It is part of a row of cottages that are each named after different trees.	2	St. Nicholas Village
45.		81 St Nicholas Street	Romanesque	1912	Design/Physical Contextual	This is a 2-storey commercial warehouse building constructed in a Romanesque style. It has polychromatic decorative brickwork at the roof line, semi-circular vertically oriented windows, and a recessed entrance with an arched entryway.	2	Historic Yonge Street


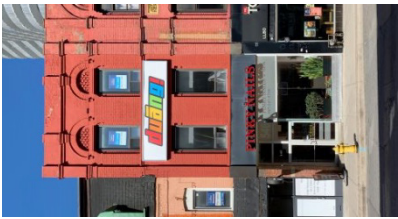
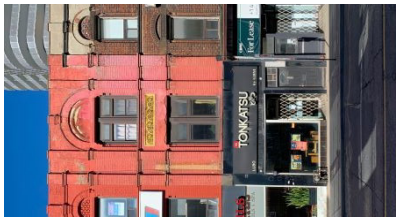
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Stores	Character Sub- Area
46.		85 St Nicholas Street (87 St Nicholas St)	Romanesque	1912	Design/Physical Contextual	This is a 2-storey commercial warehouse building constructed in a Romanesque style. It has polychromatic decorative brickwork at the roof line; semi-circular vertically oriented windows, and a recessed entrance with an arched entryway.	2	Historic Yonge Street
47.		10 Wellesley Street West (12, 14 Wellesley St W)	Over-clad (Second Empire)	1876	Contextual	This is a four-unit building (as 2 properties, 10 and 16 Wellesley Street West) designed in a Second Empire style. It has been over-clad, obscuring its architectural features.	2.5	Historic Yonge Street
48.		16 Wellesley Street West	Over-clad (Second Empire)	1876	Contextual	This is a four-unit building (as 2 properties, 10 and 16 Wellesley Street West) designed in a Second Empire style. It has been over-clad, obscuring its architectural features.	2.5	Historic Yonge Street
49.		496 Yonge Street (2 Grosvenor St; 498 Yonge St)	Second Empire	1886	Design/Physical Contextual	This building is a good example of late 19th century Second Empire styling that was updated with complementary Classical embellishments in the 20th century. Constructed of brick and trimmed with brick, stone and wood, the three-storey building features a rectangular plan. The mansard roof has slate cladding, four brick chimneys, a cornice with dentils, and four pedimented wall dormers with round-arched window openings and Classical detailing. The first storey is faced with limestone. The bank entrance, placed on the Yonge Street facade, features a pedimented stone door case and a metal transom. The stone pilasters that organize the flat-headed window openings on the first floor are continued in brick through the second storey where pairs of recessed round-arched window openings have Classical detailing. The corner tower with a hip roof is a distinctive feature.	2.5	Historic Yonge Street


No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
50.		502A Yonge Street (502 ½, 504 Yonge St)	Renaissance Revival	1862	Design/Physical Contextual	This is a pair of 3-storey painted brick Renaissance Revival buildings. The façade is a grid of rectangular window openings on a plain brick field over a ground floor with a pair of shop fronts. Four window openings at the second floor have flat roofettes on brackets with corbelled brick between and plain lug sills. Four window openings at the third floor have pedimented roof hoods on brackets with corbelled brick between and plain lug sills.	3	Historic Yonge Street
51.		506 Yonge Street	Renaissance Revival	1862	Design/Physical Contextual	This is one of a pair of 3-storey painted brick Renaissance Revival buildings. The façade of the pair is a grid of rectangular window openings on a plain brick field over a ground floor with a pair of shop fronts. Two window openings at the third floor have flat roofettes on brackets with corbelled brick between and plain lug sills. Two window openings at the second floor have pedimented roof hoods on brackets with corbelled brick between and plain lug sills. At the second floor line is a projecting cornice sign band framed by brackets.	3	Historic Yonge Street
52.		508 Yonge Street	Renaissance Revival	1862	Design/Physical Contextual	This is one of a pair of 3-storey painted brick Renaissance Revival buildings. The façade of the pair is a grid of rectangular window openings on a plain brick field over a ground floor with a pair of shop fronts. Two window openings at the third floor have flat roofettes on brackets with corbelled brick between and plain lug sills. Two window openings at the second floor have pedimented roof hoods on brackets with corbelled brick between and plain lug sills. At the second floor line is a projecting cornice sign band framed by brick brackets.	3	Historic Yonge Street
53.		516 Yonge Street (514 Yonge St)	Over-clad (Second Empire)	1877	Contextual	This building has been over-clad obscuring its features. Historic pictures indicate it was designed in a predominantly Second Empire style.	2.5	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
54.		526 Yonge Street (7 Breadalbane St; 528 Yonge St)	Second Empire	1881	Contextual	This is a 2.5-storey painted brick and stone building in a high Second Empire style. The mansard roof is framed by end parapet firewalls and capped by projecting cornice. It terminates at a projecting cornice-gutter/entablature on brackets. The facade is symmetrically arranged in 3 bays separated by pilasters, with a larger more decorative central bay. At the mansard two smaller dormers flank a larger central dormer with a square tower roof capped by projecting cornice. Small dormers have shed roofs on brackets, wood trim and lintels frame the window openings. A second floor entablature spans the building divided by large decorative brackets at each pilaster and includes a projecting cornice, a bracketed frieze on corbelled brick and plain band architrave/ continuous window lintel.	2.5	Historic Yonge Street
		7 Breadalbane Street	Retro-historic	1881		The structure at 7 Breadalbane is a coach house on the rear lot of a contributing Second Empire property. It is converted to a 2-storey stucco clad residence with a retro-classical appearance.	2	
55.		527 Yonge Street (2, 4, 6 Maitland St; 527A Yonge St)	Second Empire	1876	Design/Physical Contextual	This is a 2.5-storey building designed in a Second Empire style. It is clad in brick that has been painted. It has a mansard roof with three dormers with moulded eaves. Window openings have Italianate style lintels with decorated keystones and voussoirs.	2.5	Historic Yonge Street
56.		529 Yonge Street	Second Empire	1876	Design/Physical Contextual	This is a 2.5-storey building designed in a Second Empire style. It is clad in brick that has been painted. It has a mansard roof with three dormers with moulded eaves. There is a dentil frieze below the mansard and framing a projecting eaves and brick corbeling. Window openings are rectangular, with a large central bay window.	2.5	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
57.		530 Yonge Street (6, 8 Breadalbane St; 534, 536 Yonge St)	Modern	1948	Contextual	This is a 2-storey commercial building designed in a Modern style. Its windows are grouped in an A-B-A pattern with a large central ribbon. It has a main recessed corner entrance.	2	Historic Yonge Street
58.		531 Yonge Street (531A, 533 Yonge St)	Italianate	1883	Design/Physical Contextual	This is a 3-storey Italianate style building in red brick. 3 vertical pilasters divide the facade and terminate at the roof in large expressive capitals. The building is capped with a deep painted entablature with mouldings and semicircular half medallions above corbelled brick brackets. Window openings have expressed relieving arches and wide continuous stone lintels above paired windows, one arch per window at the third floor and paired at the second floor. Between arch and lintel are tapered brick voussoirs.	3	Historic Yonge Street
		533 Yonge Street	Second Empire	1880		The structure at 533 Yonge is a 2.5-storey building designed in a Second Empire style with elements of Italianate and Queen Anne Revival as well. It has a mansard roof with three dormers. It is clad in brick with dichromatic stonework in the form of continuous decorated lintels.	2.5	
59.		535 Yonge Street	Italianate	1881	Design/Physical Contextual	This is a 3-storey building designed in an Italianate style. It is clad in brick. Originally it was likely designed to resemble 531 Yonge Street. Window openings have expressed relieving arches and wide continuous stone lintels above paired windows, one arch per window at the third floor and paired at the second floor. Between arch and lintel are tapered brick voussoirs. Upper windows have stone lug sills. The storefront sits on a slightly raised moulded wood and masonry base.	3	Historic Yonge Street

