

Authority: Toronto East York Community Council Report No. 4, Clause No. 4,
adopted as amended, by City of Toronto Council on April 14, 15 and 16, 2003
Enacted by Council: April 16, 2003

CITY OF TORONTO

BY-LAW No. 340-2003

To amend the General Zoning By-law No. 438-86, of the former City of Toronto, with respect to lands known as 100 Queen's Park.

WHEREAS the Council of the City of Toronto has been requested to amend the Zoning By-law pursuant to Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, respecting the lands municipally known in the year 2002 as 100 Queen's Park; and

WHEREAS the Toronto East York Community Council conducted a public meeting on April 1, 2003 under Section 34 of the *Planning Act* regarding the aforesaid Zoning By-law amendment; and

WHEREAS the Council of the City of Toronto, at its meeting held April 14, 15 and 16, 2003, determined to amend Zoning By-law No. 438-86, as amended, of the former City of Toronto;

THEREFORE the Council of the City of Toronto HEREBY ENACTS as follows:

1. None of the provisions of sections 4(2)(a), 12(2) 309, 12(2) 310(a)(1), 12(2) 310(a)(2), and 12(2) 310(a)(3) of By-law No. 438-86, being "A By-law to regulate the use of land and the erection, use, bulk, height, spacing of and other matters relating to buildings and structures and to prohibit certain uses of lands and the erection and use of certain buildings and structures in various areas of the City of Toronto", as amended, shall apply to prevent the erection and use of an addition to the existing building on the lands municipally known in the year 2002 as 100 Queen's Park provided:
 - (1) the *lot* consists of at least the lands shown outlined by a heavy line on Map 1 attached to and forming part of this by-law;
 - (2) the *heights* of the building, including the addition and mechanical penthouses but excluding chimneys, do not exceed the *height* limits set out on Maps 2A and 2B attached to and forming a part of this by-law;
 - (3) subject to subsection (5) herein, no part of the building, including the addition or any other permitted structures to be erected or used on the *lot* above *grade* shall extend beyond the area outlined by heavy lines on Maps 2A and 2B, with the exception of retaining walls and other landscape features, which shall not exceed a *height* of 2.0 metres above *grade*, and doors;
 - (4) no part of the addition to be erected or used on the *lot* above *grade* projects beyond the *building walls* shown on Map 3 attached to and forming part of this by-law, with the exception of doors;

- (5) none of the provisions of this by-law shall apply to prevent the erection and use of an above *grade* portion of the addition within Area A shown on Maps 2A, 2B and 3;
- (6) the provisions of Section 12(2) 309 of By-law 438-86, as amended shall not apply so as to permit any additional *non-residential gross floor area* or *residential gross floor area* to be erected or used on the *lot* beyond that permitted in this by-law; and
- (7) the *owner* of the *lot* enters into and registers a Heritage Easement Agreement with the City of Toronto pursuant to Section 37 of the *Ontario Heritage Act* respecting the existing building at 100 Queen's Park and the proposed addition to secure the conservation and maintenance of the existing building and addition;

2. For the purposes of this by-law:

- (1) “*grade*” means 114.37 metres Canadian Geodetic Datum;
- (2) “*lot*” means the lands delineated by heavy lines on Map 1;
- (3) “*height*” means:
 - (a) in the case of the roof areas shown on Map 2B, the vertical distance between *grade* and any part of the *roof areas* shown on Map 2B; and
 - (b) in the case of any other part of the building or structure, the vertical distance between *grade* and the highest point of the roof or structure;
- (4) “*roof areas*” means those inclined planes shown on Map 2B which are bounded by straight lines between the *x, y and H coordinate points* shown on Map 2B;
- (5) “*building walls*” means those inclined planes shown on Map 3 which are bounded by straight lines between the *x, y and H coordinate points* shown on Map 3;
- (6) “*x, y and H coordinate points*” means those points shown on Maps 2B and 3 and which are established as follows:
 - (a) the x coordinate of each point is located the specified distance, in metres, measured in a westerly direction along the x axis from the 0x point;
 - (b) for the y coordinate of each point:
 - (i) where the y number is preceded by a negative symbol, that coordinate is located the specified distance, in metres, measured in a southerly direction along the y axis from the 0y point; and

