

Authority: Toronto and East York Community Council Report No. 2, Clause No. 1a,  
adopted as amended, by City of Toronto Council on April 12, 13 and 14, 2005  
Enacted by Council: April 14, 2005

## **CITY OF TORONTO**

### **BY-LAW No. 206-2005**

**To amend By-law No. 6752, of the former Borough of East York, as amended, with respect to the lands known municipally as 301 Cedarvale Avenue.**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. The lands subject to this by-law are those lands outlined by a heavy black line and identified as on Schedule 'A' attached hereto.
2. Zoning By-law No. 6752, as amended, is hereby further amended by adding a new Section 7.4.4.6 immediately after Section 7.4.4.5 of the by-law as follows:

**"7.4.4.6 Area Restricted**

The provisions of this section shall only apply to those lands being part of Lot 47, Lot 48 and part of Lot 49 on Registered Plan 1336 City of Toronto designated R1C Zone on Schedule 'A' of this By-law and known municipally in the year 2005 as 301 Cedarvale Avenue.

**7.4.4.6.1 General Provisions**

On those lands referred to in Section 7.4.4.6 of this By-law, no person shall use, occupy, erect, alter, cause to be used, occupied, erected or altered, any Building, Structure or land or part thereof except in accordance with the following provisions:

- (1) Permitted Uses
  - (a) Residential - One Family Detached Dwelling Units; and
  - (b) Buildings and Structures Accessory to the foregoing.

(2) Development Requirements - Lot 1

- |     |  |  |
|-----|--|--|
| (a) | maximum number of One Family Detached Dwelling Unit    | 1  |
| (b) | minimum front yard setback                             | 3.0 metres   |
| (c) | minimum side yard setback                              | .45 metres   |
| (d) | minimum rear yard setback                              | 5.45 metres  |
| (e) | siting of any Dwelling or Structure or portion thereof | Wholly within the Building envelope shown on Schedule 'A' to By-law No. 206-2005, except that the provisions of Section 5.6 of this By-law shall apply to any projections or encroachments into Yards. |
| (f) | maximum Lot Coverage                                   | 41%  |
| (g) | maximum Floor Space Index                              | 106%   |
| (h) | maximum height   | 10.6 metres  |

(3) Development Requirements - Lot 2

- |     |  |             |
|-----|--|-------------|
| (a) | maximum number of One Family Detached Dwelling Units | 1           |
| (b) | minimum front yard setback                           | 3.0 metres  |
| (c) | minimum side yard setback                            | .45 metres  |
| (d) | minimum rear yard setback                            | 5.45 metres |

(e)	siting of any Dwelling or Structure or portion thereof	Wholly within the Building envelope shown on Schedule 'A' to By-law No. 206-2005, except that the provisions of Section 5.6 of this By-law shall apply to any projections or encroachments into Yards.
(f)	maximum Lot Coverage	48.8%
(g)	maximum Floor Space Index	125%
(h)	maximum height	10.6 metres
(4)	Development Requirements - Lot 3	
(a)	maximum number of One Family Detached Dwelling Unit	1
(b)	minimum front yard setback	2.0 metres
(c)	minimum side yard setback	.45 metres
(d)	minimum rear yard setback	5.7 metres
(e)	siting of any Dwelling or Structure or portion thereof	Wholly within the Building envelope shown on Schedule 'A' to By-law No. 206-2005, except that the provisions of Section 5.6 of this By-law shall apply to any projections or encroachments into Yards.
(f)	maximum Lot Coverage	54%
(g)	maximum Floor Space Index	141%
(h)	maximum height	10.6 metres

## (5) Development Requirements - Lot 4

- |     |  |  |
|-----|--|--|
| (a) | maximum number of One Family Detached Dwelling Units   | 1  |
| (b) | minimum front yard setback                             | 2.0 metres   |
| (c) | minimum side yard setback                              | .45 metres   |
| (d) | minimum rear yard setback                              | 5.7 metres   |
| (e) | siting of any Dwelling or Structure or portion thereof | Wholly within the Building envelope shown on Schedule 'A' to By-law No. 206-2005, except that the provisions of Section 5.6 of this By-law shall apply to any projections or encroachments into Yards. |
| (f) | maximum Lot Coverage                                   | 45%  |
| (g) | maximum Floor Space Index                              | 116%   |
| (h) | maximum height   | 10.6 metres  |

## (6) Development Requirements - Lot 5

- |     |  |             |
|-----|--|-------------|
| (a) | maximum number of One Family Detached Dwelling Units | 1           |
| (b) | minimum front yard setback                           | 1.24 metres |
| (c) | minimum side yard setback                            | 0.0 metres  |
| (d) | minimum rear yard setback                            | 13.0 metres |