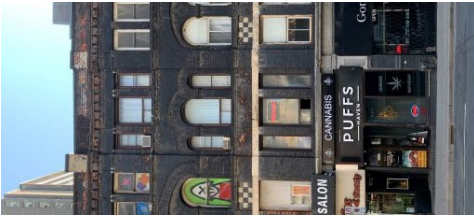
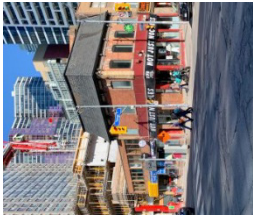
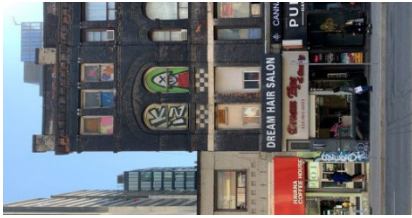
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
60.		538 Yonge Street	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey brick building in a Second Empire style. It is part of a row divided into pairs of units by projecting fire walls. The slate-tiled mansard roof is capped by a substantial moulded cornice and ends at a projecting cornice/gutter. There is one central dormer in each unit with 1/2 round projecting roof supported on brackets and trim that frame the 1/2 round window opening. The cornice is supported on 3 brackets joined by a banding course.	2.5	Historic Yonge Street
61.		540 Yonge Street	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey brick building in a Second Empire style. It is part of a row divided into pairs of units by projecting fire walls. The slate-tiled mansard roof is capped by a substantial moulded cornice and ends at a projecting cornice/gutter. There is one central dormer in each unit with 1/2 round projecting roof supported on brackets and trim that frame the 1/2 round window opening. The cornice is supported on 3 brackets joined by a banding course.	2.5	Historic Yonge Street
62.		542 Yonge Street (542A Yonge St)	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey brick building in a Second Empire style. It is part of a row divided into pairs of units by projecting fire walls. The slate-tiled mansard roof is capped by a substantial moulded cornice and ends at a projecting cornice/gutter. There is one central dormer in each unit with 1/2 round projecting roof supported on brackets and trim that frame the 1/2 round window opening. The cornice is supported on 3 brackets joined by a banding course.	2.5	Historic Yonge Street

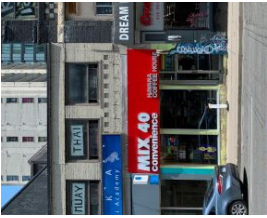
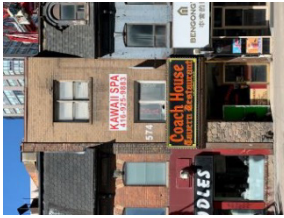
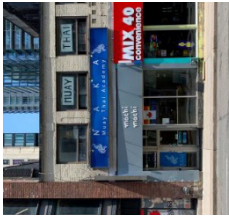
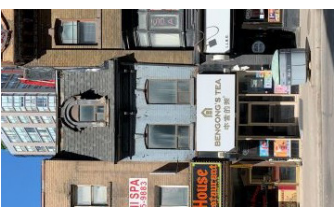
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
63.		544 Yonge Street (544A Yonge St)	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey brick building in a Second Empire style. It is part of a row divided into pairs of units by projecting fire walls. The mansard roof is capped by a substantial moulded cornice and ends at a projecting cornice/gutter. There is one central dormer in each unit with 1/2 round projecting roof supported on brackets and trim that frame the 1/2 round window opening.	2.5	Historic Yonge Street
64.		546 Yonge Street	Romanesque	1889	Design/Physical Contextual	This is a 3-storey building, part of a block of 3 units designed in a Romanesque style. Units are framed by projecting pilasters at the party walls with corbelled brick capitals at the 3rd floor window line. At the roof it is likely there was a projecting cornice, now missing. Below the parapet is a projecting cornice carried on bracketed keystones of the two 3rd-floor windows. Third floor windows have semi-circular arched heads springing from stone flat lintels. The panel above is a basket weave brick and below the lintel a large rectangular window opening. At the second floor there are two matching windows but with segmented arched heads and plain panels. The window sills are continuous, forming a band course.	3	Historic Yonge Street
65.		548 Yonge Street (548A Yonge St)	Romanesque	1889	Design/Physical Contextual	This is a 3-storey building, part of a block of 3 units designed in a Romanesque style. Units are framed by projecting pilasters at the party walls with corbelled brick capitals at the 3rd floor window line. At the roof it is likely there was a projecting cornice, now missing. Below the parapet is a projecting cornice carried on bracketed keystones of the two 3rd-floor windows. Third floor windows have a semi-circular arched head, with a decorative terracotta panel below the sill. The panel above is a basket weave brick and below the lintel a large rectangular window opening. At the second floor there are two matching windows but with segmented arched heads and plain panels. The window sills are continuous, forming a band course.	3	Historic Yonge Street

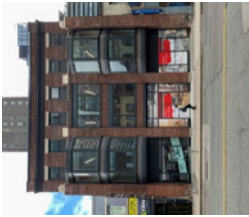
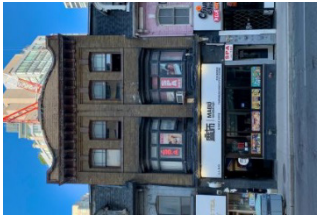
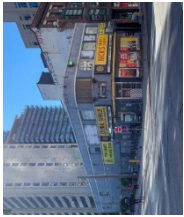
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
66.		550 Yonge Street	Romanesque	1889	Design/Physical Contextual	This is a 3-storey building, part of a block of 3 units designed in a Romanesque style. Units are framed by projecting pilasters at the party walls with corbelled brick capitals at the 3rd floor window line. At the roof it is likely there was a projecting cornice, now missing. Below the parapet is a projecting cornice carried on bracketed keystones of the two 3rd-floor windows. Third floor windows have semi-circular arched heads springing from stone flat lintels. The panel above is a basket weave brick and below the lintel a large rectangular window opening. At the second floor there are two matching windows but with segmented arched heads and plain panels. The window sills are continuous, forming a band course.	3	Historic Yonge Street
67.		552 Yonge Street	Edwardian	1912	Design/Physical Contextual	This is a 3-storey orange-brown mottled brick building in a simple, commercial Edwardian style. A roof cornice at the top of the wall is missing and covered by metal siding. The façade is divided into two bays by a brick frame around a group of 4 recessed windows at second and third floors. The frame is gridded at the top of the wall by lines extending vertically and horizontally above the third-floor windows. Each group of 4 window openings is divided vertically into two vertical groups of 2 with stepped brick on each side creating a brick pilaster between. Window openings have plain stone lintels and sills.	3	Historic Yonge Street
68.		564 Yonge Street	Georgian	1874	Design/Physical Contextual	This is a 2.5-storey building built in a Georgian style. It has a sloping roof with dormers. A projecting roof eave sits on a 3-course corbelled brick fascia. At each end of the group of 3 units there is a projecting parapet fire wall. Each unit is separated by chimney masses at the ridge and is separated by wall brick quoining. Second floor windows have brick drip hood mouldings with a linking horizontal band course at the drip and plain lug sills.	2.5	Historic Yonge Street

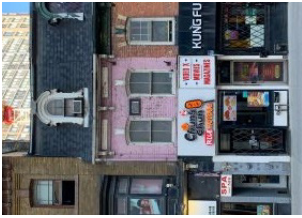
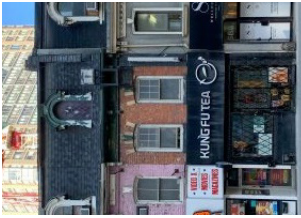
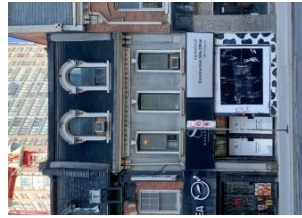
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
69.		565 Yonge Street	Richardsonian Romanesque	1889	Design/Physical Contextual	This is a 4-storey building designed in a Richardsonian Romanesque style. It is part of a 4-bay building. Each bay is framed by pilasters which rise off the commercial base and terminate in the 3rd storey at large arches spanning punched windows. Window sills and lintels vary between floor to include continuous and lug styles using rock and smooth faces. The spandrel between 2nd and 3rd floors features a checkerboard of rock faced stone and brick panels. At the 4th floor, attic storey, there are 3 grouped windows divided by brick piers, with similar continuous bands of sills and window lintels above which support a projecting cornice including large rock faced stone brackets.	4	Historic Yonge Street
70.		566 Yonge Street	Georgian	1873	Design/Physical Contextual	This is a 2.5-storey building built in a Georgian style. It has a sloping roof with dormers. A projecting roof eave sits on a 3-course corbelled brick fascia. At each end of the group of 3 units there is a projecting parapet firewall. Each unit is separated by chimney masses at the ridge and is separated by wall brick quoining. Second floor windows have brick drip hood mouldings with a linking horizontal band course at the drip and plain lug sills.	2.5	Historic Yonge Street

