Authority: Etobicoke York Community Council Report No. 2, Clause No. 2, as adopted by

City of Toronto Council on February 16, 2005, and Notice of Motion J(24), moved by Councillor Milczyn, seconded by Councillor Grimes, as adopted by

City of Toronto Council on May 17, 18 and 19, 2005

Enacted by Council: May 19, 2005

CITY OF TORONTO

BY-LAW No. 440-2005

To amend Chapters 320 and 324 of the former City of Etobicoke Zoning Code with respect to certain lands located on the east side of Royal York Road, south of Dalesford Road, known municipally as 515 Royal York Road, to permit the development of four townhouse dwelling units and six semi-detached dwelling units.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS the matters herein set out are in conformity with Official Plan Amendment No. 126-2004 as adopted by the Council of the City of Toronto; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and held at least one public meeting in accordance with the *Planning Act*;

THEREFORE the Council of the City of Toronto HEREBY ENACTS as follows:

- 1. That the Zoning Map referred to in Section 320-5 of the Zoning Code, originally attached to Township of Etobicoke Zoning Code, be and the same is hereby amended by changing the classification of the lands located in the former Township of Etobicoke as described in Schedule 'A' annexed hereto from Residential Third Density (R3) to Group Area Fourth Density Residential (R4G), provided that the following provisions shall apply to the development of the Group Area Fourth Density Residential (R4G) lands identified in Schedules 'A' and 'B' attached hereto.
- 2. Notwithstanding the definition of "lot" in Section 304-3 of the Etobicoke Zoning Code, the standards of this By-law shall apply collectively to the Group Area Fourth Density Residential (R4G) lands identified in Schedules 'A' and 'B' attached hereto in their entirety and nothing in this By-law shall preclude the semi-detached dwelling units and townhouse dwelling units from being divided into individual lots within the meaning of the *Planning Act*.
- 3. Notwithstanding Sections 320-39, 320-40, 320-44, 320-69, 320-70 and 320-71 of the Etobicoke Zoning Code, the following development standards shall be applicable to the R4G lands described in Schedule 'A' attached hereto:

(a) Permitted Uses

A maximum of 4 townhouse dwelling units and 6 semi-detached dwelling units shall be permitted on the lands as shown on Schedule 'A' and 'B' attached hereto.

(b) Schedule 'B'

The minimum building setbacks shall not be less than the measurements shown on Schedule 'B' attached hereto, and shall be measured from the main walls of each semi-detached dwelling and/or block of townhouse dwelling units.

(c) Permitted Encroachments

Required building setbacks and separations shall not be obstructed by any construction other than the following:

- (i) uncovered steps to grade;
- (ii) chimney breasts, eaves, bay windows, or other projections extending a maximum of 0.9 metres from any exterior wall of a building provided they are located a minimum of 1.0 metre from the street line or public right-of-way or internal driveway; and
- (iii) open, uncovered (or roofed) porches, verandas, decks, balconies and grade-related patios projecting a maximum of 3.2 metres from the exterior front and rear wall of the dwelling, provided they are set back a minimum of 2.5 metres from the street line.

(d) Total Gross Floor Area

A total gross floor area of 1845 square metres is permitted for residential dwellings within this exception.

(e) Building Coverage

For the purposes of this By-law, the maximum combined building coverage shall not exceed 44 percent of the total area of the R4G lands shown on Schedule 'A', exclusive of those provisions included within Section (c) of this By-law.

(f) Landscaped Open Space

For the purposes of this By-law, the minimum combined landscaped open space shall not be less than 25 percent of the total area of the R4G lands shown on Schedule 'A', and landscaped open space shall include walkways.

(g) Building Heights

Notwithstanding the definitions of "grade" and "height" within Section 304-3 of the Etobicoke Zoning Code, in the case of pitched roof dwellings fronting on Royal York Road, the maximum height shall be 12.0 metres, measured at the front elevation of the blocks, from the geodetic elevation of 101.2, to the highest point of the roof.

Notwithstanding the definitions of "grade" and "height" within Section 304-3 of the Etobicoke Zoning Code, in the case of pitched roof dwellings fronting on Morgan Avenue, the maximum height shall be 13.0 metres, measured at the front elevation of the blocks, from the geodetic elevation of 102.0, to the highest point of the roof.