- (ii) where the y number is not preceded by a negative symbol, that coordinate is located the specified distance, in metres, measured in a northerly direction along the y axis; and
- (c) for the H coordinate of each point:
 - (i) where the H number is preceded by a negative symbol, that coordinate is located the specified distance, in metres, below *grade*; and
 - (ii) where the H number is not preceded by a negative symbol, that coordinate is located the specified distance, in metres, above *grade*.
- (d) For the purposes of this definition:
 - (i) the y axis is the lot line facing Queen's Park; and
 - (ii) the x axis is the line established at a 90° degree angle to the y axis; and
 - (iii) the 0x and 0y point is that point located at the north-easterly corner of the *lot*, at the intersection of Queen's Park and Bloor Street West;
- (7) each other word or expression that is italicized in this by-law shall have the same meaning as each such word or expression as defined in By-law No. 438-86, as amended.

ENACTED AND PASSED this 16th day of April, A.D. 2003.

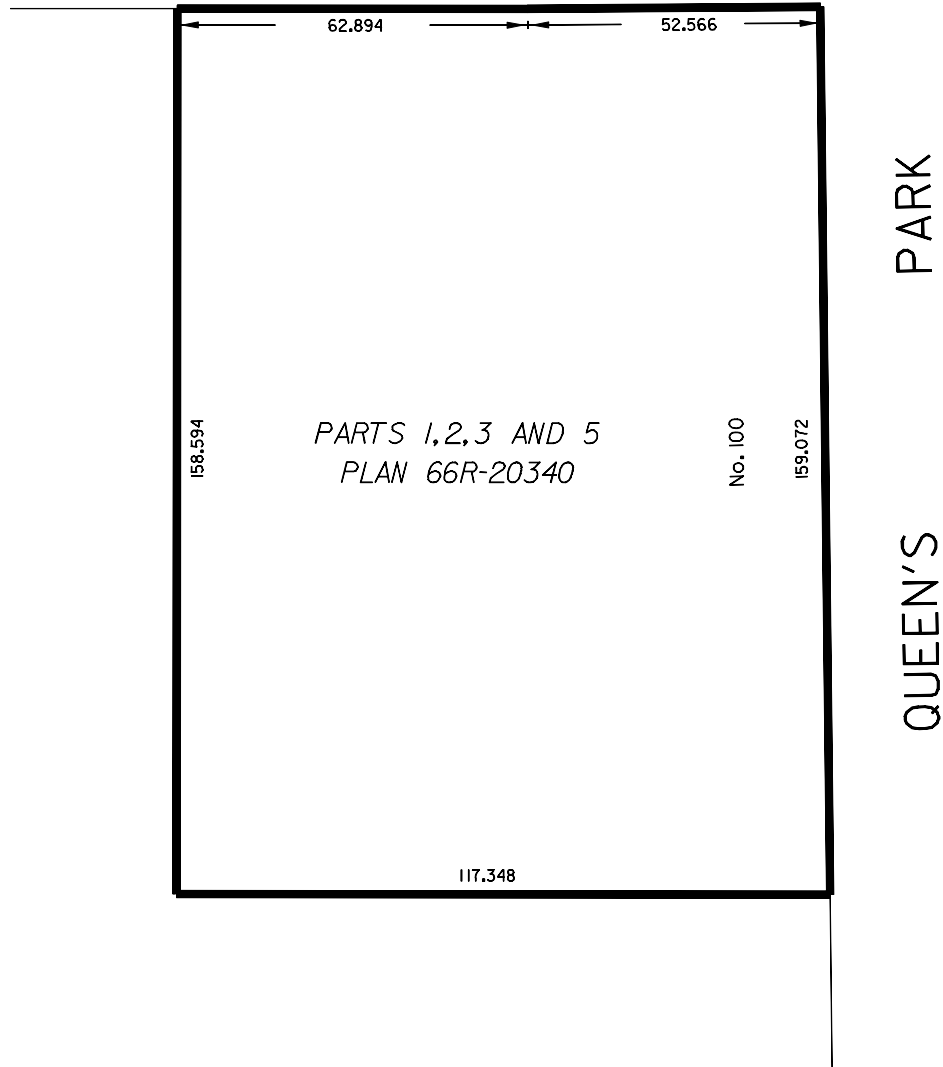
CASE OOTES,
Deputy Mayor

ULLI S. WATKISS
City Clerk

(Corporate Seal)

MAP I

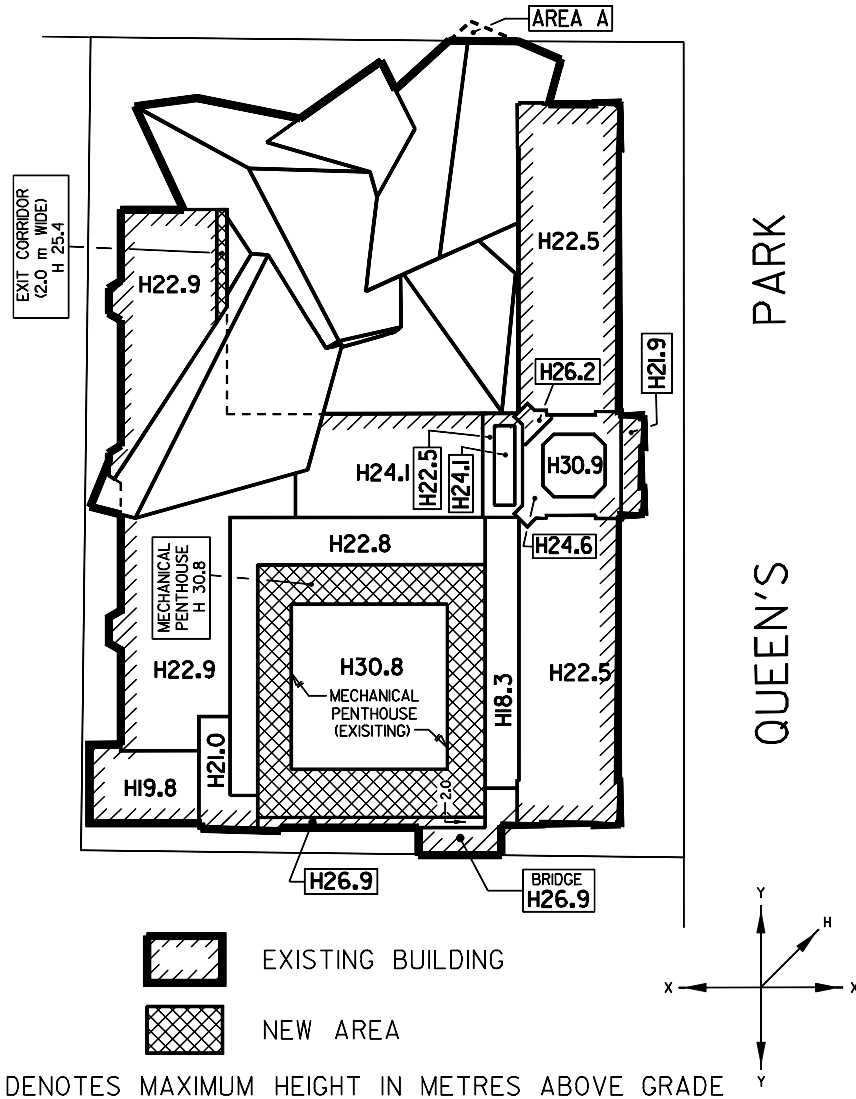
BLOOR STREET WEST



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BL03/100QUE1.DGN
FILE: Q9-Z1
MAP No. 50H-22 DRAWN: WS