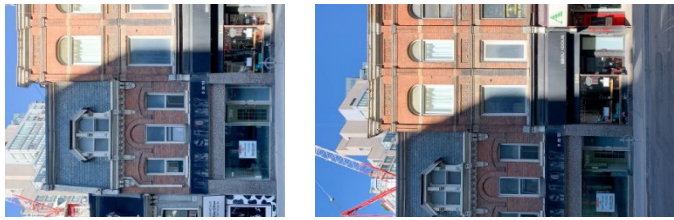
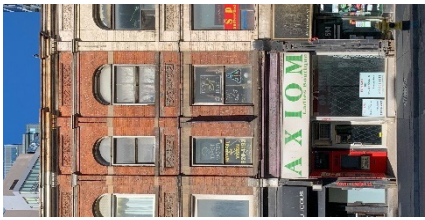
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
71.		567 Yonge Street	Richardsonian Romanesque	1889	Design/Physical Contextual	This is a 4-storey building designed in a Richardsonian-Romanesque style. It is part of a 4-bay building. Each bay is framed by pilasters which rise off the commercial base and terminate in the 3rd storey at large arches spanning punched windows. Window sills and lintels vary between floor to include continuous and lug styles using rock and smooth faces. The spandrel between 2nd and 3rd floors features a checkerboard of rock faced stone and brick panels. At the 4th floor, attic storey, there are 3 grouped windows divided by brick piers, with similar continuous bands of sills and window lintels above which support a projecting cornice including large rock faced stone brackets.	4	Historic Yonge Street
72.		568 Yonge Street and 1 Wellesley St West (3, 7 Wellesley St W)	Georgian, Contemporary	1873, 1980	Design/Physical Contextual	This is a 2.5-storey building built in a Georgian style. It has a sloping roof with dormers. A projecting roof eave sits on a 3-course corbelled brick fascia. At each end of the group of 3 units there is a projecting parapet firewall. Each unit is separated by chimney masses at the ridge and is separated by wall brick quoining. Second floor windows have brick drip hood mouldings with a linking horizontal band course at the drip and plain lug sills. The 2-storey portion of the property at 1, 3, and 7 Wellesley St West is non-contributing.	2.5	Historic Yonge Street

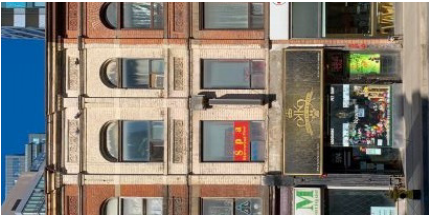
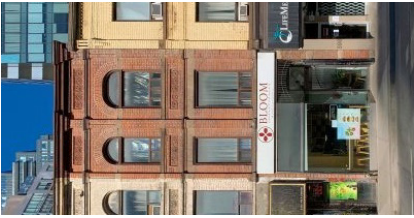
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
73.		569 Yonge Street (569 ½ Yonge St)	Richardsonian Romanesque	1889	Design/Physical Contextual	This is a 4-storey building designed in a Richardsonian Romanesque style. It is part of a 4-bay building. Each bay is framed by pilasters which rise off the commercial base and terminate in the 3rd storey at large arches spanning punched windows. Window sills and lintels vary between floor to include continuous and lug styles using rock and smooth faces. The spandrel between the 2nd and 3rd floors features a checkerboard of rock faced stone and brick panels. At the 4th floor, attic storey, there are 3 grouped windows divided by brick piers, with similar continuous bands of sills and window lintels above which support a projecting cornice including large rock faced stone brackets.	4	Historic Yonge Street
74.		570 Yonge Street (2, 2A, 4A, 4B Wellesley St W; 572 Yonge St)	Second Empire	1876	Contextual	This is a 2.5-storey building designed in a Second Empire style. It is part of a row of similarly designed units. It has a mansard roof, and originally would have had bell cast dormers. It is clad in red brick with poly-chromatic brickwork. The roof has projecting eaves, under which is a simple cornice moulding, brackets and fascia of red and buff brick panels between brackets. Window openings have segmented arched heads with limestone keystone and tapered voussoirs in double rows of alternating brick.	2.5	Historic Yonge Street
75.		571 Yonge Street *This is an entrance address to 573 Yonge with a unique legal description	Richardsonian Romanesque	1889	Design/Physical Contextual	<i>The following description is for the portion of 573 Yonge Street relating to the structure at 571 Yonge Street</i> This is a 4-storey building designed in a Richardsonian Romanesque style. It is part of a 4-bay building. Each bay is framed by pilasters which rise off the commercial base and terminate in the 3rd storey at large arches spanning punched windows. Window sills and lintels vary between floor to include continuous and lug styles using rock and smooth faces. The spandrel between the 2nd and 3rd floors features a checkerboard of rock faced stone and brick panels. At the 4th floor, attic storey, there are 3 grouped windows divided by brick piers, with similar continuous bands of sills and window lintels above which support a projecting cornice including large rock faced stone brackets.	4	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
76.		573 Yonge Street (571 Yonge St (see above))	Early Modern (Chicago School)	1895	Design/Physical Contextual	This is an Early Modern style building designed with minimal features. There is plain metal flashing at the roof. At the second storey there are 2 wide window openings with glass and metal windows 1/4-paired horizontal sliders. Below the windows is a row of square recesses 1 brick apart forming a decorative band.	2	Historic Yonge Street
77.		574 Yonge Street	Early Modern	1890	Contextual	This was originally a 3-storey Second Empire building but was rebuilt in 1890 in an Early Modern style with a flat roof and buff brick facade. A plain brick pilaster extends from the roof line to the 2nd floor on the south edge. There is a large plate glass window on the ground floor and it and the entrance on the right to the restaurant are recessed.	3	Historic Yonge Street
78.		575 Yonge Street	Early Modern (Chicago School)	1895	Design/Physical Contextual	This is an Early Modern style building designed with minimal features. There is plain metal flashing at the roof. At the second storey there are 2 wide window openings with glass and metal windows 1/4-paired horizontal sliders. Below the windows is a row of square recesses 1 brick apart forming a decorative band.	2	Historic Yonge Street
79.		576 Yonge Street	Second Empire	1876	Design/Physical Contextual	This is a 2.5-storey building designed in a Second Empire style. It is part of a row of similarly designed units. It has a mansard roof. It is clad in brick with poly-chromatic brickwork that has been painted over. The roof has projecting eaves, under which is a simple cornice moulding, brackets and fascia of redbrick and buff brick panels between brackets. Window openings have segmented arched heads with limestone keystones.	2.5	Historic Yonge Street

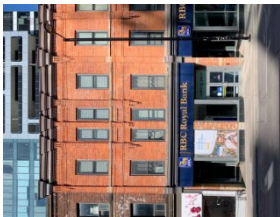
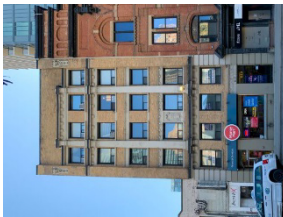
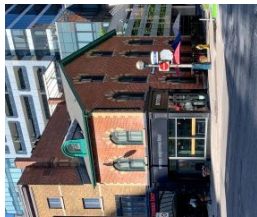
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
80.		577 Yonge Street	Edwardian Classicism	1899	Design/Physical Contextual	This is a 4-storey, 3-bay, brick building designed in an Edwardian style. The lower 3 stories are sharply divided into three bays by simple pilaster/ piers. At the 4th floor the building steps back to create an "attic" story. The center bay is flanked on each side by bays with large, 3-panel, bay windows at the 2nd and 3rd floors. The north and south piers project out further about one foot and are each topped by a round sphere. The 4th floor attic story has 6 evenly spaced 1/1 windows above which is a simple projecting eave and parapet.	4	Historic Yonge Street
81.		578 Yonge Street (580 Yonge St)	Renaissance Revival	1890	Design/Physical Contextual	This is a 3-storey brown brick building in a late Victorian Renaissance Revival style. The elevation is symmetrical and divided into two bays by shallow pilasters. The roof parapet has a curved form with corner pedestals and a central arched pediment. At the roof line there is an entablature with a projecting cornice supported on brackets and a plain frieze. At the third floor, inset between pilasters, are 2 paired windows per bay (total 4) each with segmental arched heads, brick voussoirs and expressed stone keystone. Stone sills extend across each pair. At the second floor between pilasters is 1 large bay window per bay (total 2). Windows are surmounted by moulded projecting cornice and roofette and sit upon a paneled wood knee wall. The Bay windows and pilasters sit on a projecting cornice sign band at the second floor line.	3	Historic Yonge Street
82.		579 Yonge Street (585 Yonge St)	Art Moderne	1951	Design/Physical Contextual	This is a 2-storey building designed in a streamlined Art Moderne style with a curved element at the north corner of the front facade where the main entrance door is located. It has continuous bands of brick or stone at the roof parapet, second floor window lintels, second floor window sill and a thin canopy above the corner entrance extending south on Yonge.	2	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
83.		582 Yonge Street (582A Yonge St)	Second Empire	1876	Design/Physical Contextual	This building is a unit of a row of eight (originally) 2.5-storey, polychromatic brick shops in a Second Empire style. It has a bell-cast mansard roof with central dormer. The dormer has a semi-circular roof over a bracketed wood framed window opening with a semi-circular head. The roof, clad with black shingles, has projecting eaves. Under the eaves there is a simple cornice moulding, brackets, and a fascia of painted brick with brick panels between the brackets.	2.5	Historic Yonge Street
84.		584 Yonge Street	Second Empire	1876	Design/Physical Contextual	This building is a unit of a row of eight (originally) 2.5-storey, polychromatic brick shop-houses in a Second Empire style. It has a bell-cast mansard roof with central dormer. The dormer has a semi-circular roof over a bracketed wood framed window opening with a semi-circular head. The roof, clad with black shingles, has projecting eaves. Under the eaves there is a simple cornice moulding, brackets, and a fascia of painted brick with brick panels between the brackets.	2.5	Historic Yonge Street
85.		586 Yonge Street (7 St Nicholas St; 586A Yonge St)	Second Empire	1876	Design/Physical Contextual	This is a 2.5-storey Second Empire style building with a bell cast mansard roof and brick firewalls on either side. There are two semi-circular dormers with decorated hoods that are supported by white corbelled brackets and have white trim and lug sills. The roof eave projects to form an entablature which consists of molded frieze and dentil moulding supported by double brackets at each end - all painted white. There are 3 rectangular window openings each with a slightly curved top, plain white trim, large white keystone, and white moulded lug sill.	2.5	Historic Yonge Street