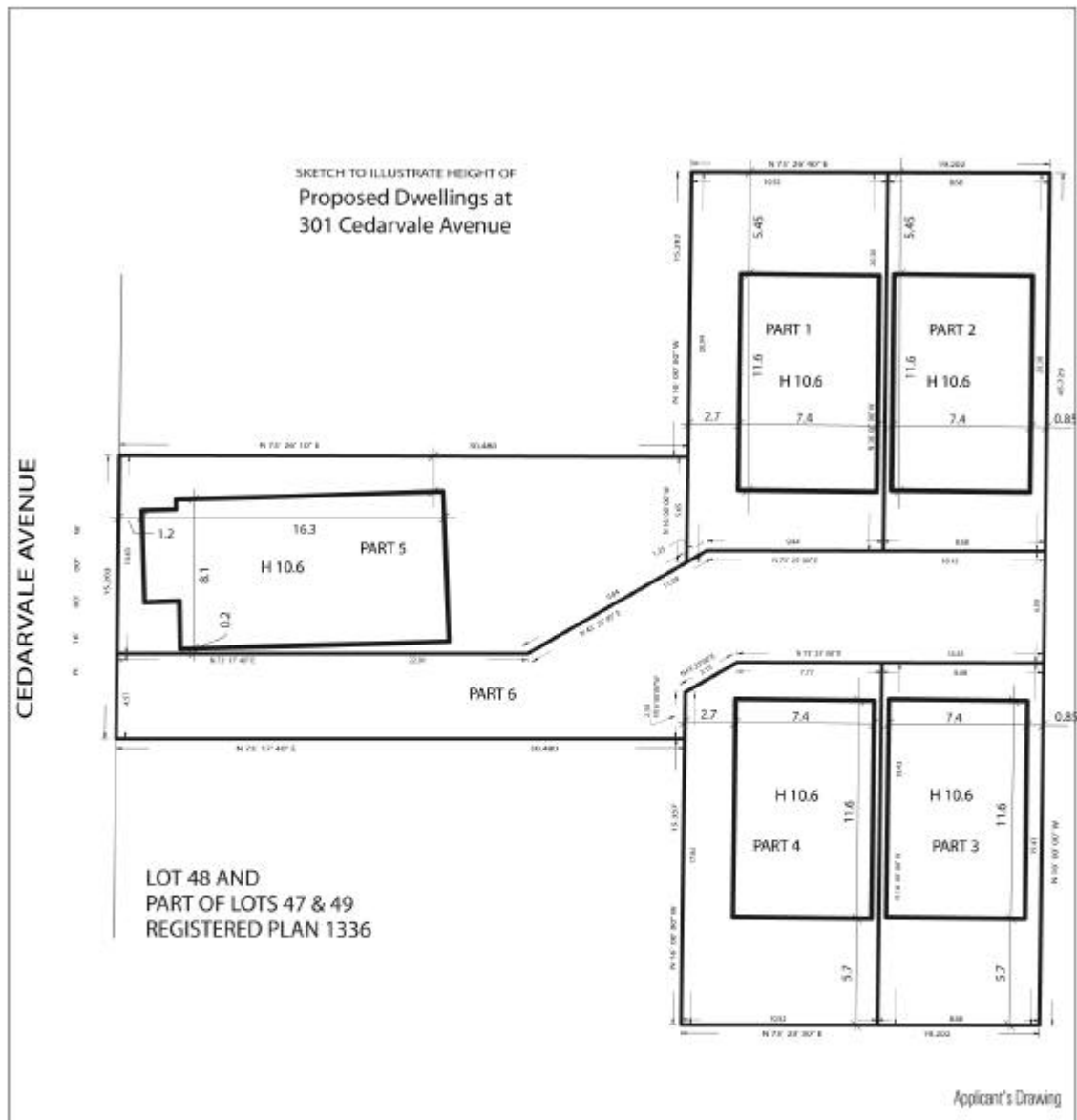
- |     |  |  |
|-----|--|--|
| (e) | siting of any Dwelling or Structure or portion thereof | Wholly within the Building envelope shown on Schedule 'A' to By-law No. 206-2005, except that the provisions of Section 5.6 of this By-law shall apply to any projections or encroachments into Yards. |
| (f) | maximum Lot Coverage                                   | 42%  |
| (g) | maximum Floor Space Index                              | 83.5%  |
| (h) | maximum height   | 10.6 metres  |
- (7) Development Requirements - Lot 6
- Lot 6 shall be used solely for the purposes of a driveway to access Lots 1 through 5.
- (8) Other Provisions of the By-law
- Except as amended in this By-law all other provisions of By-law No. 6752 shall apply to the lands referred to in Section 7.4.4.6".

ENACTED AND PASSED this 14th day of April, A.D. 2005.

DAVID R. MILLER,  
Mayor

ULLI S. WATKISS  
City Clerk

(Corporate Seal)



**Toronto** Urban  
Development Services  
Schedule 'A' By-Law

301 Cedarvale Avenue

File # 02\_035149

↑  
Not to Scale  
01/20/06