MAP 2A

BLOOR STREET WEST

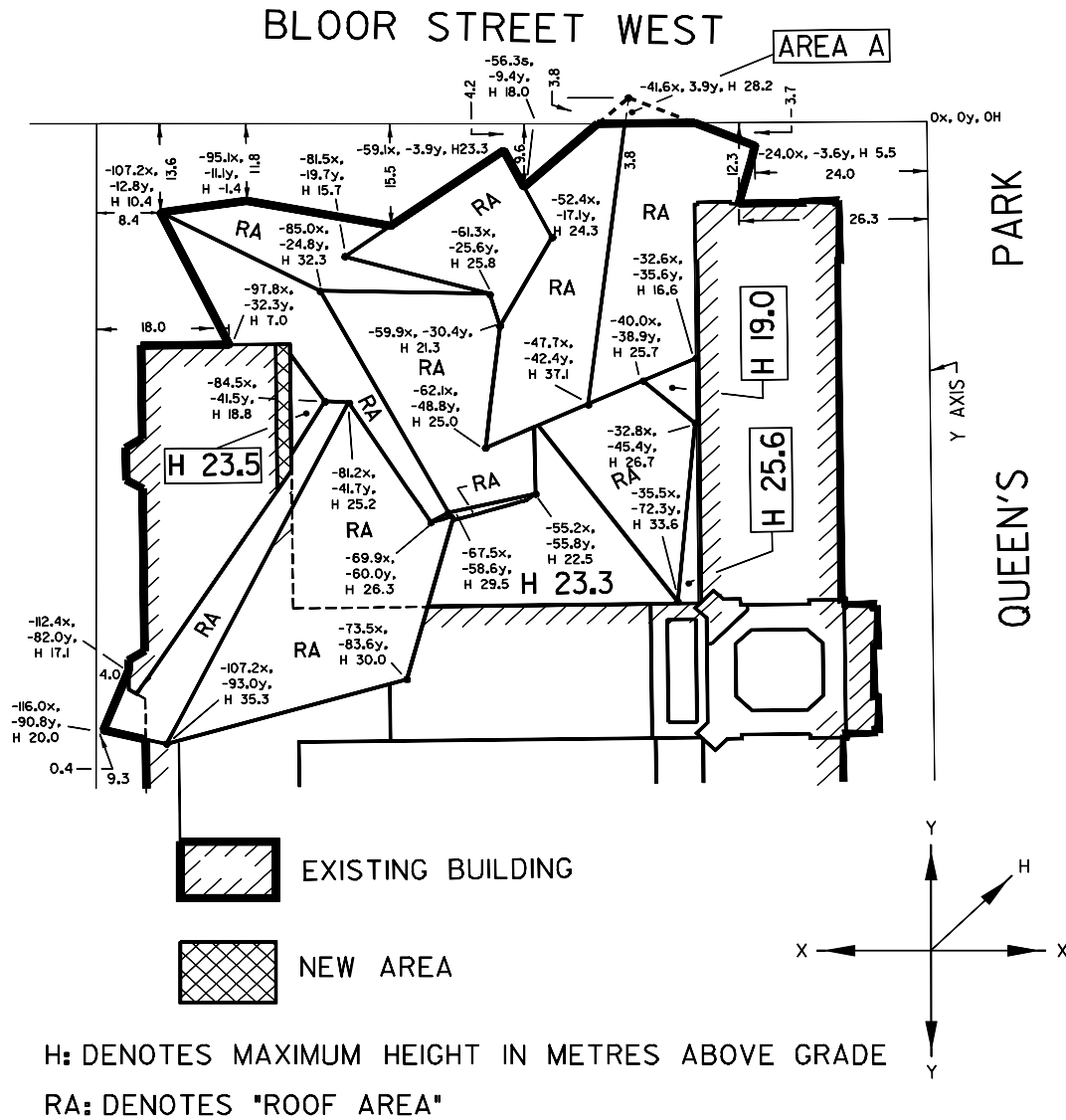


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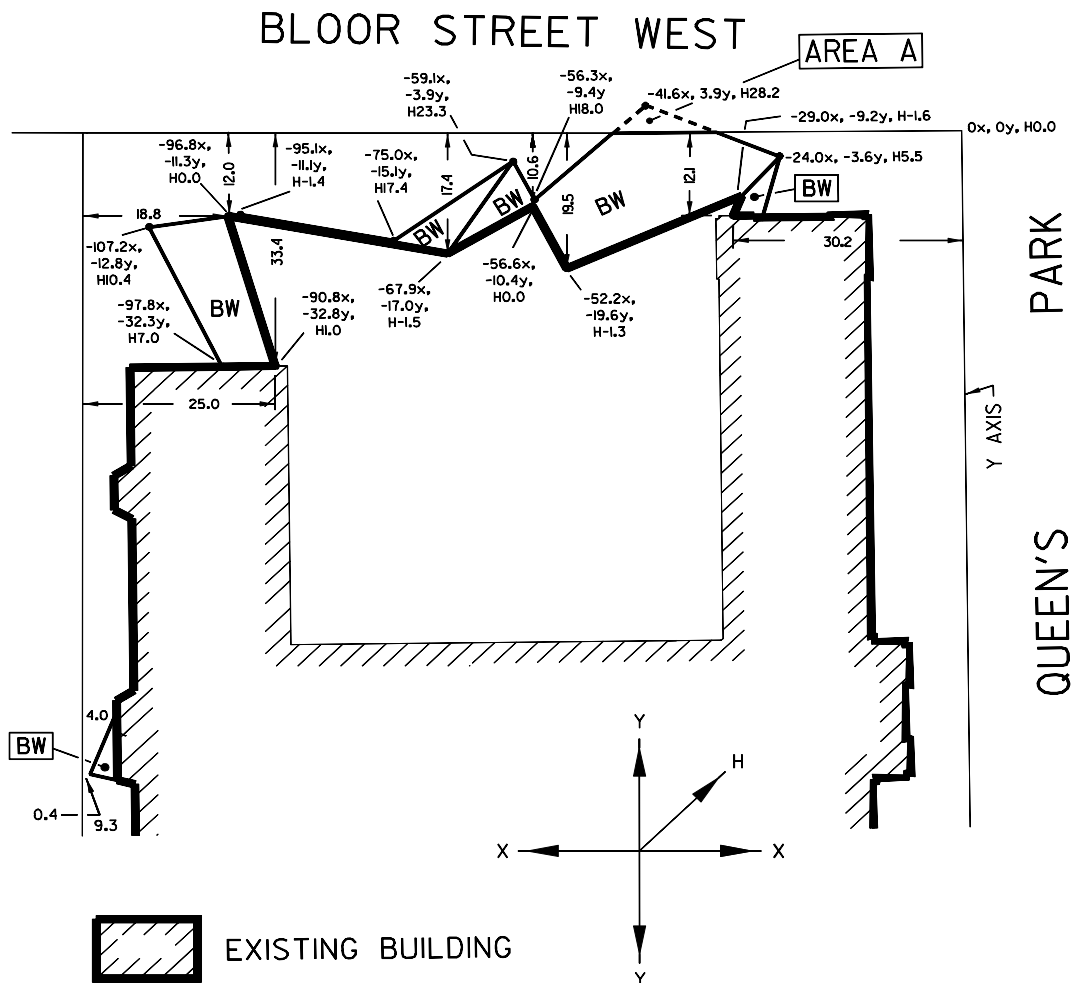
WORKS AND EMERGENCY SERVICES
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FILE: 09-Z1
MAP No. 50H-22
APRIL, 2003
DRAWN: WS

MAP 2B



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 MAP No. 50H-22 DRAWN: WS

MAP 3



H: DENOTES MAXIMUM HEIGHT IN METRES ABOVE GRADE

BW: DENOTES BUILDING WALL



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FILE: 09-Z1
MAP No. 50H-22 DRAWN: WS