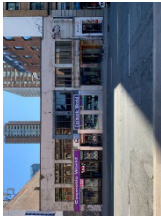
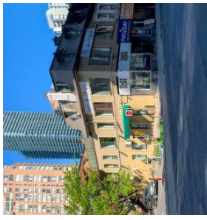
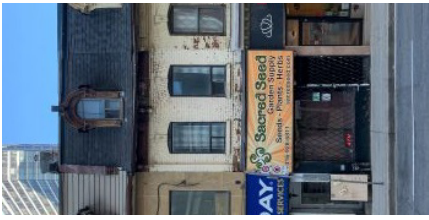
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
86.		588 Yonge Street (590 Yonge St)	Second Empire	1871	Design/Physical Contextual	<p>This 2.5-storey red brick building is designed in a "high" Second Empire style with extensive features and decorative brickwork. The mansard is surmounted by a moulded cornice and framed on the left by a decorative firewall. The dormer has a jerkin head style roof supported on brackets between a pair of windows with plaster side frames on a continuous sill. The entablature includes decorative brackets supporting the cornice with dentils between.</p> <p>The 3-storey building at 590 Yonge is designed with predominantly Italianate features and is one unit of a four unit attached brick building. Each unit is separated by a vertical pilaster with a large bracket at the sign band, a small "capital" at the third floor and again at the base of the entablature, finally terminating in a larger moulded capital at the upper cornice. A substantial sign band/cornice separates the ground floor shops from the upper two stories and with the principal pilasters frame the storefront. Each window has a rectangular lower and arched transom window and stone banding connects to this to form a continuous band. Window sills are also continuous forming a band. Within the spandrel between 2nd and 3rd floors there is a counter-relief decorative panel.</p>	2.5	Historic Yonge Street
87.		592 Yonge Street	Italianate	1888	Design/Physical Contextual	<p>This 3-storey building is designed with predominantly Italianate features and is one unit of a four unit attached brick building. Each unit is separated by a vertical pilaster with a large bracket at the sign band, a small "capital" at the third floor and again at the base of the entablature, finally terminating in a larger moulded capital at the upper cornice. A substantial sign band/cornice separates the ground floor shops from the upper two stories and with the principal pilasters frame the storefront. Each window has a rectangular lower and arched transom window and stone banding connects to this to form a continuous band. Window sills are also continuous forming a band. Within the spandrel between 2nd and 3rd floors there is a counter-relief decorative panel.</p>	3	Historic Yonge Street

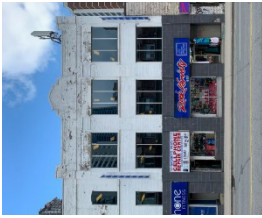
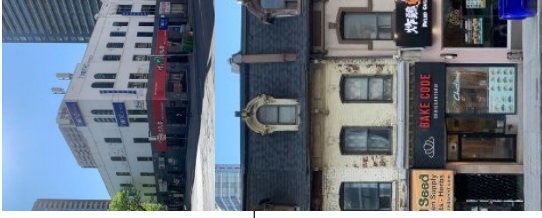
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
88.		594 Yonge Street	Italianate	1888	Design/Physical Contextual	This 3-storey building is designed with predominantly Italianate features and is one unit of a four unit attached brick building. Each unit is separated by a vertical pilaster with a large bracket at the sign band, a small "capital" at the third floor and again at the base of the entablature, finally terminating in a larger moulded capital at the upper cornice. A substantial sign band/cornice separates the ground floor shops from the upper two stories and with the principal pilasters frame the storefront. Each window has a rectangular lower and arched transom window and stone banding connects to this to form a continuous band. Window sills are also continuous forming a band. Within the spandrel between 2nd and 3rd floors there is a counter-relief decorative panel. This unit has been painted.	3	Historic Yonge Street
89.		596 Yonge Street	Italianate	1888	Design/Physical Contextual	This 3-storey building is designed with predominantly Italianate features and is one unit of a four unit attached brick building. Each unit is separated by a vertical pilaster with a large bracket at the sign band a small "capital" at the third floor and again at the base of the entablature, finally terminating in a larger moulded capital at the upper cornice. A substantial sign band/cornice separates the ground floor shops from the upper two stories and with the principal pilasters frame the storefront. Each window has a rectangular lower and arched transom window and stone banding connects to this to form a continuous band. Window sills are also continuous forming a band. Within the spandrel between 2nd and 3rd floors there is a counter-relief decorative panel.	3	Historic Yonge Street

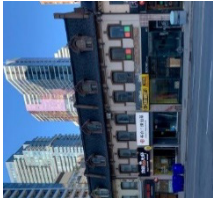
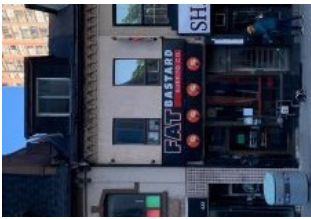

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
90.		598-600 Yonge Street (600 Yonge St)	Italianate	1886	Design/Physical Contextual	This is a 3-storey building designed with predominantly Italianate style features. It is part of a row of similarly designed buildings. Each building is separated by a vertical pilaster with a large bracket at the sign band/cornice rising to the building entablature, finally terminating in a larger corbelled brick bracket at the upper cornice. Between principal pilasters are 3 smaller pilasters which, unusually, corbel out of the wall near the head of the second floor windows with 2 saw tooth panels at the third floor spandrel between pilasters. A brick entablature with string courses, a saw tooth band and corbelled brick detailing support a shallow projecting cornice at the roofline.	3	Historic Yonge Street
91.		601 Yonge Street and 6 Gloucester Street (2 Gloucester St; 603, 605, 607, 609, 611 B, 613 Yonge St; 611 Yonge St)	Renaissance Revival	1888	Design/Physical Contextual	This is a 4-storey red brick building designed in a high Renaissance Revival style. Its features and architectural details include stone dressings, brick and stone voussoirs, stone keystones, lintels and column capitals. There are 7 structural bays along Yonge St. bookended by 5-storey towers. A paneled parapet links the two towers and is separated by a projecting cornice from the wall below. The window transoms have stained glass panels and spandrels are a mix of stone lintels and cast iron lintels.	4	Historic Yonge Street
92.		602 Yonge Street (604 Yonge St)	Italianate	1886	Design/Physical Contextual	This is a 3-storey building designed with predominantly Italianate style features. It is part of a row of similarly designed buildings. Each building is separated by a vertical pilaster with a large bracket at the sign band/cornice rising to the building entablature, finally terminating in a larger corbelled brick bracket at the upper cornice. Between principal pilasters are 3 smaller pilasters which, unusually, corbel out of the wall near the head of the second floor windows with 2 saw tooth panels at the third floor spandrel between pilasters. A brick entablature with string courses, a saw tooth band and corbelled brick detailing support a shallow projecting cornice at the roofline.	3	Historic Yonge Street

