

Authority: Toronto and East York Community Council Report No. 1, Clause No. 2,
as adopted by City of Toronto Council on February 1, 2 and 3, 2005
Enacted by Council: February 24, 2005

CITY OF TORONTO

BY-LAW No. 184-2005

To amend the General Zoning By-law No. 438-86 of the former City of Toronto with respect to lands known municipally in the year 2004 as 58-60 Tecumseth Street.

The Council of the City of Toronto HEREBY ENACTS as follows:

1. None of the provisions of Sections 4(2), 4(4)(b), 4(13), 4(14), 9(1)(a), 9(3) Part I, 9(3)Part II 1 and 9(3) Part VII 1 of Zoning By-law No. 438-86, being “A By-law to regulate the use of land and the erection, use, bulk, height, spacing of and other matters relating to buildings and structures and to prohibit certain uses of lands and the erection and use of certain buildings and structures in various areas of the City of Toronto”, as amended, shall apply to prevent the erection and use of an *apartment building* on the *lot*, provided that:
 - (a) the *lot* comprises those lands delineated by heavy lines on Map 1 attached hereto;
 - (b) the *residential gross floor area* shall not exceed 2,290 square metres;
 - (c) the *apartment building* contains not more than 10 *dwelling units*;
 - (d) no portion of the building above *grade* is located otherwise than wholly within the areas delineated by the heavy lines as shown on Map 2;
 - (e) the *height* of the building shall not exceed those heights, in metres above *grade*, following the symbol “H” shown on Map 2 and Map 3;
 - (f) a minimum of 1 *parking space* per dwelling unit shall be provided on the *lot*;
 - (g) where parallel *parking space* is provided, the minimum length of the *parking space* shall be 6.7 metres; and
 - (h) a minimum of 1 *bicycle parking space* per dwelling unit shall be provided on the *lot* for the use of residents.
2. The intent of the height map (Map 2) and the elevation map (Map 3) is to allow for a pitched roof and gables at the fourth *storey*. The objectives are to:
 - (a) minimize shadows to the east and west of the building;
 - (b) to reduce the appearance of the height of the building from the street; and
 - (c) to break up the façade of the building to reinforce the narrow frontage pattern of nearby rowhousing.

Where there are difference in the heights indicated on Maps 2 and 3, the heights indicated on Map 2 shall prevail.

- 3.** For the purposes of this By-law, each word or expression which is italicized has the same meaning as each word or expression contained in By-law No. 438-86, as amended.