(h) Dwelling Width

The minimum width of each dwelling shall be 4 metres.

(i) Parking Spaces

- (i) For each dwelling unit fronting onto Royal York Road, two parking spaces shall be provided. Parking spaces may be located either within an enclosed and attached garage at grade with a minimum dimension of 3.0 metres by 6.0 metres and/or on a driveway at grade at the rear of each dwelling unit with a minimum dimension of 2.7 metres by 6.0 metres to be measured from the exterior main wall of the dwelling or garage to the inside edge of the traveled portion of the private roadway.
- (ii) For each dwelling unit fronting onto Morgan Avenue, one parking space shall be provided within an enclosed and attached garage at grade with a minimum dimension of 3.0 metres by 6.0 metres.

(j) Visitor Parking Spaces

- (i) An additional minimum 0.2 parking spaces per dwelling unit shall be provided for visitors.
- (ii) Parallel parking spaces shall each have a minimum dimension of 2.7 metres by 6.7 metres.

(k) Accessory Uses

Permitted accessory uses shall include private home occupations, central air conditioning units, and satellite dishes not exceeding 1.2 square metres in area. Carports, detached garages, tool sheds, television antennae, playhouses, swimming pools and filters, cabanas, and other accessory structures shall be prohibited.

(1) Central Air Conditioning Units

Notwithstanding Section 320-43 N. of the Etobicoke Zoning Code, central air conditioning units shall only be permitted on or under rear decks and not less than 2 metres from the side lot lines.

(m) Fences

Fences shall be subject to Municipal Code standards.

- 4. Notwithstanding the above By-law and Zoning Code standards, a sales trailer and/or construction trailer is permitted without restriction during the development of the lands.
- 5. Where the provisions of this By-law conflict with the provisions of the Etobicoke Zoning Code, the provisions of this By-law shall apply.
- 6. Chapter 324, Site Specifics, of the Etobicoke Zoning Code, is hereby amended to include reference to this By-law by adding the following to Section 324-1, Table of Site Specific By-laws:

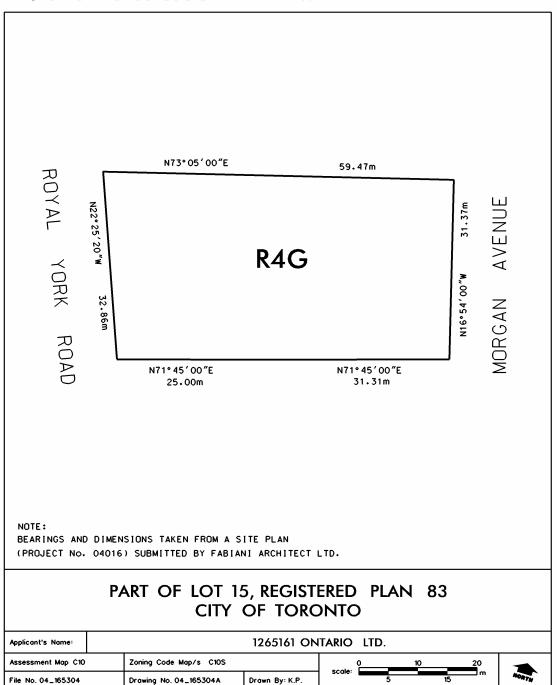
BY-LAW NUMBER DESCRIPTION OF PURPOSE OF BY-LAW **PROPERTY** AND ADOPTION DATE 440-2005 Lands located on the east side of To rezone the lands from May 19, 2005 Royal York Road, south of Residential Third Density Dalesford Road, municipally (R3) to Group Area Fourth known as 515 Royal York Road. Density Residential (R4G) to permit 4 townhouse dwelling units and 6 semi-detached dwelling units, subject to site specific development standards.

ENACTED AND PASSED this 19th day of May, A.D. 2005.

DAVID R. MILLER, Mayor ULLI S. WATKISS City Clerk

(Corporate Seal)

TORONTO Schedule 'A' BY-LAW



TORONTO Schedule 'B' BY-LAW