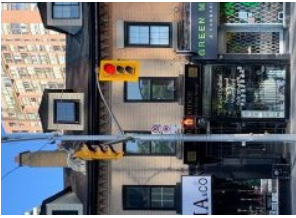

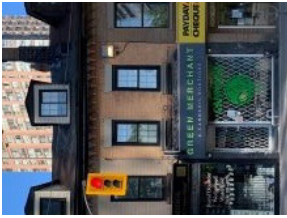
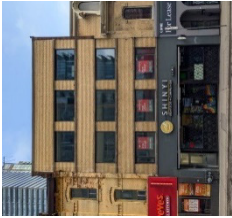
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
93.		606 and 608 Yonge Street	Italianate	1886	Design/Physical Contextual	This is a 3-storey building designed with predominantly Italianate style features. It is part of a row of similarly designed buildings. Each building is separated by a vertical pilaster with a large bracket at the sign band/cornice rising to the building entablature, finally terminating in a larger corbelled brick bracket at the upper cornice. Between principal pilasters are 3 smaller pilasters which, unusually, corbel out of the wall near the head of the second floor windows with 2 saw tooth panels at the third floor spandrel between pilasters. A brick entablature with string courses, a saw tooth band and corbelled brick detailing support a shallow projecting cornice at the roofline.	3	Historic Yonge Street
94.		615 Yonge Street (617 Yonge St)	Edwardian Classicism	1915	Design/Physical Contextual	This building was designed in an Edwardian Classicism style. It is distinguished by its classical organization and detailing, particularly the stone embellishments and date stone in the upper floors. Some of the building's features include: coping along the flat roofline; the tripartite organization of the facade, the orange-brown brick and stone piers, the cornices with brackets, and the classical detailing that includes the stone ornaments on the brick piers near the roofline.	6	Historic Yonge Street
95.		618 Yonge Street (610, 612, 614, 616 Yonge St)	Renaissance Revival	1876	Design/Physical Contextual	This is a 2.5-storey building designed with Georgian simplicity and Renaissance Revival features. It is clad in red brick. Upper storey windows are arched with polychromatic brickwork, drip lintels and pronounced keystones. The gable roof has a small round arched dormer on the east slope. Stone lug sill rest on brick brackets. Corners feature buff quoining.	2.5	Historic Yonge Street

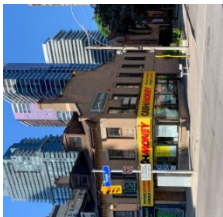

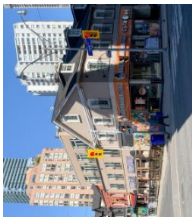
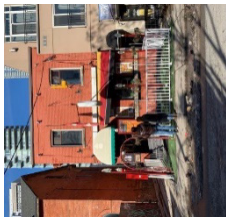
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
		610-612 Yonge Street	Italianate	1886		<p>The structure at 610-612 Yonge is a 3-storey building designed with predominantly Italianate style features. It is part of a row of similarly designed buildings. Each building is separated by a vertical pilaster with a large bracket at the sign band/cornice rising to the building entablature, finally terminating in a larger corbelled brick bracket at the upper cornice. Between principal pilasters are 3 smaller pilasters which, unusually, corbel out of the wall near the head of the second floor windows with 2 saw tooth panels at the third floor spandrel between pilasters. A brick entablature with string courses, a saw tooth band and corbelled brick detailing support a shallow projecting cornice at the roofline.</p>	3	
		614 Yonge Street	Italianate	1885		<p>The structure at 614 Yonge is a 2.5-storey commercial structure with architectural features predominantly of the Italianate style. The upper storey has segmental-arched window openings, with brick hood moulds with keystones and stone sills and elaborate brick detailing inspired by the Italianate style. These openings have brick hood moulds with keystones and stone sills. There is detailing beneath the eaves with brick panels and brackets. The gable roof has a gabled dormer. The building sits on a stone foundation.</p>	2.5	
		616 Yonge Street	Edwardian	1885		<p>The structure at 616 Yonge originally would have resembled adjacent Italianate buildings with pitched roofs but was retro-fitted with Edwardian-style features. It is clad in brick. Windows are above a continuous stone sill forming a band. The second floor has an oversized rectangular glass window with a continuous stone sill. It has a moulded entablature at its roof line.</p>	4	


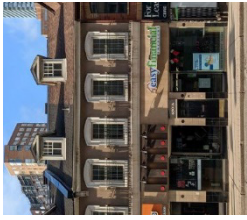
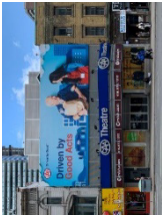
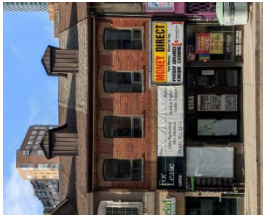
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
96.		619 Yonge Street (621, 623, 623A, 623B Yonge St)	Early Modern (Chicago School)	1923	Design/Physical Contextual	This is a 2-storey simple brick commercial building. It has a flat roof and plain brick with no ornamentation that has been painted. Window openings have plain heads with no accentuating brickwork. The sill is a plain slip sill. A part bay at the south end contains a doorway to the upper floor.	2	Historic Yonge Street
97.		620 Yonge Street (4 St Joseph St; 622, 622A Yonge St)	Second Empire	1878	Contextual	This is a 2.5-storey Second Empire stucco on brick building. It is part of a row of Second Empire buildings. It has bell shaped dormers with carved wood openings, and paneling on its roof.	2.5	Historic Yonge Street
98.		624 Yonge Street	Second Empire	1878	Design/Physical Contextual	This is a 2.5-storey, stucco on brick, Second Empire style building. This building is part of a row of commercial structures (620-632) constructed in pairs, separated by fire wall parapets and shallow pilasters, in the same style. A small cornice "cap" tops the mansard. At the mansard there is a single dormer with a wood surround including a projecting arched hood moulding with carved keystone-finial and brackets. The mansard has a projecting eave supported on brackets; between brackets is a raised brick panel and banding course.	2.5	Historic Yonge Street

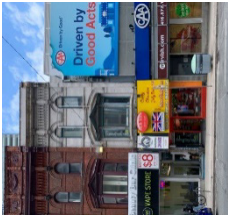
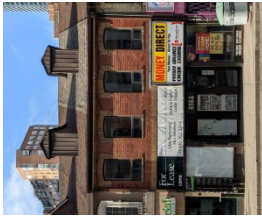
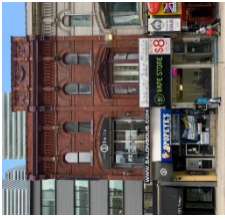
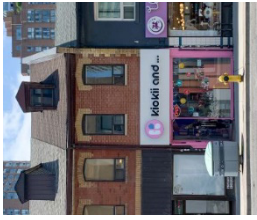
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
99.		625 Yonge Street (1, 3, 5 Isabella St; 627, 629, 631, 633, 635, 637 Yonge St)	Edwardian Classicism	1905; 1921	Design/Physical Contextual	<p>This property comprises two buildings. The building on the south end of the property is a 3-storey building designed in an Edwardian style and related to the adjoining corner building. It is clad in brick that has been painted. There is a stepped parapet with central stepped architrave atop a banding course forming a simplified entablature. The facade is organized into 3 bays by projecting pilasters. The end pilasters rise to the roof, the middle to the entablature and are capped by corbelled brick forming a capital expression.</p> <p>The building on the north is at the corner of Yonge and Isabella streets. It is a 3-storey building designed in a simple Edwardian style. The façade is divided vertically into 3 parts. A parapet defined by a banding course at the roof line, a continuous band at the third floor window sills, and a tile-clad base at the ground floor with display windows and entrances.</p>	3	Historic Yonge Street
100.		626 Yonge Street	Second Empire	1878	Design/Physical Contextual	<p>This is a 2.5-storey, stucco on brick, Second Empire style building. This building is part of a row of commercial structures (620-632) constructed in pairs, separated by fire wall parapets and shallow pilasters, in the same style. A small cornice 'cap' tops the mansard. At the mansard there is a single dormer with a wood surround including a projecting arched hood moulding with carved keystone-finial and brackets. The mansard has a projecting eave supported on brackets; between brackets is a raised brick panel and banding course.</p>	2.5	Historic Yonge Street

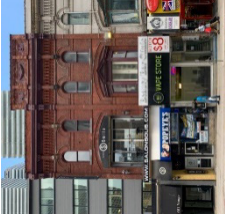
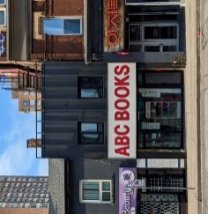
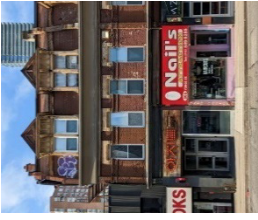
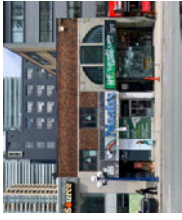
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
101.		632 Yonge Street (628, 630 Yonge St)	Second Empire	1878	Design/Physical Contextual	This is a 2.5-storey, stucco on brick, Second Empire style building. This building is part of a row of commercial structures (620-632) constructed in pairs, separated by fire wall parapets and shallow pilasters, in the same style. This property includes 4 bays of the row (2 pairs). A small cornice "cap" tops the mansard. At the mansard for each bay, there is a single dormer with a wood surround including a projecting arched hood moulding with carved keystone-finial and brackets. The mansard has a projecting eave supported on brackets; between brackets is a raised brick panel and banding course.	2.5	Historic Yonge Street
102.		634 Yonge Street	Georgian	1865	Design/Physical Contextual	This is a 2.5-storey building in a late Georgian style. It is part of a row of buildings separated into 3 pairs of two units for a total of 6 units by parapet firewalls. It has a low sloped roof with a hipped roof dormer clad in horizontal siding and a square window opening. The roof includes a projecting eave which is supported by a corbelled, brick, dentilated frieze at the top of the brick wall. At the second floor there are two flat arch window openings and plain lug sills.	2.5	Historic Yonge Street
103.		636 Yonge Street	Georgian	1865	Design/Physical Contextual	This is a 2.5-storey building in a late Georgian style. It is part of a row of buildings separated into 3 pairs of two units for a total of 6 units by parapet firewalls. It has a low sloped roof with a hipped roof dormer clad in horizontal siding and a square window opening. The roof includes a projecting eave which is supported by a corbelled, brick, dentilated frieze at the top of the brick wall. At the second floor there are two flat arch window openings and plain lug sills.	2.5	Historic Yonge Street