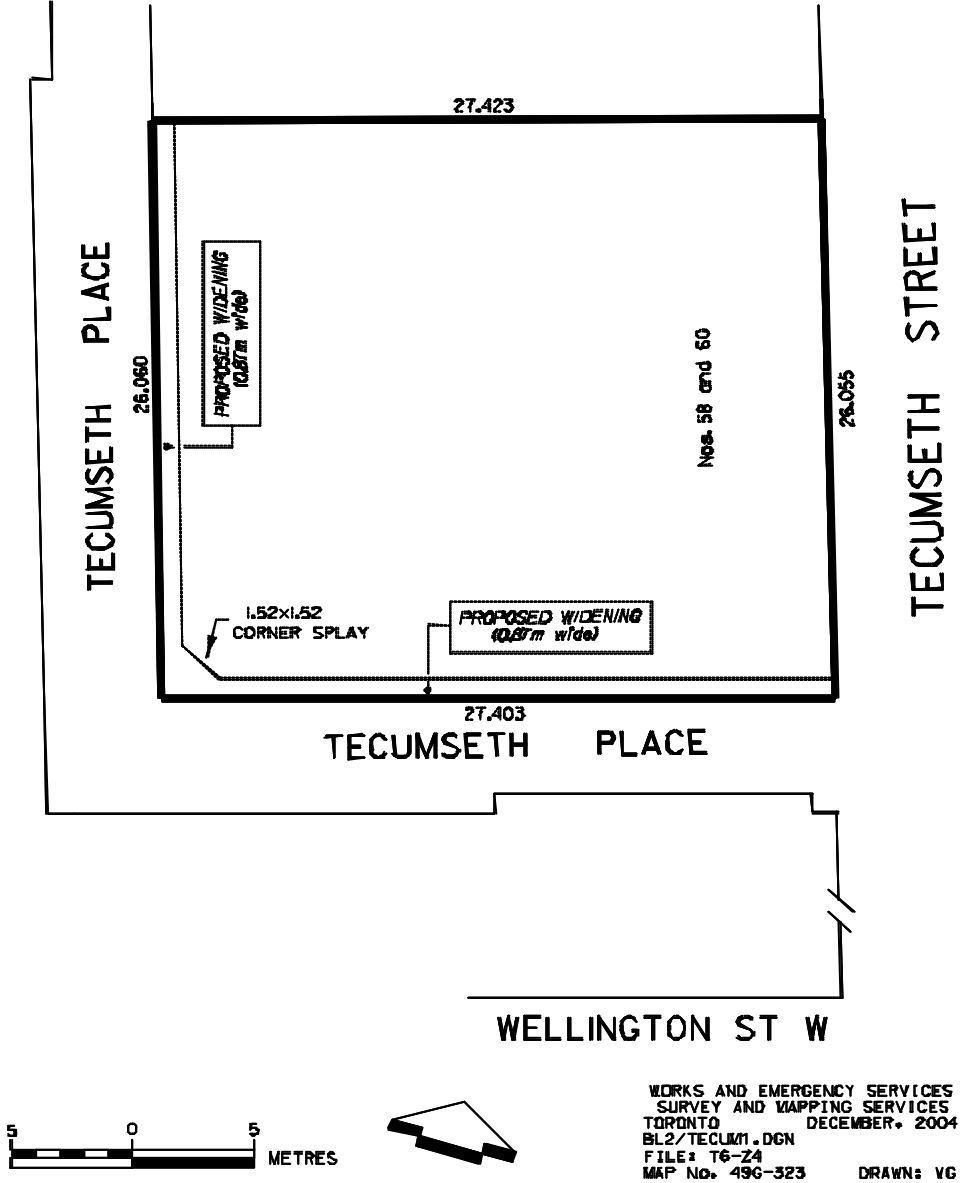
ENACTED AND PASSED this 24th day of February, A.D. 2005.