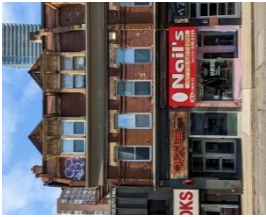
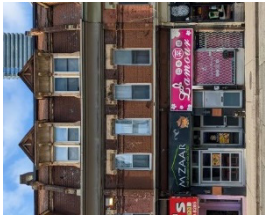
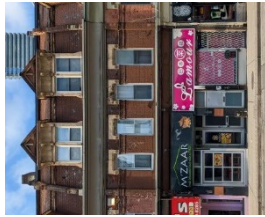
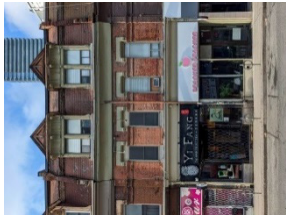
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
104.		638 Yonge Street	Georgian	1865	Design/Physical Contextual	This is a 2.5-storey building in a late Georgian style. It is part of a row of buildings separated into 3 pairs of two units for a total of 6 units by parapet firewalls. It has a low sloped roof with a hipped roof dormer clad in horizontal siding and a square window opening. The roof includes a projecting eave which is supported by a corbelled, brick, dentilated frieze at the top of the brick wall. At the second floor there are two flat arch window openings and plain lug sills.	2.5	Historic Yonge Street
105.		639 Yonge Street (2, 4 Isabella St)	Second Empire	1879	Design/Physical Contextual	This property contains a 2.5-storey mixed-use building designed in a Second Empire style, with: a mansard roof; bell shaped dormers of carved wood; a decorated soffit with eaves, and vertically oriented semi-circular windows.	2.5	Historic Yonge Street
106.		640 Yonge Street	Georgian	1865	Design/Physical Contextual	This is a 2.5 storey building in a late Georgian style. It is part of a row of buildings separated into 3 pairs of two units for a total of 6 units by parapet firewalls. It has a low sloped roof with a hipped roof dormer clad in horizontal siding and a square window opening. The roof includes a projecting eave which is supported by a corbelled, brick, dentilated frieze at the top of the brick wall. At the second floor there are two flat arch window openings and plain lug sills.	2.5	Historic Yonge Street
107.		641 Yonge Street (643 Yonge St)	Mid-Century Modern	1951	Design/Physical Contextual	This is a 4-storey building designed in a Mid-Century Modern architectural style and clad in brick. It has vertically oriented windows clustered in bays and framed with continuous lintels and sills.	4	Historic Yonge Street

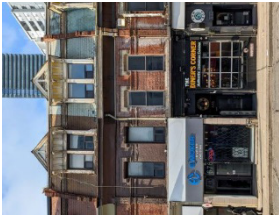
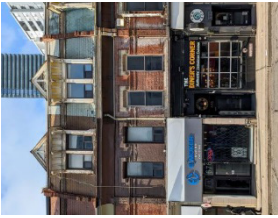
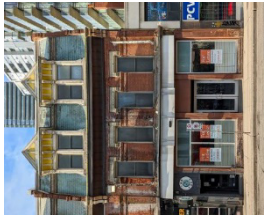
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
108.		644 Yonge Street (1, 3, 5 Irwin Ave)	Georgian	1865	Design/Physical Contextual	This is a 2.5-storey building in a late Georgian style. It is part of a row of buildings separated into 3 pairs of two units for a total of 6 units by parapet firewalls. It has a low sloped roof with a hipped roof dormer clad in horizontal siding and a square window opening. The roof includes a projecting eave which is supported by a corbelled, brick, dentilated frieze at the top of the brick wall. At the second floor there are two flat arch window openings and plain lug sills.	2.5	Historic Yonge Street
109.		645 Yonge Street	Italianate	1887	Design/Physical Contextual	This is a 3-storey building constructed in an Italianate style with extensive brick detailing, including continuous lintels and sills that frame vertically oriented windows.	3	Historic Yonge Street
110.	 	646 Yonge Street (2, 2A, 4 Irwin Ave; 648, 648A Yonge St) 4 Irwin Ave	Georgian	1873; 1904	Design/Physical Contextual	This 2.5-storey building is designed in a Georgian style dating to 1873. It is a part of a row of similar buildings and is separated by a parapet firewall. It is two storefront units wide. At the third floor there is a sloping roof with two pedimented dormers per unit. They each contain rectangular window openings with replacement windows with 8/2 grilles. At the second storey there are 2 windows per unit. Large eared moulded frames surround the openings. The structure at 4 Irwin is also contributing. It is a 2-storey building of Georgian simplicity constructed in 1904. It has a flat roof with shallow projecting fascia. At the second storey there are two window openings with shallow arched heads, brick voussoirs and rock faced stone lug sills.	2.5	Historic Yonge Street

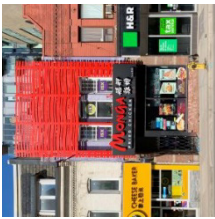
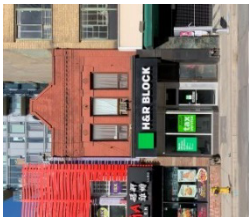
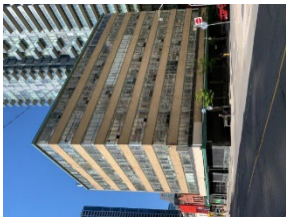
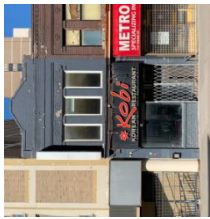
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
111.		649 Yonge Street (12A Isabella St; 647 Yonge St)	Vernacular	c.1910	Design/Physical Contextual	This property contains two earlier structures unified by an early-20 th century 3-storey façade designed in a Vernacular style. It includes decorative brick work framing vertically oriented windows, such as lintels, sills, and corbelling.	3	Historic Yonge Street
112.		650 Yonge Street (650A, 652 Yonge St)	Georgian	1873	Design/Physical Contextual	This 2.5-storey building is designed in a Georgian style dating to 1873. It is a part of a row of similar buildings and is separated by a parapet firewall. It is two storefront units wide. At the third floor there is a sloping roof with two pedimented dormers per unit. They each contain rectangular window openings with replacement windows with 8/2 grilles. At the second storey there are 2 windows per unit. Large eared moulded frames surround the openings.	2.5	Historic Yonge Street
113.		651 Yonge Street (653 Yonge St)	Over-clad (Second Empire)	1887	Contextual	This property contains a 2.5-storey building designed in a Second Empire style. It was altered for use as a theatre in 1912. It has been over-clad with a metal lattice that obscures the building's features.	2.5	Historic Yonge Street
114.		654 Yonge Street	Georgian	1873	Design/Physical Contextual	This is a unit in a row of similar 2.5-storey buildings designed in a simple Georgian style. The roof slopes back and includes a small dormer with a gable ended roof that has been covered. The façade was reconstructed in the 1980s and is shared with 656 Yonge Street. It is red brick with buff brick drip hoods, over 4 second floor windows, brick sills and a banding course above the storefront. Storefronts, 1 per unit, are book matched with glass in metal frame display windows on metal panel curb walls separated by central recessed, paired, store entrances and a third centre door to upper floors.	2.5	Historic Yonge Street

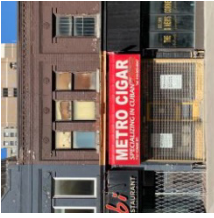
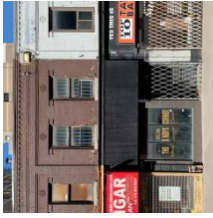

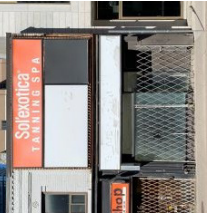
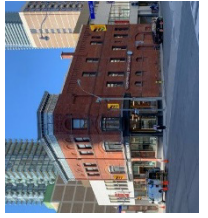
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
115.		655 Yonge Street	Italianate	1887	Design/Physical Contextual	This building is designed in an Italianate style, and clad in brick with carved wood and stone detailing. It has extensive decorative brickwork including corbelling, carved entablatures and brackets, and continuous lintels. It is a bay of a larger building, demarcated by a pilaster. The brick on this building has been painted.	3	Historic Yonge Street
116.		656 Yonge Street	Georgian	1873	Design/Physical Contextual	This is a unit in a row of similar 2.5-storey buildings designed in a simple Georgian style. The roof slopes back and includes a small dormer with a gable ended roof that has been covered. The façade was reconstructed in the 1980s and is shared with 654 Yonge Street. It is red brick with buff brick drip hoods, over 4 second floor windows, brick sills and a banding course above the storefront. Storefronts, 1 per unit, are book matched with glass in metal frame display windows on metal panel curb walls separated by central recessed, paired, store entrances and a third centre door to upper floors.	2.5	Historic Yonge Street
117.		657 Yonge Street (657A Yonge St)	Italianate	1887	Design/Physical Contextual	This building is designed in an Italianate style and clad in brick with carved wood and stone detailing. It has extensive decorative brickwork including corbelling, carved entablatures and brackets, and continuous lintels. It is a bay of a larger building, demarcated by a pilaster.	3	Historic Yonge Street
118.		658 Yonge Street	Georgian	1873	Design/Physical Contextual	This is a 2.5-storey, painted brick building in a simplified Georgian style. It has a sloping roof with a pedimented dormer. On the second floor there are two segmental arched window openings with raised brick drip hood mouldings. There is a brick lug sill below. On this building the upper floor has been painted. The façade was reconstructed in 2023.	2.5	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
119.		659 Yonge Street	Italianate	1887	Design/Physical Contextual	This building is designed in an Italianate style and clad in brick with carved wood and stone detailing. It has extensive decorative brickwork including corbelling, carved entablatures and brackets, and continuous lintels. It is a bay of a larger building, demarcated by a pilaster.	3	Historic Yonge Street
120.		660 Yonge Street	Georgian	1876	Design/Physical Contextual	This is a 2-storey building designed in a simple Georgian style with a gable roof. It is clad in brick that has been painted and includes brick voussoirs and lug sills.	2	Historic Yonge Street
121.		662 Yonge Street	Over-clad (Vernacular)	1876, 1945	Design/Physical Contextual	This is a 2-storey building that has been over-clad, obscuring its features. Some of the building's brick facade is visible behind its over-cladding. Portions of the building were reconstructed after a fire in 1945.	2	Historic Yonge Street
122.		664 Yonge Street	Second Empire	1883	Design/Physical Contextual	This is a 2.5-storey brick building built in the Second Empire style. It is part of a row of units divided by parapet firewalls at the roof and projecting brick pilasters at the wall into 5 sections of two commercial units with residential above. Its overall size and period detailing give it prominence on Yonge St. It is a fine and highly detailed version of the Second Empire style. The roof is gambrel with a projecting cornice. Firewalls include a bracket form at the base and top.	2.5	Historic Yonge Street
123.		665 Yonge Street (667, 667A Yonge St)	Modern	1949	Design/Physical Contextual	This property contains a portion of a commercial building constructed in a Modern architectural style. It has brick cladding, a flat roof and windows that form an arch over its entryway.	2	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
124.		666 Yonge Street	Second Empire	1883	Design/Physical Contextual	This is a 2.5-storey brick building built in the Second Empire style. It is part of a row of units divided by parapet firewalls at the roof and projecting brick pilasters at the wall into 5 sections of two commercial units with residential above. Its overall size and period detailing give it prominence on Yonge St. It is a fine and highly detailed version of the Second Empire style. The roof is gambrel with a projecting cornice. Firewalls include a bracket form at the base and top.	2.5	Historic Yonge Street
125.		668 Yonge Street	Second Empire	1883	Design/Physical Contextual	This is a 2.5-storey brick building built in the Second Empire style. It is part of a row of units divided by parapet firewalls at the roof and projecting brick pilasters at the wall into 5 sections of two commercial units with residential above. Its overall size and period detailing give it prominence on Yonge St. It is a fine and highly detailed version of the Second Empire style. The roof is gambrel with a projecting cornice. Firewalls include a bracket form at the base and top.	2.5	Historic Yonge Street
126.		670 Yonge Street	Second Empire	1883	Design/Physical Contextual	This is a 2.5-storey brick building built in the Second Empire style. It is part of a row of units divided by parapet firewalls at the roof and projecting brick pilasters at the wall into 5 sections of two commercial units with residential above. Its overall size and period detailing give it prominence on Yonge St. It is a fine and highly detailed version of the Second Empire style. The roof is gambrel with a projecting cornice. Firewalls include a bracket form at the base and top.	2.5	Historic Yonge Street
127.		672 Yonge Street (674 Yonge St)	Second Empire	1883	Design/Physical Contextual	This is a 2.5-storey brick building built in the Second Empire style. It is part of a row of units divided by parapet firewalls at the roof and projecting brick pilasters at the wall into 5 sections of two commercial units with residential above. This property comprises two commercial units. Its overall size and period detailing give it prominence on Yonge St. It is a fine and highly detailed version of the Second Empire style. The roof is gambrel with a projecting cornice. Firewalls include a bracket form at the base and top.	2.5	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
128.		676 Yonge Street	Second Empire	1883	Design/Physical Contextual	This is a 2.5-storey brick building built in the Second Empire style. It is part of a row of units divided by parapet firewalls at the roof and projecting brick pilasters at the wall into 5 sections of two commercial units with residential above. Its overall size and period detailing give it prominence on Yonge St. It is a fine and highly detailed version of the Second Empire style. The roof is gambrel with projecting cornice clad in tile or red slate shingles. Firewalls include a bracket form at the base and top.	2.5	Historic Yonge Street
129.		678 Yonge Street	Second Empire	1883	Design/Physical Contextual	This is a 2.5-storey brick building built in the Second Empire style. It is part of a row of units divided by parapet firewalls at the roof and projecting brick pilasters at the wall into 5 sections of two commercial units with residential above. Its overall size and period detailing give it prominence on Yonge St. It is a fine and highly detailed version of the Second Empire style. The roof is gambrel with a projecting cornice. Firewalls include a bracket form at the base and top.	2.5	Historic Yonge Street
130.		680 Yonge Street (682 Yonge St)	Second Empire	1883	Design/Physical Contextual	This is a 2.5-storey brick building built in the Second Empire style. It is part of a row of units divided by parapet firewalls at the roof and projecting brick pilasters at the wall into 5 sections of two commercial units with residential above. This property comprises two commercial units. Its overall size and period detailing give it prominence on Yonge St. It is a fine and highly detailed version of the Second Empire style. The roof is gambrel with a projecting cornice. Firewalls include a bracket form at the base and top.	2.5	Historic Yonge Street
131.		686-688 Yonge Street (686, 686A, 688, 690 Yonge St)	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey, 3-unit, painted brick building in a Second Empire style. There is a mansard roof with three dormers, 1 per unit. A projecting cornice caps the mansard which is framed by projecting end firewalls and it ends at a projecting gutter-cornice at the 2nd floor. The cornice is part of a simple entablature with plain frieze and corbelled and dentilated architrave. There are 6 evenly spaced window openings, 2 per unit, each with segmental arched heads, brick voussoirs, keystones and plain lug sills.	2.5	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
132.		692 Yonge Street (692A Yonge St)	Over-clad (Edwardian Classicism)	1909	Contextual	This building has been over-clad with a metal lattice that obscures its features. Close to the building its features can be seen and are generally intact and a mirror image of 694 Yonge Street.	2	Historic Yonge Street
133.		694 Yonge Street (694A Yonge St)	Edwardian Classicism	1909	Design/Physical Contextual	This is a 2-storey building in the Edwardian Classicism style. The 2nd floor has 3 grouped window openings. Window openings have a shared continuous stone lintel with a carved stone medallion above each window. A brick entablature includes a plain architrave, corbelled plain brick frieze and a further corbelled and dentilated brick cornice. Above the cornice is a plain brick parapet with a central, stepped up and sloping, central gable.	2	Historic Yonge Street
134.		696 Yonge Street (698, 700 Yonge St)	International	1954	Design/Physical Contextual	This building is designed in the International style, with a clean facade and balanced proportions. Distinguishing features of this building are its continuous ribbon windows. They create a continuous band of windows from the west facade to the north facade, to the east facade, and extend partially into the southern facade as well. Buff brick is used on the spandrels between the windows. The main floor is clad with green marble, which frames the entrances. That same marble covers the main floor eastern and northern facade.	8	Historic Yonge Street
135.		710 Yonge Street	Edwardian	1909	Design/Physical Contextual	This is a 2-storey building designed in an Italianate style with decorative brickwork at the cornice and carved stone medallions above each window. It is part of a row of similarly designed buildings.	2	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
136.		712 Yonge Street	Edwardian	1909	Design/Physical Contextual	This is a 2-storey building designed in an Italianate style with decorative brickwork at the cornice and carved stone medallions above each window. It is part of a row of similarly designed buildings.	2	Historic Yonge Street
137.		714 Yonge Street	Edwardian	1909	Design/Physical Contextual	This is a 2-storey building designed in an Italianate style with decorative brickwork at the cornice and carved stone medallions above each window. It is part of a row of similarly designed buildings.	2	Historic Yonge Street
138.		716 Yonge Street	Edwardian	1909	Design/Physical Contextual	This is a 2-storey building designed in an Italianate style with decorative brickwork at the cornice and carved stone medallions above each window. It is part of a row of similarly designed buildings.	2	Historic Yonge Street
139.		718 Yonge Street	Over-clad	1909	Contextual	This is a 2-storey building that has been over-clad with signage. It is likely constructed in a similar architectural style to adjacent Italianate commercial buildings.	2	Historic Yonge Street
140.		720 Yonge Street (3 Charles St W; 722, 724, 726, 728 Yonge St)	Richardsonian Romanesque	1889	Design/Physical Contextual	This is a 3-storey building designed in a Richardsonian Romanesque style. It features extensive decorative brickwork including: carved panels; arched voussoirs and continuous sills with corbelling.	3	Historic Yonge Street