DAVID R. MILLER,
Mayor

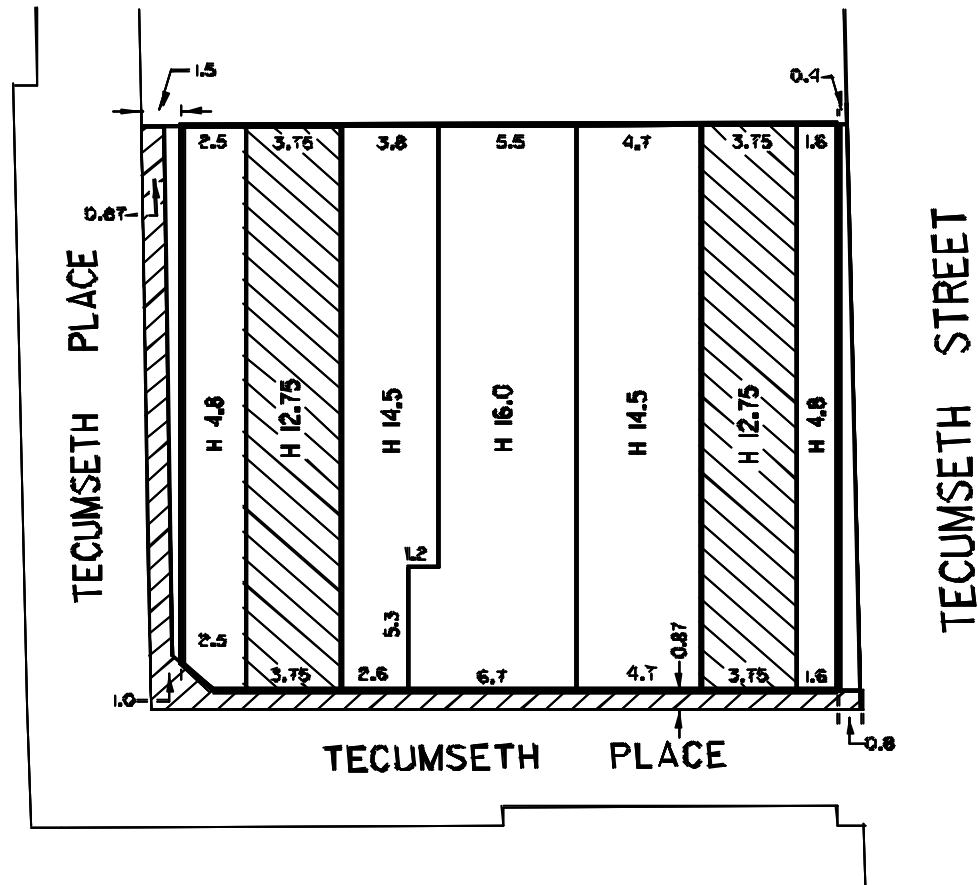
ULLI S. WATKISS
City Clerk

(Corporate Seal)

MAP 1



MAP 2



H: DENOTES MAXIMUM HEIGHT IN METRES ABOVE GRADE

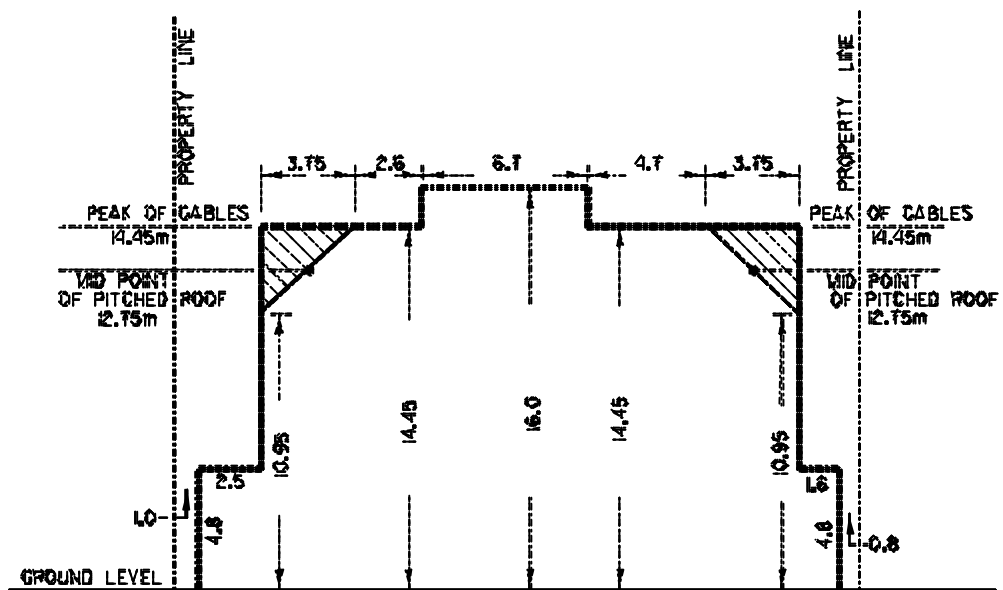
 PROPOSED WIDENING

 PITCHED ROOF WITH CABLES



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MAP No. 49C-323 DRAWN: VC

MAP 3



SOUTH ELEVATION

 PITCHED ROOF WITH CABLES



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FILE: T8-24
MAP No. 496-323 DRAWN: YG