D: List of Non-Contributing Properties

No.	Primary Address/ Street Name	Structure Address(es)/ Entrance Address(es)	Date of Construction	Character Sub-Area
1.	15 Irwin Avenue		1876	St. Nicholas Village
2.	23 Irwin Avenue		1981	St. Nicholas Village
3.	25 Irwin Avenue		1981	St. Nicholas Village
4.	27 Irwin Avenue		1981	St. Nicholas Village
5.	29 Irwin Avenue		1981	St. Nicholas Village
6.	9 Isabella Street	7 Isabella St	1947	Historic Yonge Street
7.	14 and 14 A Isabella Street		1903	Residential Pockets
8.	16 Isabella Street		1903	Residential Pockets
9.	22 St Joseph Street		1980	St. Nicholas Village
10.	155 St Luke Lane		n/a	Historic Yonge Street
11.	5 St Nicholas Street		n/a	Historic Yonge Street
12.	65 and 75 St Nicholas Street	67 St Nicholas St 69 St Nicholas St 71 St Nicholas St 73 St Nicholas St	2015	Historic Yonge Street
13.	79 St Nicholas Street		n/a	Historic Yonge Street
14.	6 Wellesley Street West	6A Wellesley St W 6B Wellesley St W	n/a	Residential Pockets
15.	8 Wellesley Street West		n/a	Residential Pockets
16.	500 Yonge Street	502 Yonge St	2012	Historic Yonge Street
17.	510 Yonge Street	512 Yonge St	1969	Historic Yonge Street
18.	518 Yonge Street	518A Yonge St 520 Yonge St	1903	Historic Yonge Street
19.	522 Yonge Street	522A Yonge Street 524 Yonge Street	1918	Historic Yonge Street
20.	543 Yonge Street	545 Yonge St 547 Yonge St	1978	Historic Yonge Street
21.	555 Yonge Street		1968	Historic Yonge Street
22.	556 Yonge Street		2021	Historic Yonge Street
23.	558 Yonge Street		1895	Historic Yonge Street
24.	561 Yonge Street and 8, 10 Wellesley Street East	559 Yonge St 563 Yonge St	1997	Historic Yonge Street

No.	Primary Address/ Street Name	Structure Address(es)/ Entrance Address(es)	Date of Construction	Character Sub-Area
25.	593 and 599 Yonge Street	2 Dundonald St 2A Dundonald St 2B Dundonald St 2C Dundonald St 2D Dundonald St 2E Dundonald St 1 Gloucester St 3 Gloucester St 5 Gloucester St 587 Yonge St 587A Yonge St 589 Yonge St 591 Yonge St 595 Yonge St 595A Yonge St 595B Yonge St 597 Yonge St 597A Yonge St 599A Yonge St 599B Yonge St 599C Yonge St 599D Yonge St	2022	Historic Yonge Street
26.	661 Yonge Street	663 Yonge St	1957	Historic Yonge Street
27.	673 Yonge Street	1 Charles St E 3 Charles St E	1875; 1990	Historic Yonge Street
28.	684 Yonge Street		1929	Historic Yonge Street

E: Transition

This Plan does not apply to those approvals identified in Appendix “E” (the “Listed Approvals”). For clarity such Listed Approvals are inclusive of instruments that have been approved in principle, either by a decision of Council or the Ontario Land Tribunal, and of any pending or subsequent site plan applications which implement such approvals.

This Plan also does not apply to any modifications or changes to such Listed Approvals provided that such modifications or changes are *substantially* in accordance with the Conservation Plan related to the Listed Approval, if a Conservation Plan was

required as part of the earlier application. For the purposes of this appendix, “approved in principle” shall mean an approval by City Council or the Ontario Land Tribunal approving a proposal in principle, but does not require bills to have been adopted by Council or a final Order from the Ontario Land Tribunal.

This appendix shall not be interpreted as to exclude or exempt a property from this Plan should a *new development* application(s) be proposed on a property that is not *substantially* in accordance with such Listed Approval.

Address & Application Number	Date of Decision	File/Item Number	By-law
619-637 Yonge Street and 1-9 Isabella Street	City Council Decision March 20, 2024 (CC16.25)		TBD
639-651 Yonge Street and 2-14 Isabella Street	City Council Decision May 22, 2024 (TE13.5)	22 204279 STE 13 OZ 22 204278 STE 13 SA	TBD
646-668 Yonge Street, 2-8 Irwin Avenue	City Council Decision April 17, 2024 (TE12.8)	22 241865 STE 13 OZ 22 241863 STE 13 SA	TBD
510-528 Yonge Street, 7 Breadalbane Street	City Council Decision July 19, 2022 (CC47.20) OLT Decision Issued September 16, 2022, effective August 5, 2022	20 207354 STE 13 OZ OLT Case No. OLT-22-002429 OLT Case No. OLT-22-002430 21 203254 STE 13 SA 21 226746 STE 13 SB	192-2024(OLT) 193-2024(OLT)
587-599 Yonge Street and 7-9 Gloucester Street	City Council Decision May 3, 2016 (2016.TE15.10) May 18, 2016 (Order) August 5, 2014 (Decision)	12 235622 STE 27 OZ OMB File No. PL130332	778-2016(OMB)
589-599 Yonge Street, 2 and 4 Dundonald Street and 7 and 9 Gloucester Street	Committee of Adjustment Decision March 11, 2020	A1186/19TEY	
589-599 Yonge Street, 2 and 4 Dundonald Street and 7 and 9 Gloucester Street	Committee of Adjustment Decision December 4, 2019	B0078/19TEY	
11 Gloucester Street	Committee of Adjustment Decision December 4, 2019	B0079/19TEY	
11 Gloucester Street	Committee of Adjustment Decision December 4, 2019	A0883/19TEY	
501-521 Yonge Street, 6-8 Alexander Street, 23 Maitland Street	City Council Decision dated November 13, 2013 (Item - 2013.TE27.3)	11 187996 STE 27 OZ	139-2014

Address & Application Number	Date of Decision	File/Item Number	By-law
501-521 Yonge Street, 6-8 Alexander Street, 23 Maitland Street	Committee of Adjustment Decision July 8, 2015	A0494/15TEY	
501 Yonge Street	Committee of Adjustment Decision March 2, 2022	A0835/21TEY	
5-25 Wellesley Street West, 14-26 Breadalbane Street	City Council Decision: August 25, 2014 (Item - 2014.TE34.31)	13 138607 STE 27 OZ	By-law 1063-2014, 1064-2014 and a technical amendment to correct a typographical error by By-law 42-2015
155 St. Luke Lane / 0 Breadalbane Street	Committee of Adjustment Decision September 24, 2015	B0063/15TEY	
10-16 Wellesley Street West, 5-7 St. Nicholas Street, 586 Yonge Street	LPAT Decision March 17, 2020	LPAT File No. PL180340	2020-898(LPAT) 2020-899(LPAT)
10 St. Mary Street, 79-85 St. Nicholas Street, 710-718 Yonge Street	LPAT Decision October 23, 2019 Committee of Adjustment Decision June 21, 2023	A1168/22TEY	853-2020 (LPAT)

